

**GENERAL NOTES**  
DRAWING CAN BE SCALED FOR BUILDING REGULATION PURPOSES ONLY BUT IF IN ANY DOUBT ABOUT A DIMENSION OR ANY OF THE DRAWN INFORMATION PLEASE ASK CDRB ARCHITECTS LTD.

**General Note**

Before commencement of work, protection of all existing services including drainage are to be ascertained and any protective or diversion works are to be carried out as necessary.  
Scaffolding Approval may be required and builder to check with Architect whether this is the case.  
Existing drainage invert levels to be determined to establish adequate falls from roof drainage troughs.  
All necessary propping and shoring is to be carried out to ensure stability of the structure during building operations.  
All materials and workmanship are to comply with all Building Regulations, British Standards and Codes of Practice.  
All timbers are to be double vacuum pressure impregnated with Protin Preserv 60 or similar approved preservative, with all site ends and holes etc. to be treated with Protin cut end preservative liberally applied by a brush.  
Builder and Client to carry out site investigation and results to be forwarded to CDRB Architects Ltd. and Approved Inspector/Local Authority Building Control Department to establish the levels of ground water and the stability or ground conditions before the works commence.

**CDRB Architects Ltd drawings are prepared to comply with the current building regulations and are to be checked in accordance with all relevant structural engineers' details and calculations where appropriate. All dimensions are to be checked on site by the Builder before work commences and any queries are to be brought immediately to CDRB Architects Ltd attention.**  
All drawings from CDRB Architects Ltd, unless referred to by name later as being 'Pins approved' by the Approved Inspector/Local Authority Building Control Department, have not been passed for Building Regulation Approval.

CDRB Architects Ltd takes no responsibility for work done at risk prior to Pins approval being given by the Approved Inspector/Local Authority Building Control Department.  
Equally, CDRB Architects Ltd accept no responsibility for any alterations from the approved drawings by either the Builder or the Client without first checking with CDRB Architects Ltd. In writing, CDRB accept no responsibility for other Consultants work and advise the Client and Builder to contact the Consultant directly if they have any queries about a Consultant's design or calculations.

**BUILDING REGULATION APPROVAL, COM REGULATIONS, HEALTH & SAFETY, TEMPORARY WORK AND INTERNAL STABILITY**

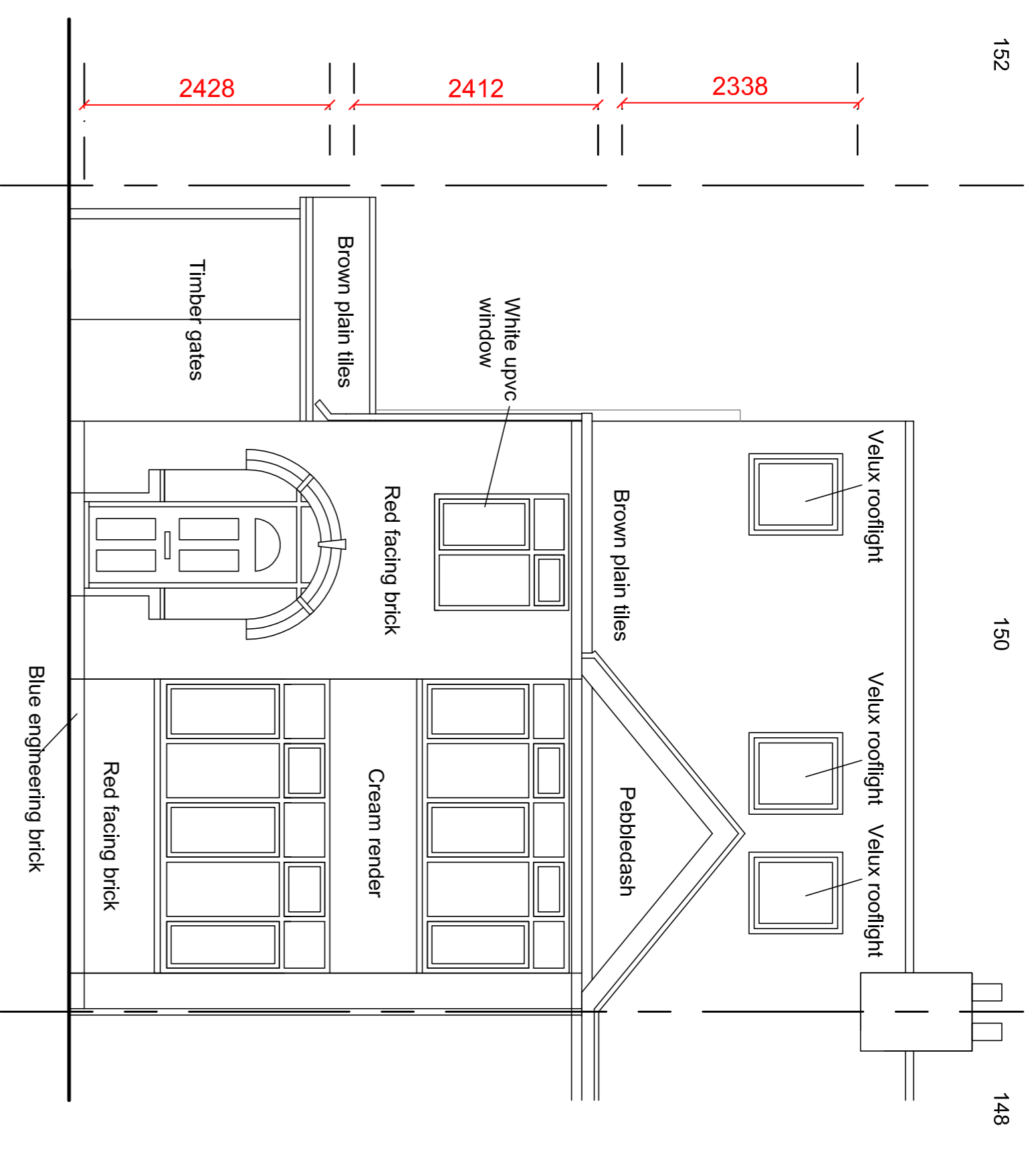
- The Builder shall comply with the Building Regulations. Any work carried out on site prior to full Building Regulation Approval from the Local Authority is entirely at the risk of the builder.
- The Builder shall comply with all aspects of the Construction (Design & Management) Regulations.  
2.1 The Builder shall carry out his own risk assessment for all aspects of the work.  
2.2 The Builder shall provide Method Statements for the following items of work as requested:  
a) Excavation below existing foundation levels when in close proximity to existing foundations.  
b) Working with machinery when adjacent to or over existing occupied buildings.  
c) Erection/dismantling of scaffolding adjacent to or over existing occupied buildings.  
3. The Builder shall maintain records of all on site changes to the drawings and calculations and provide a full set of marked up drawings to show the 'as built' construction.  
4. The Builder is reminded that the structure's stability relies on all to consider the construction methodologies and to assess temporary works and bracing requirements to ensure the inherent safety of partially completed construction.

**PLANNING SUBMISSION (MINOR AMENDMENT)**

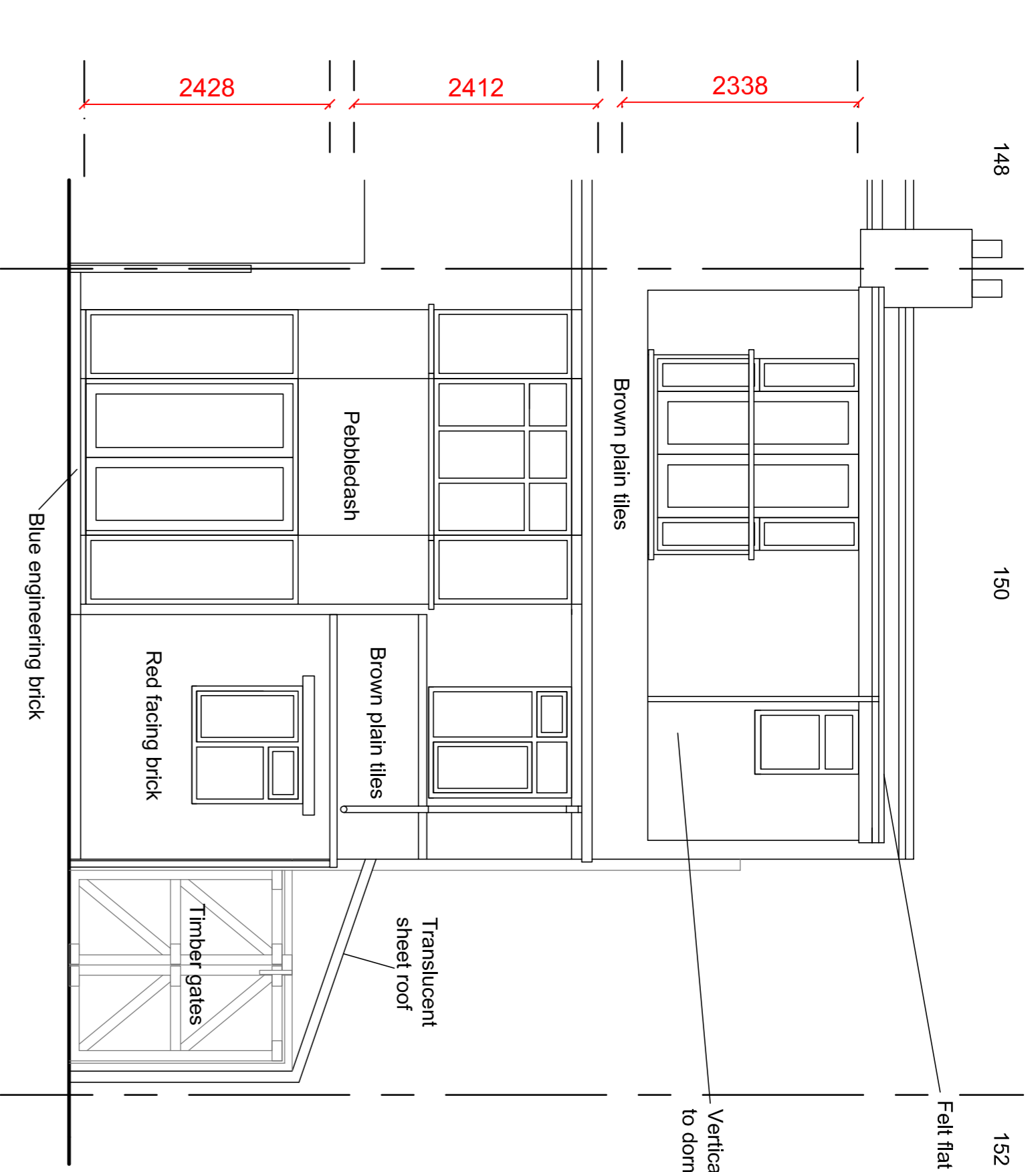
From	Date	By	For
 cdrb architects ltd 5 Oble Court 43 Station Road CV31 1D			
Job title	Single Storey Side and Rear Extension at 150 Cubbington Road, Leamington Spa CV32 7AH.		

**Existing Elevations**

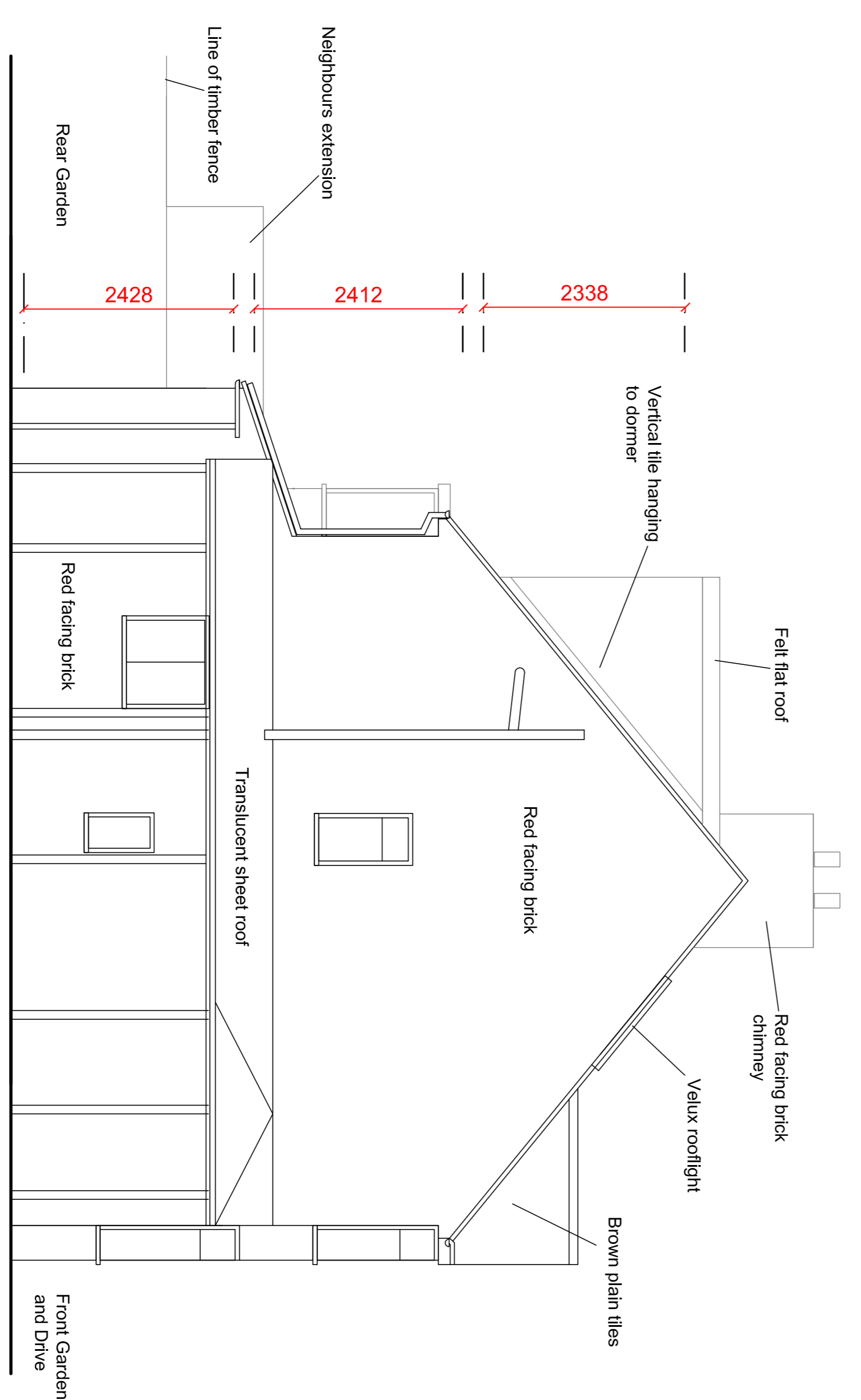
drawing title	scale	drawn by	date	checked by
Existing Elevations	1:50 @ A1	cr	November 2021	CDRB
job no.	12319	drawing no.	AL (P) 03	revision



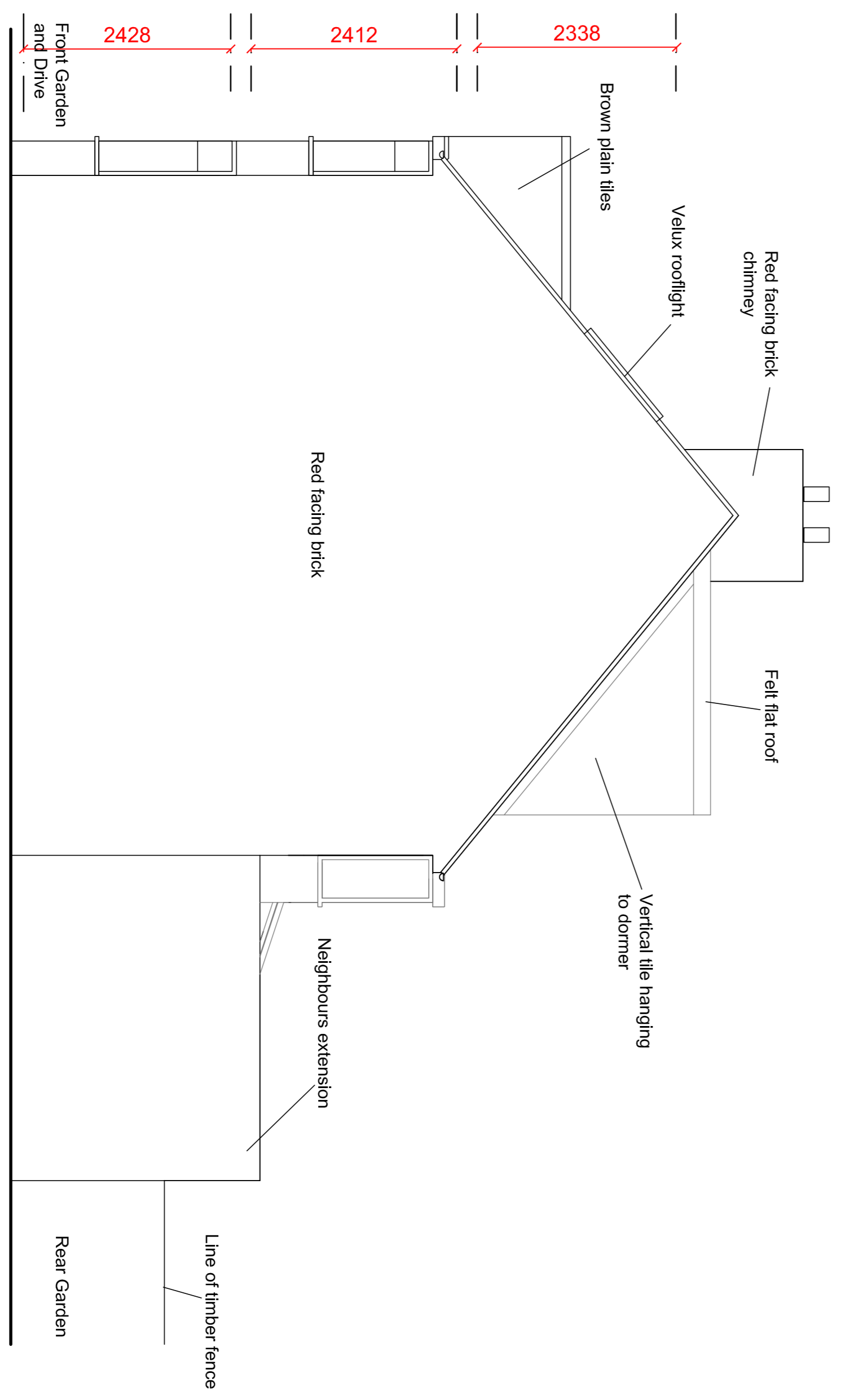
Existing Front Elevation Facing Cubbington Road  
Scale 1:50 @ A1



Existing Rear Elevation Facing Garden  
Scale 1:50 @ A1



Existing Side Elevation Facing No 152  
Scale 1:50 @ A1



Existing Side Elevation Facing No 148  
Scale 1:50 @ A1