

GENERAL NOTES
 DRAWING CAN BE SCALED FOR BUILDING
 REGULATION PURPOSES ONLY BUT IN ANY
 DOUBT ABOUT A DIMENSION OR ANY OF THE
 DRAWN INFORMATION PLEASE ASK CDRB
 ARCHITECTS LTD.

General Note


Before commencement of work, positions of all existing services (including overhead and underground) and any presence of asbestos works are to be carried out as necessary.
 Seven Year Approval may be required and holder to check with Asbestos register site of the site.
 Existing drainage invert levels to be determined to establish adequate falls from new drainage fittings.
 All necessary propping and strutting is to be carried out to ensure stability of the structure during building operations.
 All materials and workmanship are to comply with all Building Regulations, British Standards and Codes of Practice.
 All timber are to be double vacuum pressure impregnated with Preservative 60 or similar approved preservative, with all site cuts, ends and holes etc. to be treated with Proton cut end preservative liberally applied by a brush.
 Builder and Client to carry out site investigation and results to be forwarded to CDRB Architects Ltd. and Approved Inspector/Local Authority Building Control Department to establish the levels of contamination and the stability of ground conditions before the works commence.

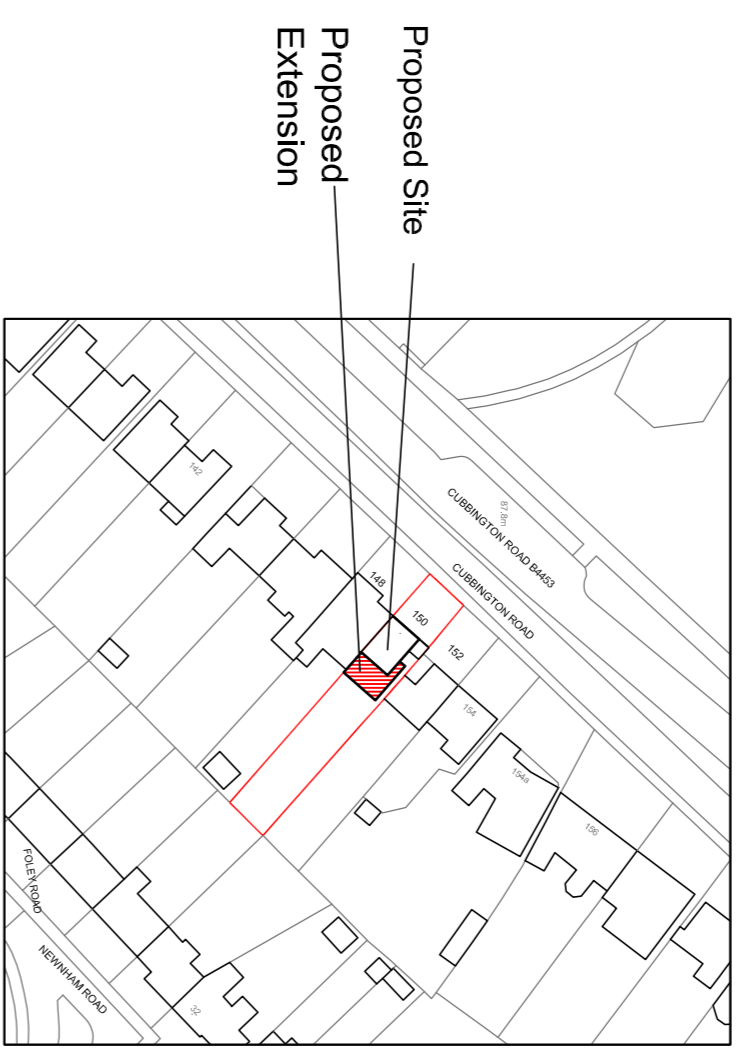
CDRB Architects Ltd drawings are prepared to comply with the current Building Regulations and all calculations are to be carried out by structural engineers' details and calculations where appropriate.
 All dimensions are to be checked on site by the Builder before work commences are to be straight immediately to CDRB Architects Ltd attention.
 All drawings from CDRB Architects Ltd. unless referred to by cover sheet, shall be the property of CDRB Architects Ltd. and shall remain the property of CDRB Architects Ltd. and shall not be used for any other purpose without the written consent of CDRB Architects Ltd. and shall not be used for Building Regulation Approval.
 CDRB Architects Ltd take no responsibility for work done at risk prior to Planning approval being given by the Approved Inspector/Local Authority Building Control Department.

Equally CDRB Architects Ltd accept no responsibility for any alterations from the approved drawings by either the Builder or the Client without first checking with CDRB Architects Ltd. In writing, CDRB accept no responsibility for other Consultants work and advise the Client and Builder to contact the Consultant directly if they have any queries about a Consultant's design or calculations.
BUILDING REGULATION APPROVAL, CDM REGULATIONS, HEALTH & SAFETY, TEMPORARY WORK AND INTERIM STABILITY.

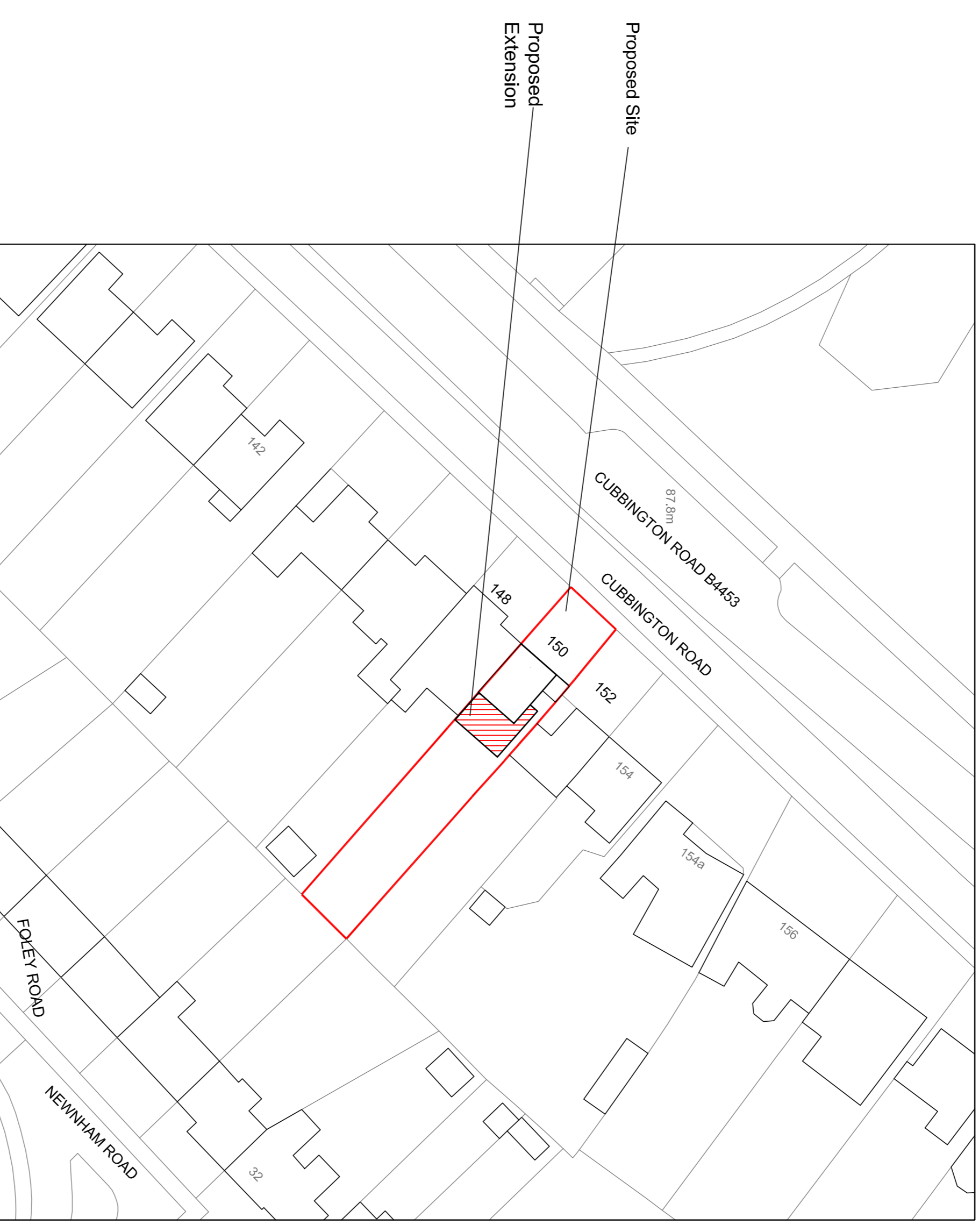
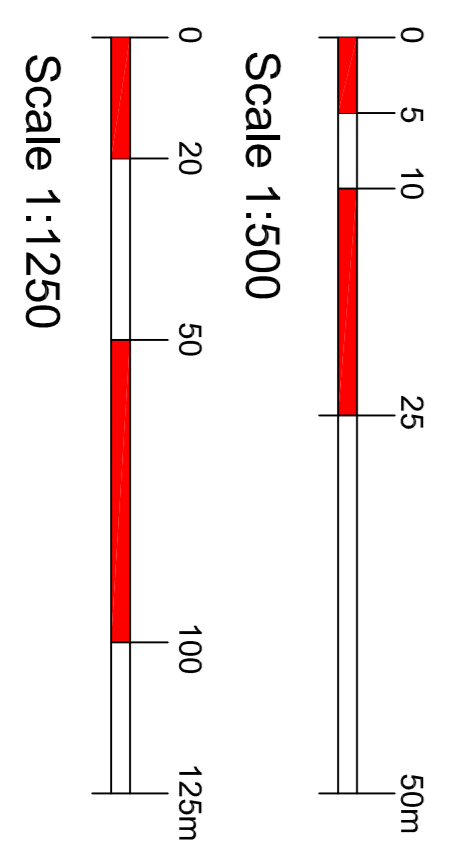
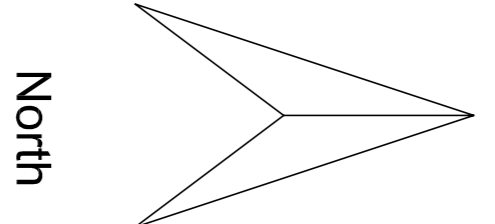
- The Builder shall comply with the Building Regulations. Any work carried out on site prior to full Building Regulation Approval from the Local Authority is entirely at the risk of the builder.
- The Builder shall comply with all aspects of the Construction (Design & Management) Regulations.
 2.1 The Builder shall carry out his own risk assessment for all aspects of the work.
 2.2 The Builder shall provide Method Statements for the following items of work as requested:
 a) Excavation below existing foundation levels when in close proximity to existing foundations.
 b) Use of heavy machinery when adjacent to or over existing occupied buildings
 c) Working with machinery when adjacent to or over existing occupied buildings
 d) Erection/installation of steelwork adjacent to or over existing occupied buildings
- The Builder shall maintain records of all on site changes to the drawings and calculations and provide a full set of marked up drawings to show the work construction.
 4. The Builder is reminded that the structure's stability relied on all structural elements to be completed and cured. The Builder is required temporary works and bracing requirements to ensure the interim safety of partially completed construction.

**PLANNING SUBMISSION
 (MINOR AMENDMENT)**

form title	by	check
 cddb architects ltd 43 Babbalan Road CUBBINGTON CV3 2JQ		
job title	Single Storey Side and Rear Extension at 150 Cubbington Road, Leamington Spa, CV32 7AH.	
drawing title	Block and Location Plans	
scale	drawn by	checked by
1:500 B 1:1250 @ A1	cr	November 2023
job no.	drawing no.	revision
T2319	AL (P) 00	-



**Location Plan
 Scale 1:1250 @ A1**



**Block Plan
 Scale 1:500 @ A1**