

GENERAL NOTES
DRAWING CAN BE SCALED FOR BUILDING REGULATIONS PURPOSES BUT ANY DOUBT ABOUT A DIMENSION OR ANY OF THE DRAWN INFORMATION PLEASE ASK CDRB ARCHITECTS LTD.

General Note

Before commencement of work, positions of all existing services shall be ascertained and any protective or diversion works are to be carried out as necessary.
Seven Trench Approval may be required and builder to check with Architect whether this is the case.
Existing drainage invert levels to be determined to establish adequate falls from new drainage fittings.
All necessary propping and shoring is to be carried out to ensure stability of the structure during building operations.
All materials and workmanship are to comply with all Building Regulations, British Standards and Codes of Practice.
All timbers are to be double vacuum pressure impregnated with Preservative and are to be treated with Polym cold end preservative liberally applied by a brush.
Builder and Client to carry out site investigation and results to be forwarded to CDRB Architects Ltd. and Approved Inspector/Local Authority Building Control Department to establish the levels of contamination if any and the suitability of ground conditions before the work commences.
CDRB Architects Ltd drawings are prepared to comply with the current building regulations and are to be read in conjunction with all relevant structural engineers details and calculations where appropriate.
All dimensions are to be checked on site by the Builder before work commences and any queries are to be brought immediately to CDRB Architects Ltd attention.
All drawings from CDRB Architects Ltd unless referred to by cover note are to be signed and stamped by the Approved Inspector/Local Authority Building Control Department. Sites not then passed for Building Regulation Approval.
CDRB Architects Ltd take no responsibility for work done at risk and to Plans approval being given by the Approved Inspector/Local Authority Building Control Department.
Equally CDRB Architects Ltd accept no responsibility for any alterations from the approved drawings by either the Builder or the Client without first checking with CDRB Architects Ltd. In writing.
CDRB accept no responsibility for other Consultant work and advice the Client and Builder to contact the Consultant directly if they have any queries about a Consultant's design or calculations.

BUILDING REGULATION APPROVAL, COM REGULATIONS, HEALTH & SAFETY, TEMPORARY WORK AND INTERIM STABILITY

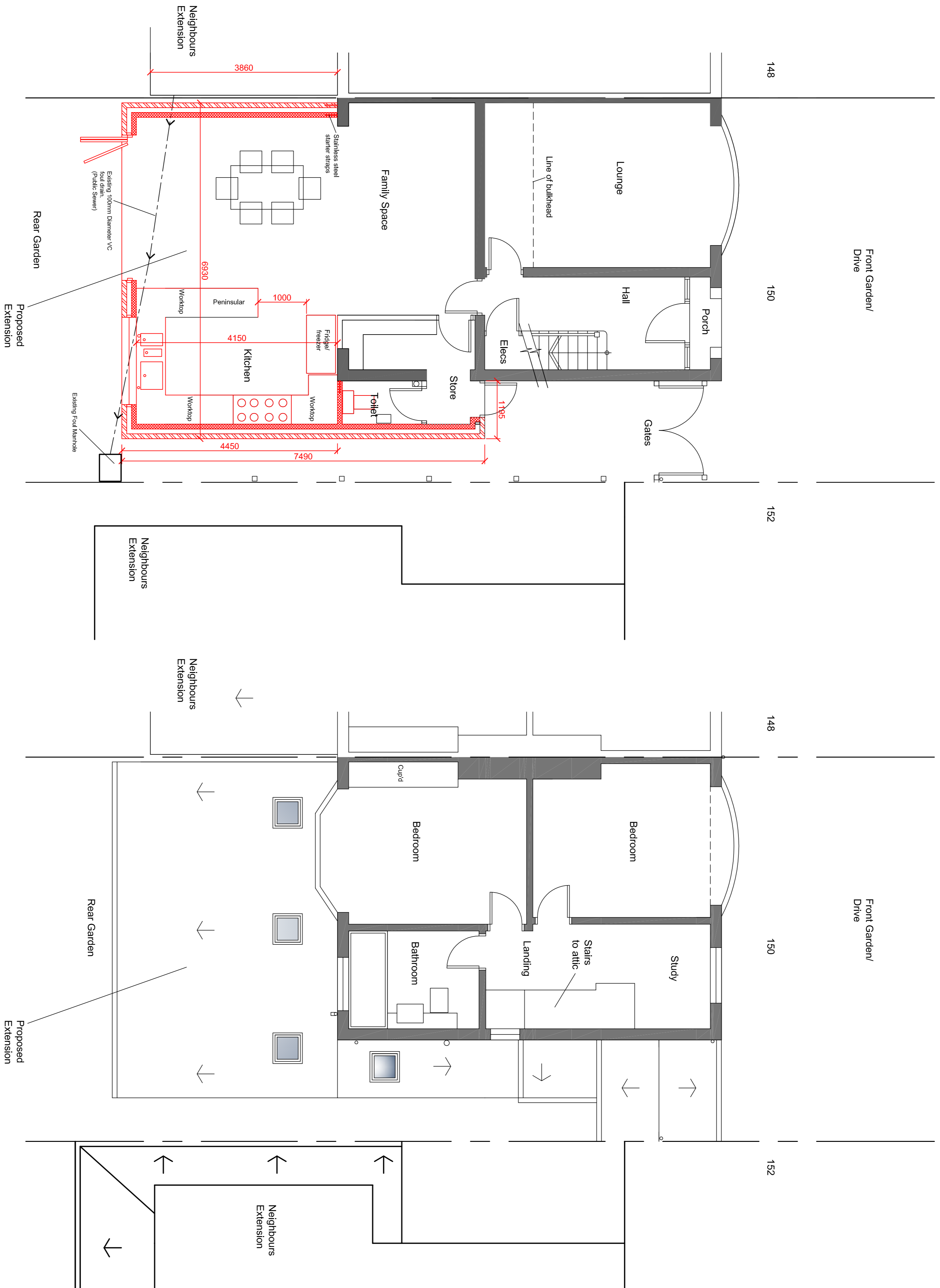
1. The Builder shall comply with the Building Regulations. Any work carried out on site prior to full Building Regulation Approval from the Local Authority is entirely at the risk of the builder.
2. The Builder shall comply with all aspects of the Construction (Design & Management) Regulations.
 - 2.1 The Builder shall carry out his own risk assessment for all aspects of the work.
 - 2.2 The Builder shall provide Method Statements for the following:
 - a) Excavation below existing foundation levels within 1m close proximity to existing foundations.
 - b) Underpinning.
 - c) Working with machinery when adjacent to or over existing occupied buildings.
 - d) Erection/installation of steelwork adjacent to or over existing occupied buildings.
3. The Builder shall maintain records of all on site changes to the drawings and calculations and provide a full set of marked up' drawings to show the actual construction.
4. The Builder is reminded that the structure's stability relied on all structural elements to be completed and cured. The Builder is required to ensure works and building requirements to ensure the interim safety of partially completed construction.

PLANNING SUBMISSION (MINOR AMENDMENT)

Item	Date	By	Period
 cdrb architects ltd 3 Mill Court Leamington Spa CV32 7AH CV32 7AH CV32 7AH CV32 7AH			
Single Storey Side and Rear Extension at 150 Cublington Road, Leamington Spa CV32 7AH.			

Proposed Plans

Scale	Drawn By	Date	Checked By
1:50 @ A1	C	November 2023	CDRB
Job no.	drawing no.	revision	
12319	AL/P/10	-	



Proposed Ground Floor Plan
Scale 1:50 @ A1

Proposed First Floor Plan
Scale 1:50 @ A1