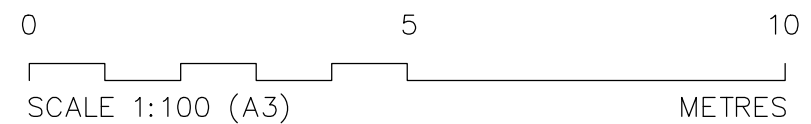


**A** GROUND FLOOR PLAN  
- AS EXISTING

NOTE: This drawing is to be used for planning purposes only and is not to be used as a base drawing for structural design, tendering or construction. The detailed design, structural design, waterproofing/ damp-proofing and general performance of the proposed basement is to be carried out by specialists to be directly appointed by the client. Party wall notices to be prepared in accordance with current legislation. Also refer to additional notes on the drawing including the title block below.

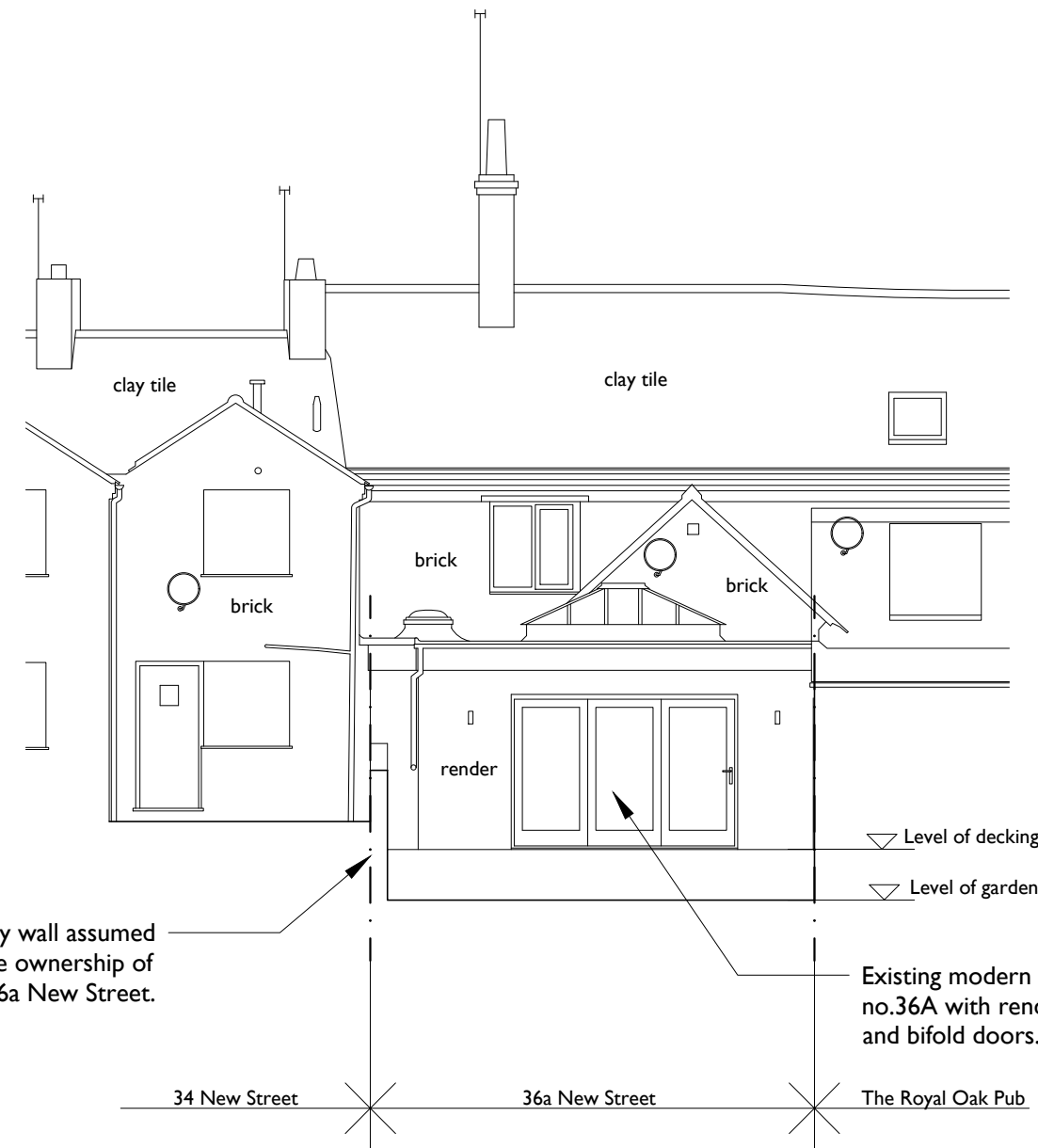


**EXISTING**

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		36A NEW STREET, KENILWORTH Basement Extension Ground Floor Plan as Existing		JAN 22	RD	1:100	A3
		PROJECT REF.		DRG. NO.	REV.		
		20007		EX-100	P3		



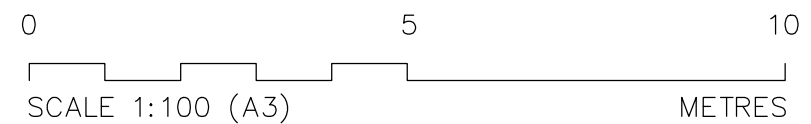
**A** - NORTHWEST (FRONT) ELEVATION  
AS EXISTING



**B** - SOUTHEAST (REAR) ELEVATION  
AS EXISTING

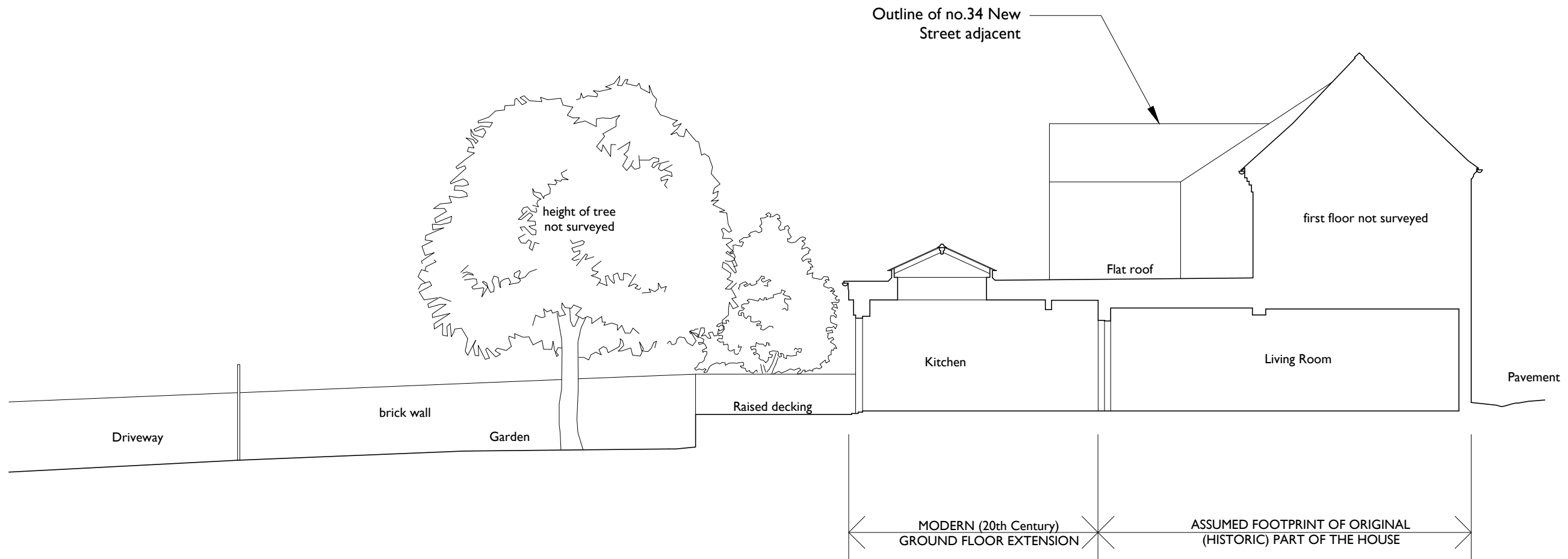
NOTE: Position of boundaries have been indicated based on existing site features. Precise legal boundary positions will need to be established during party wall discussions.

NOTE: This drawing is to be used for planning purposes only and is not to be used as a base drawing for structural design, tendering or construction. The detailed design, structural design, waterproofing/ damp-proofing and general performance of the proposed basement is to be carried out by specialists to be directly appointed by the client. Party wall notices to be prepared in accordance with current Party Wall legislation. Also refer to additional notes on the drawing including the title block below.



**EXISTING**

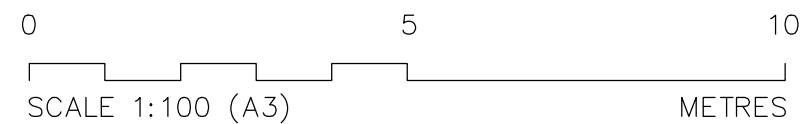
<b>Robert Davies Architects</b> & Historic Buildings Consultants <small>Weavers Cottages, 89 Berkeley Road South, Earlsdon, Coventry, CV5 6EF                  T: 02477 110 619 M: 0780 421 0407 info@robertdaves-architects.co.uk</small>	<small>© Copyright Robert Davies Architects Ltd                  All dimensions and details are approximate and must be checked and not scaled from the drawing. No part of this drawing can be reproduced or transmitted by any means electronic or mechanical, including photocopying, to any third parties whatsoever without prior permission in writing from Robert Davies Architects. This drawings has been prepared for planning application purposes only and is not be used for a building control application, tendering or construction. The proposals shown should be checked by a specialist consultant for compliance with current building regulations. Robert Davies Architects shall not be liable by anyone for the detailed design or construction of the proposals shown on this drawing.</small>	PROJECT / TITLE		DATE	DRAWN	SCALES	SIZE
		36A NEW STREET, KENILWORTH Basement Extension Northwest and Southeast Elevations as Existing		JAN 22	RD	1:100	A3
		PROJECT REF.		DRG. NO.	REV.		
		20007		EX-200	P3		



**A** SECTION AS EXISTING

NOTE: Position of boundaries have been indicated based on existing site features. Precise legal boundary positions will need to be established during party wall discussions.

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**EXISTING**

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		36A NEW STREET, KENILWORTH Basement Extension Section as Existing		JAN 22	RD	1:100	A3
		PROJECT REF.		DRG. NO.	REV.		
		20007		EX-300	P3		