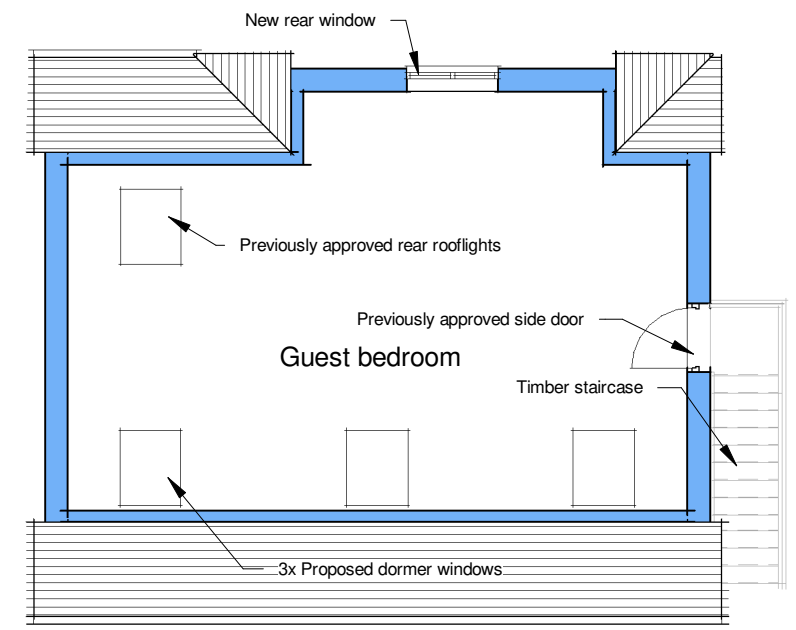
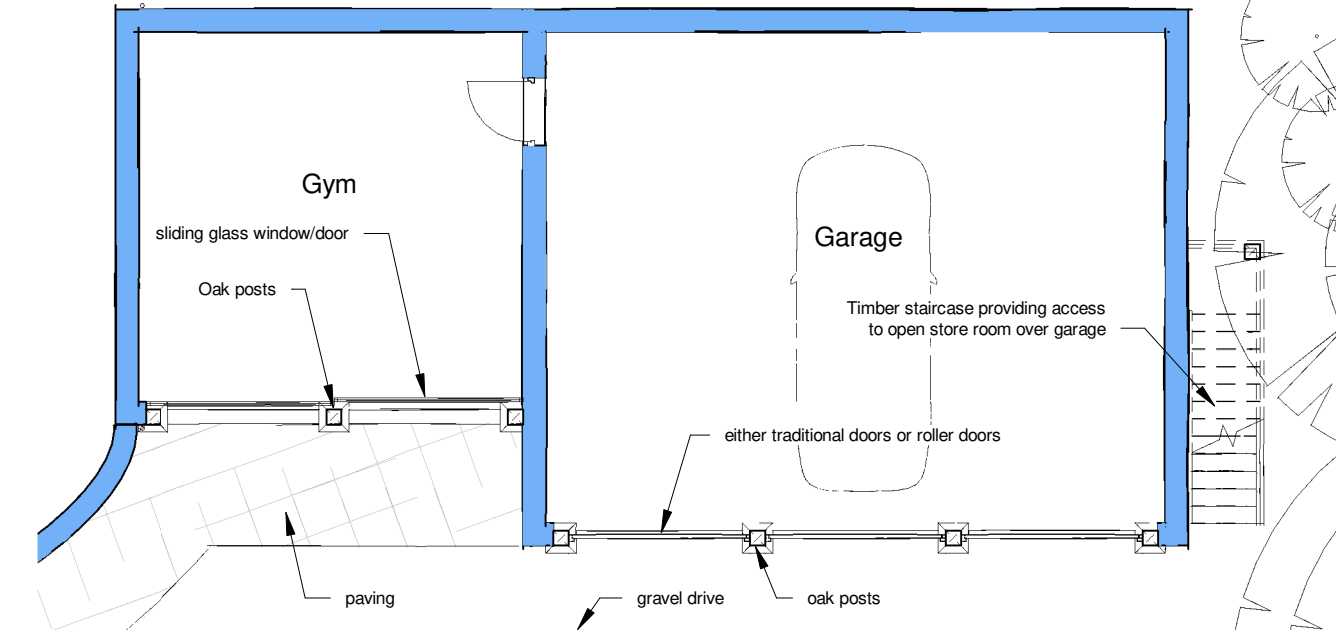


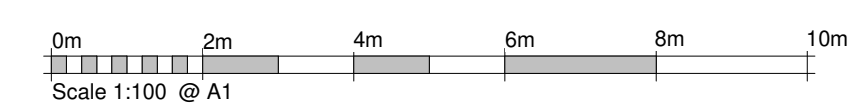
- General Notes:**
1. Stable Architecture retain full copyright of the design and of the content of this drawing.
 2. Do not scale drawings. Dimensions govern.
 3. All dimensions are in millimetres unless noted otherwise.
 4. All dimensions shall be verified on site before proceeding with the work.
 5. Stable Architecture shall be notified in writing of any discrepancies.
 6. Contractor/builder to carry out their own survey work prior to quantification and construction.



First Floor Plan
1 : 100



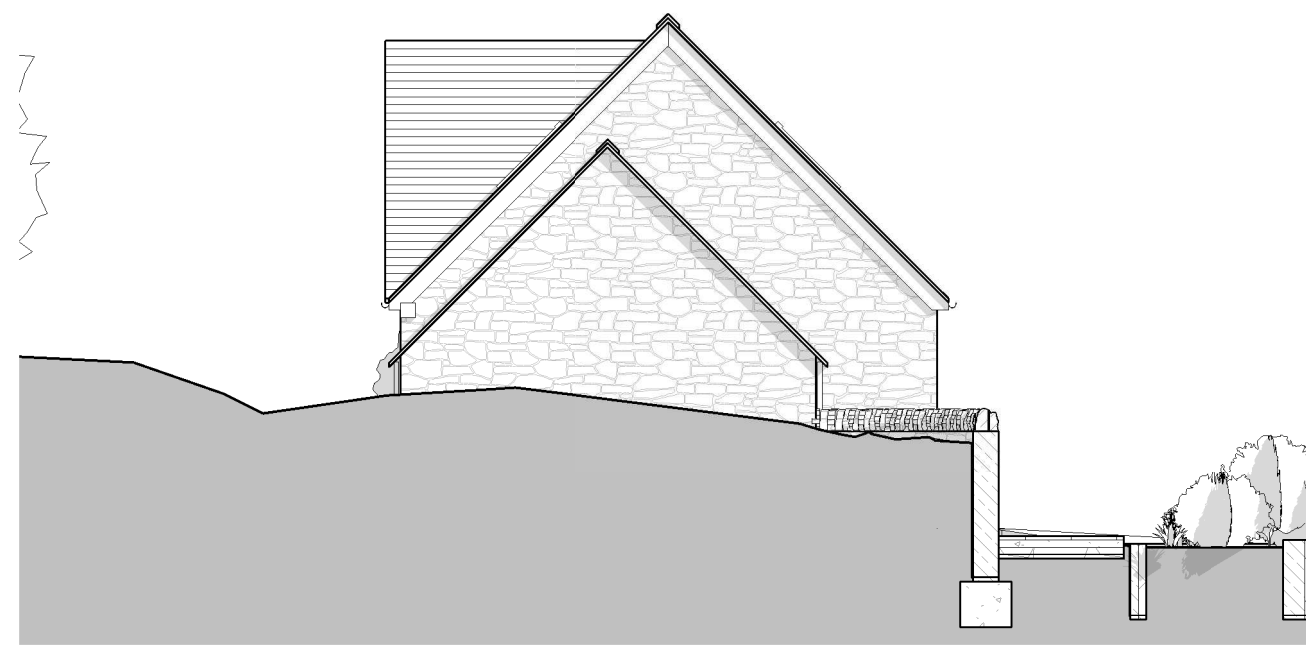
Garage - Ground Floor Plan
1 : 100



West Elevation
1 : 100



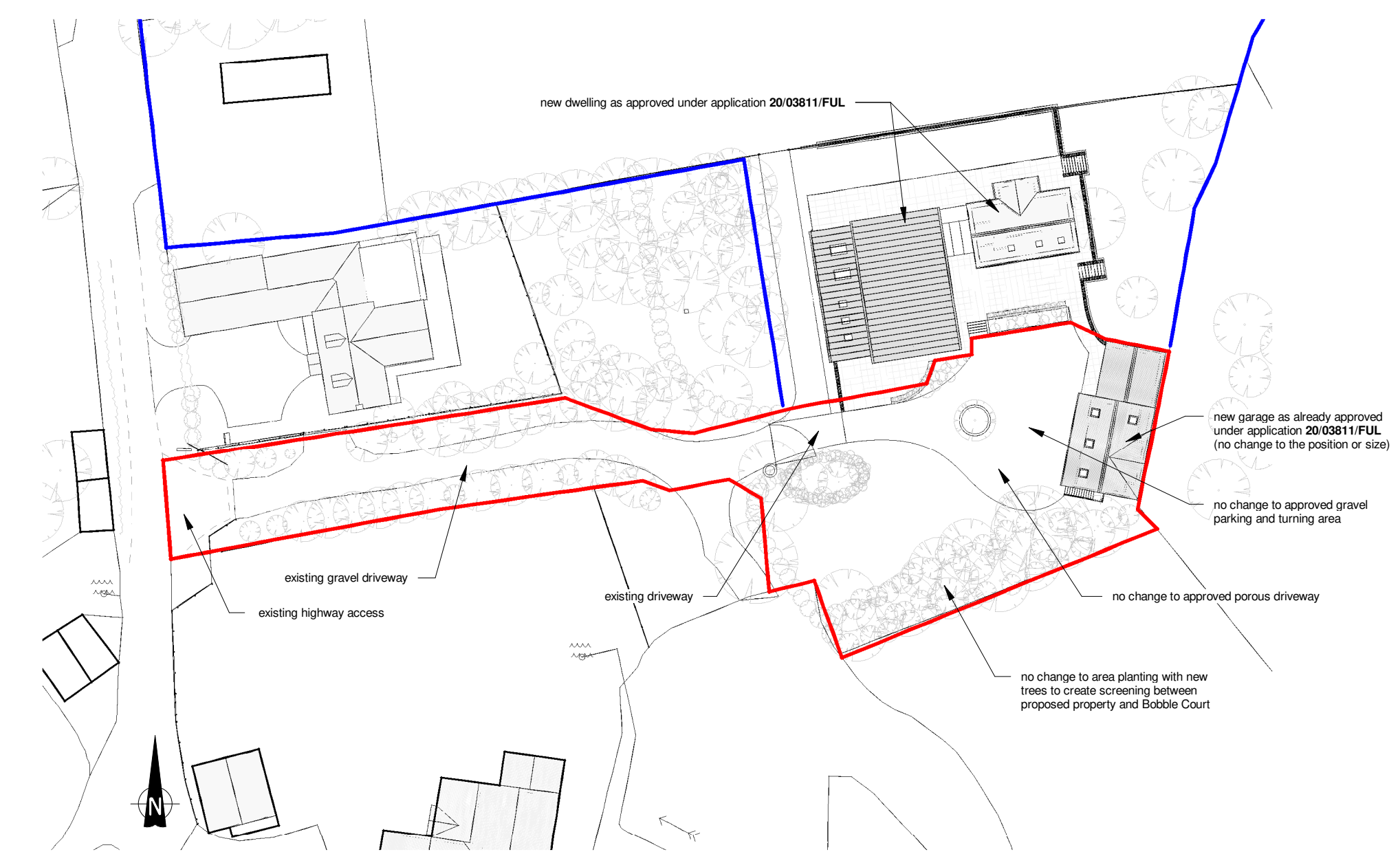
East Elevation
1 : 100



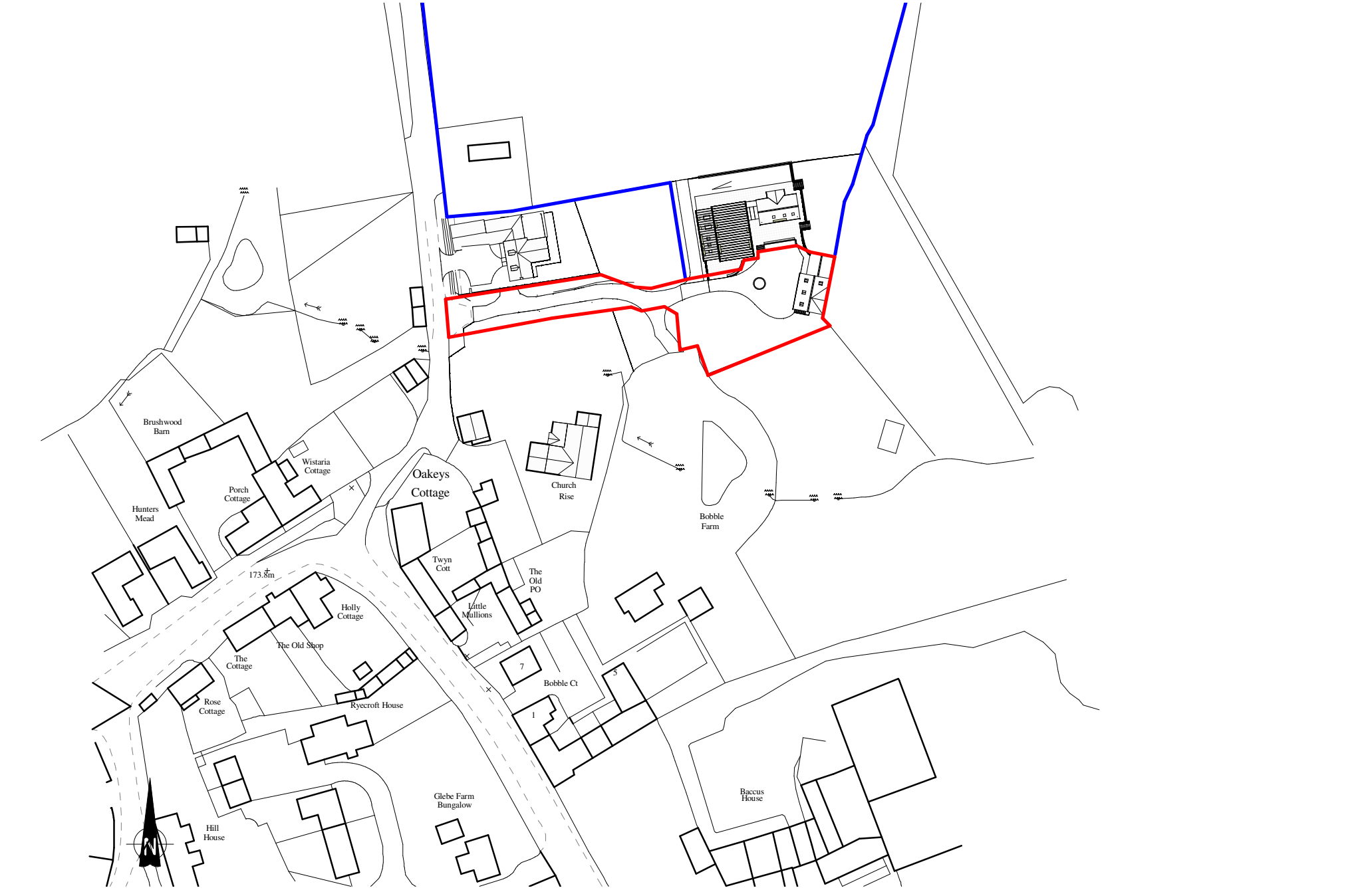
North Elevation
1 : 100



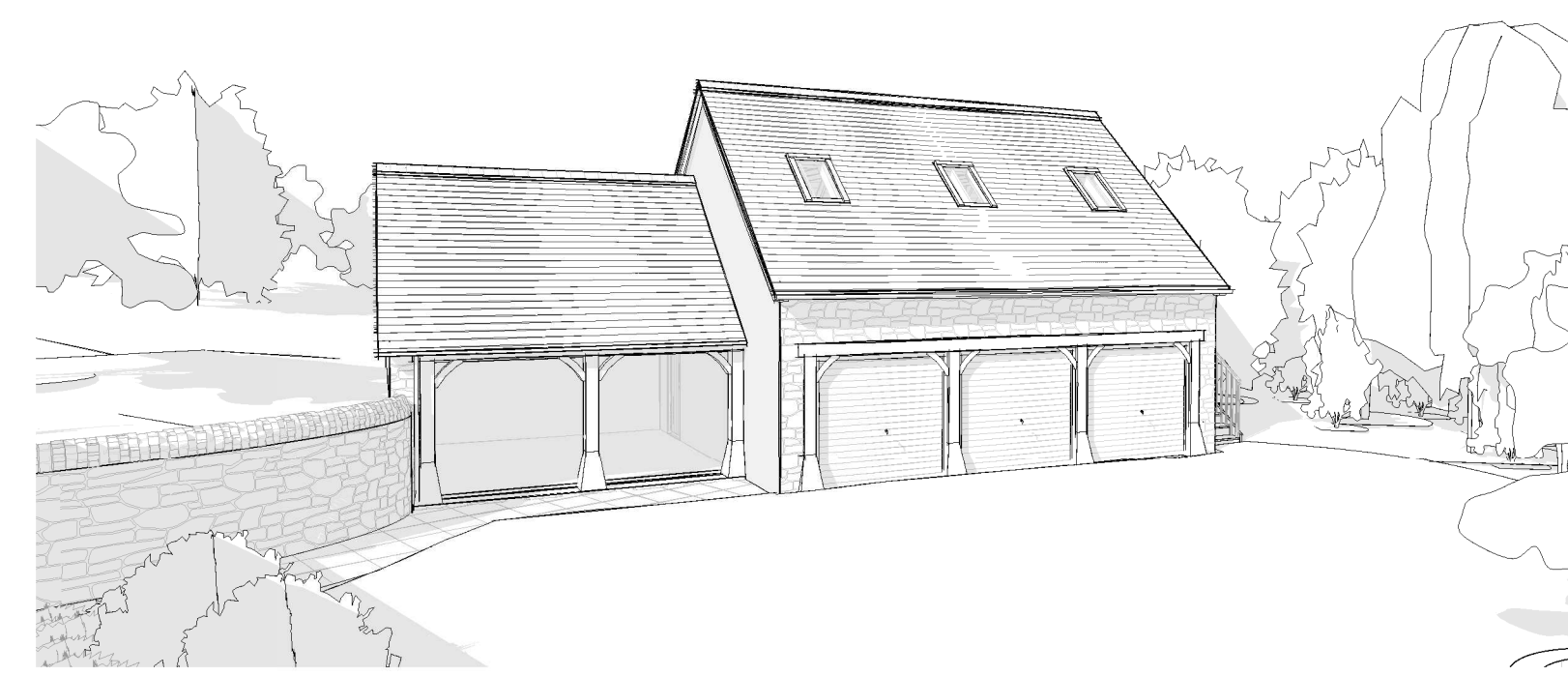
South Elevation
1 : 100



Block Plan
1 : 500



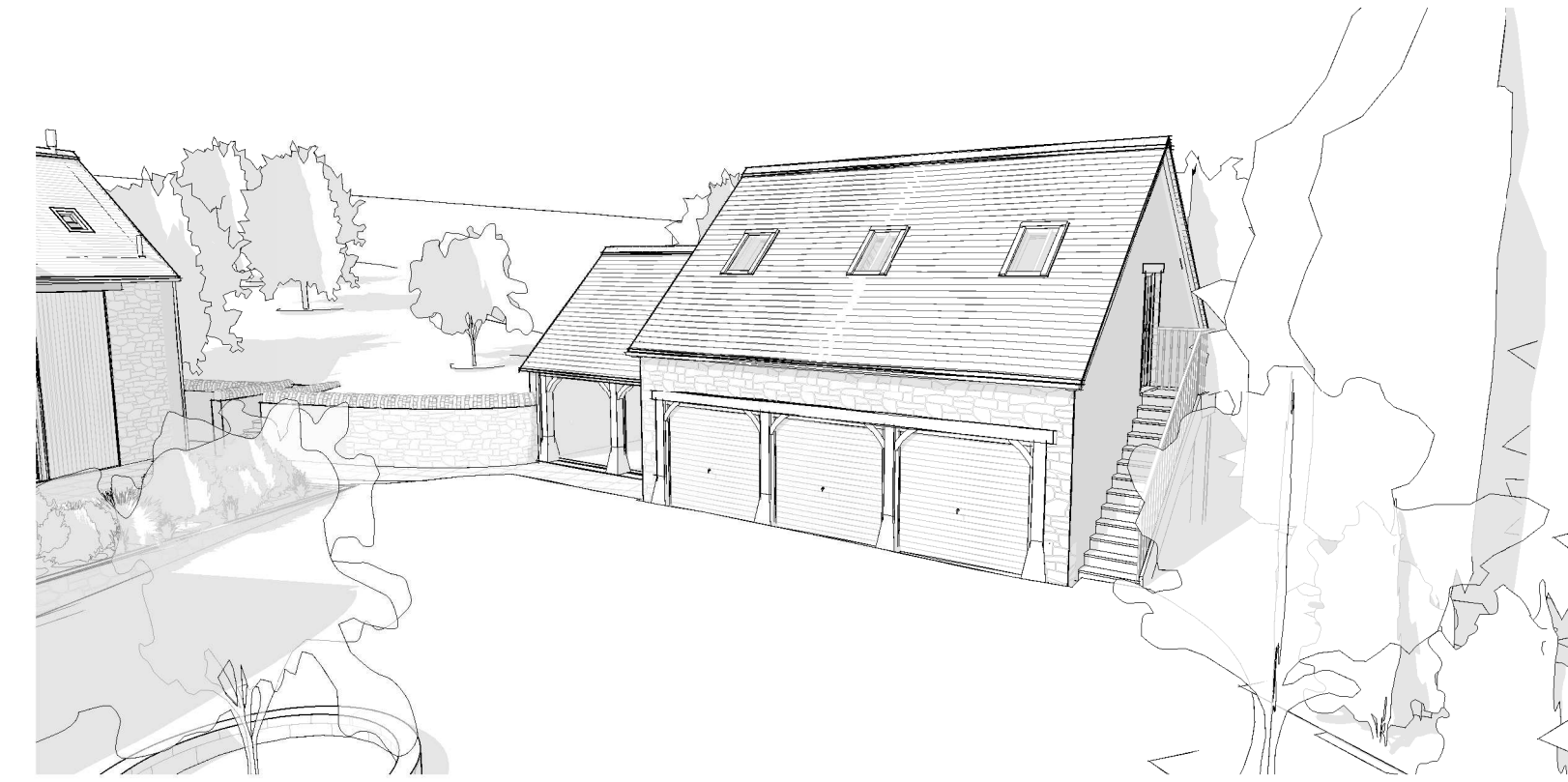
Location Plan
1 : 1250



Garage Perspective 1



Garage Perspective 2



Garage Perspective 3

Materials:
The materials for this proposed dwelling must be carefully chosen, the description below indicates the proposed suggested materials.

Walls: The walls are to be constructed using new local stone to match main dwelling.

Roof: The roof is to be finished as natural slate.

Rainwater goods: Guttering and downpipes are to be black UPVC cast-iron effect or black aluminium cast-iron effect.

Windows: Windows are to be powder coated slim profile aluminium frames finished in either anthracite grey or dark grey/black.

Rooflights: Velux rooflights with black frames.

Doors: Doors are to be either modern roller shutter doors, or traditional timber hinged doors.

Proposal:
Planning consent was granted under application reference number 20/03811/FUL on 7th December 2020 to create a new dwelling with a detached garage and gymnasium. This application was a variation to the previous approval reference number 19/04131/FUL.

The proposal has been implemented, the main dwelling construction has commenced as has the construction of the detached garage and gymnasium.

This proposal is to seek an alternative approval for the proposed detached garage and gymnasium.

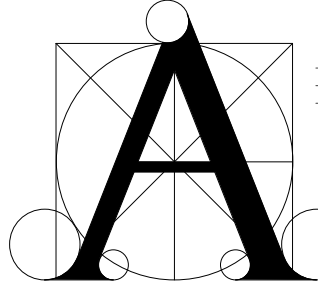
There is no proposed change to the size and position of the garage, nor any changes to the external material. The only revisions being sought as part of this application here's a minor increase in the eaves level on the west elevation of the property bringing it in line with the eaves level approved on the East elevation and the inclusion of 3x front dormers and a revision to the rear (East) to create a stone gable wall with a window centrally located.

The scheme approved under reference number 20/03811/FUL granted consent for the garage to be in asymmetrical roof as shown on drawing sheet reference 6877-10, our proposal is to balance the roof creating the eaves level to be the same on both East and West elevations and therefore creating a symmetrical roof construction.

The clarification no changes to the building position or material is sought as part of this application and no increase to the building footprint.

Revision "a" - front dormers removed following feedback from planning officer. Rooflights replacing dormers and new rear stone gable added 19/2/2022

Proposed Garage



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Client: Mr N. Smith
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Drawing No:	Date	Scale
6877-11a	6/12/2021	As indicated@A1