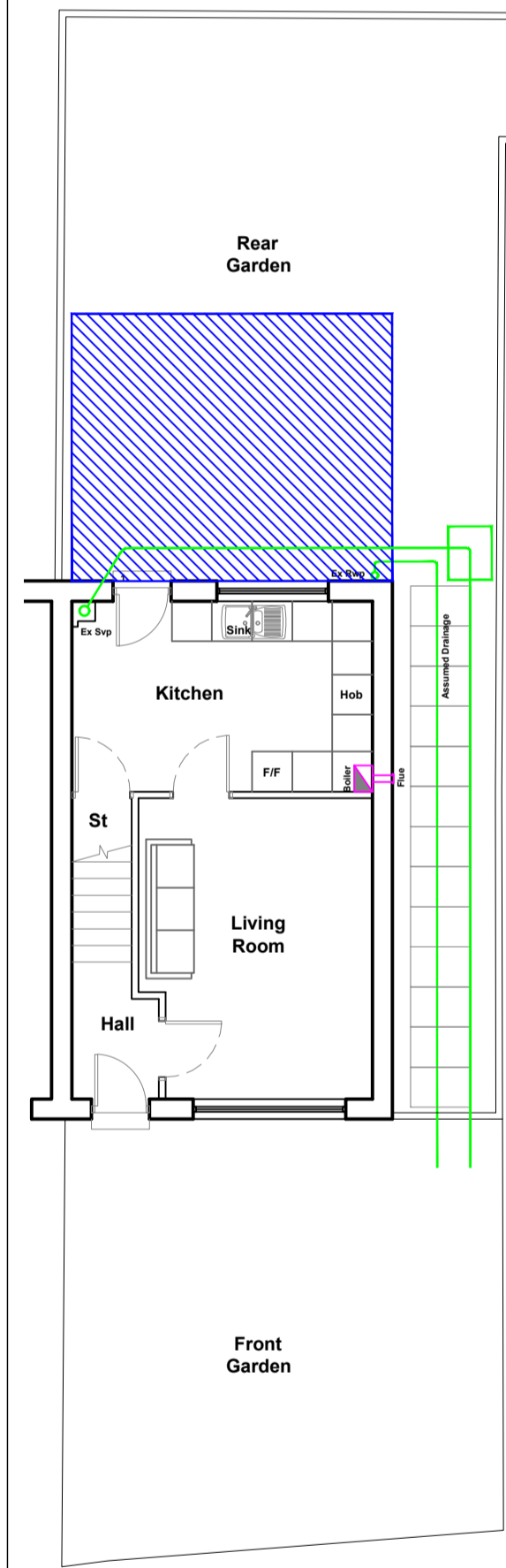


- General Notes**
- Do Not scale from this drawing
 - This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
 - The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
 - All dimensions to be checked on site prior to fabrication or erection
 - Contractor to take exact measurements on the proposed roof to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height.
 - Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
 - No work to be begun until the appropriate approvals (i.e Building warrant and planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment.
 - Councils stamped drawings should be used during construction.
 - Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services, i.e. gas, water etc.
 - Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains & sewers
 - Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
 - For Additional information see www.cafdesigns.co.uk
 - All dismantlings and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974
 - All works to Building (Scotland) Act 2003 and Building (Scotland) Regulations 2020
 - Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
 - Client to confirm boundary and land owned.
 - If in Doubt Ask

STAIR DETAILS :-
 External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Ground Floor F.F.L = 170mm approx.
 Total Number of Rises = 1
 - Rise = 140mm (max 170mm)

Contractor to ensure floor levels are even throughout.

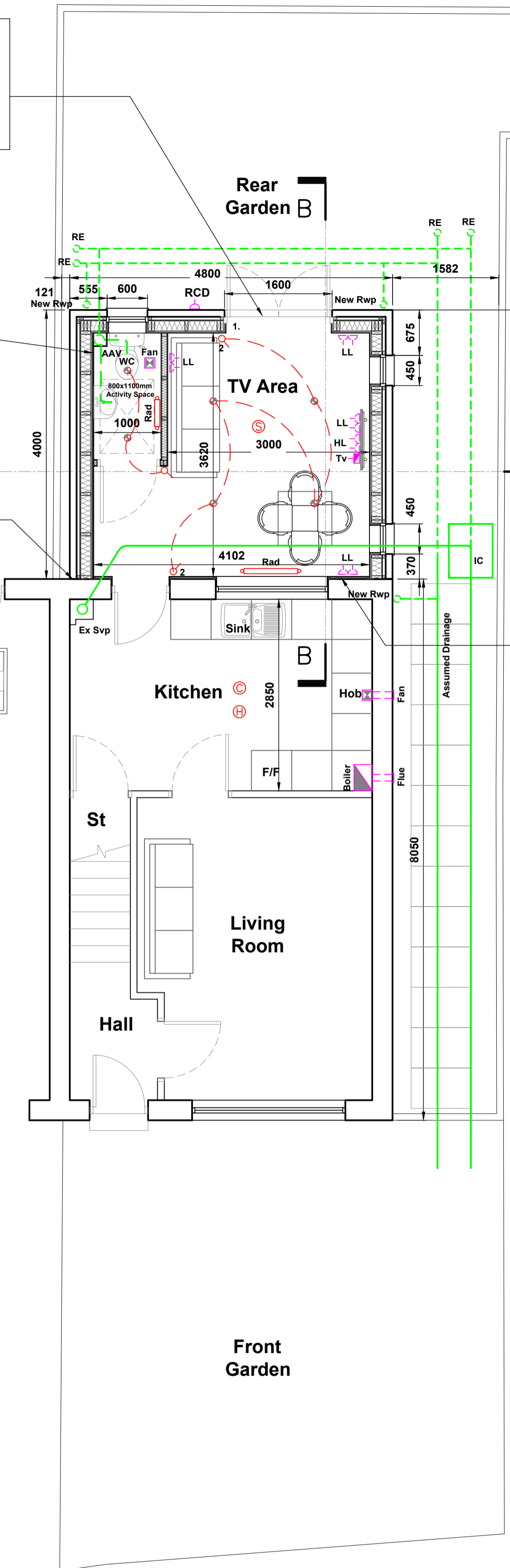
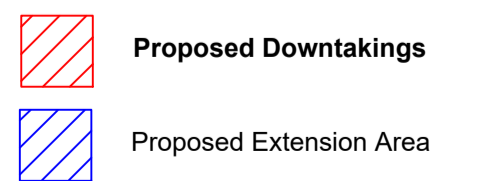
Vertical DPC at junctions of new and existing masonry



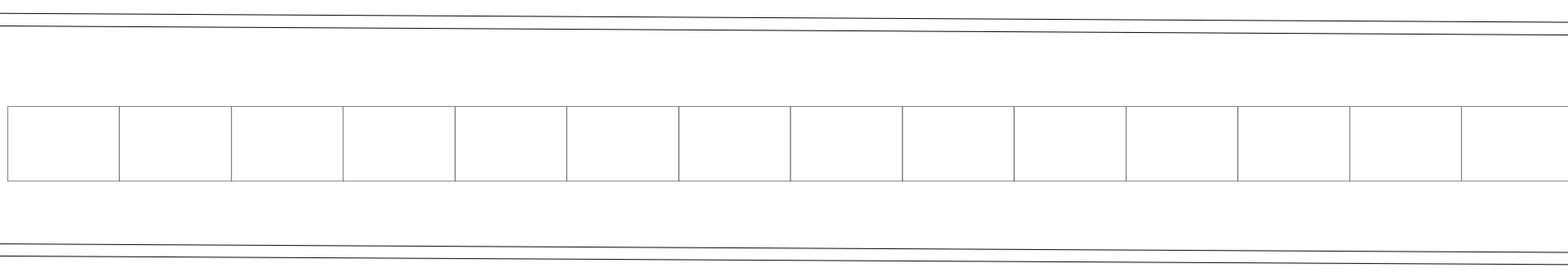
EXISTING GROUND FLOOR PLAN
SCALE 1:100

Contractor to ensure floor levels are even throughout.

- Total Approx. area of existing dwelling and gardens = 167sqm
- Approx. ground floor area of Dwelling = 81sqm
- Approx. Proposed Extension area of = 19.2sqm



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED DRAIN DETAIL
SCALE 1:10

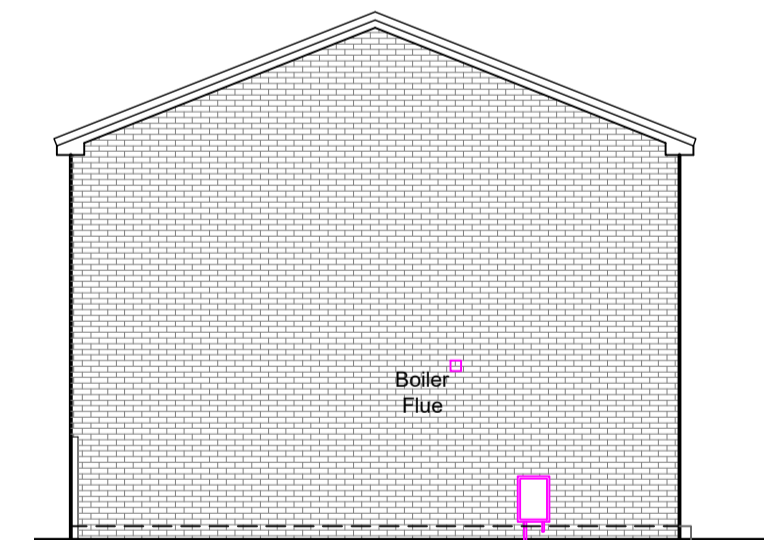
- Legend**
- Proposed Electrical lighting circuit
 - 2-Way Light Switch
 - Light Switch
 - Pendant Light Fitting with Ceiling Rose
 - Recessed Spotlight
 - Smoke detectors - wired to mains electrical supply; positioned min 300mm from light fittings and adjacent walls provided with battery backup
 - Hot water radiator connected to existing hot water system c/w TRV's
 - Double 13A Socket
 - Single 13A Socket
 - Low Level
 - High Level
 - Existing Drainage
 - Proposed Drainage Run
 - Rain Water Pipe
 - Soil Vent Pipe
 - Rodding Eye
 - Tv Aerial Socket
 - Gas Meter
 - Electric Meter and Distribution Board
 - RCD New External 13A RCD protected socket
 - Carbon Monoxide Detector
 - Heat Detector

All construction to be erected on Clients land. No construction to encroach onto Neighbouring land

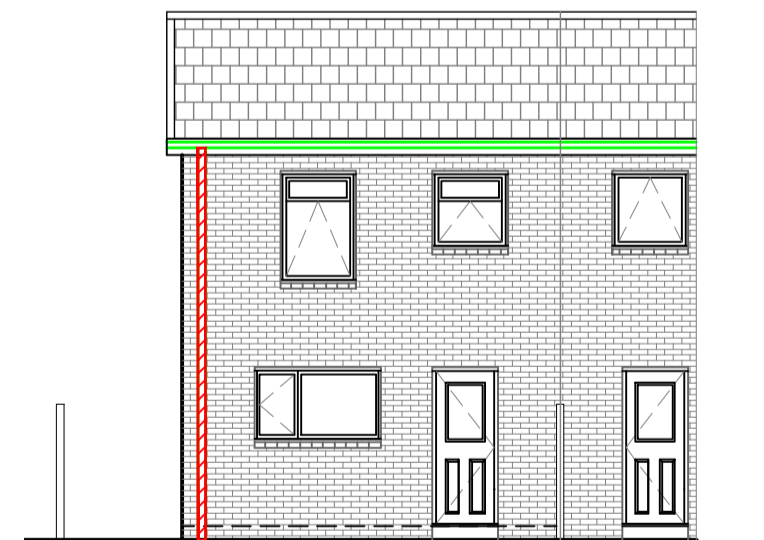
Any Rodding Eyes affected and uncovered during construction works to be suitably protected and extended beyond the extension

Prior to the removal of any loadbearing or supporting walls the existing structure must be adequately propped and remain so until the alteration work is complete and cured

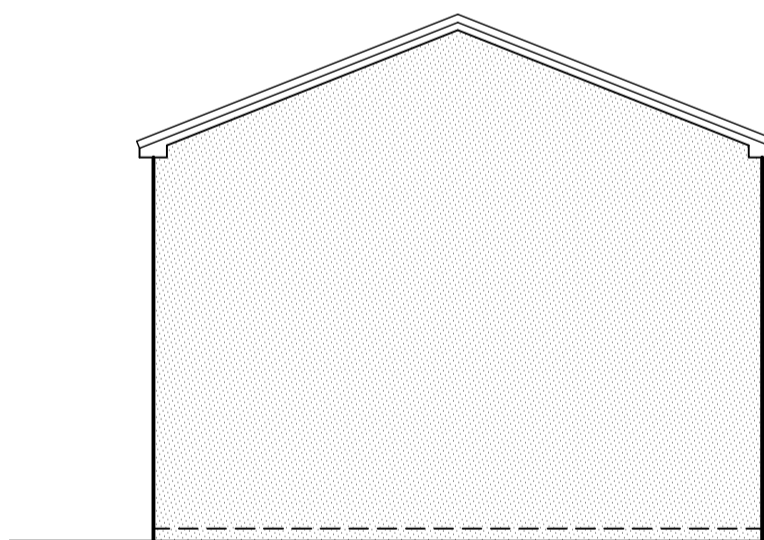
For all structural implications, detailing and specification see Structural Engineers designs and specifications



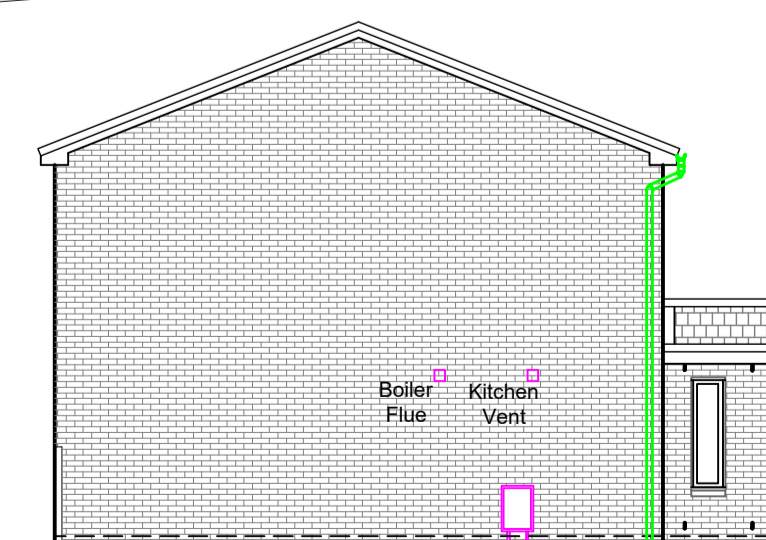
EXISTING WEST ELEVATION
SCALE 1:100



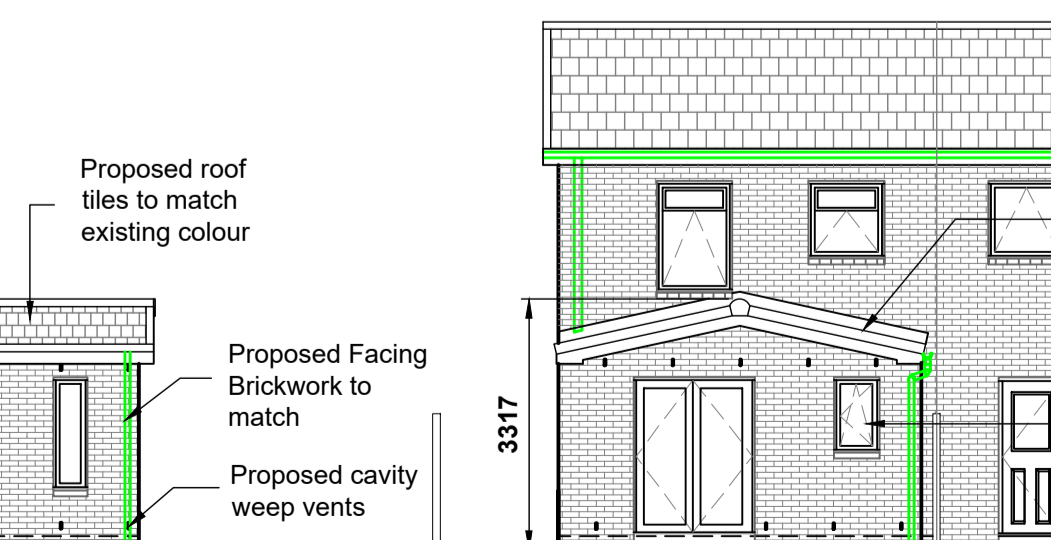
EXISTING SOUTH ELEVATION
SCALE 1:100



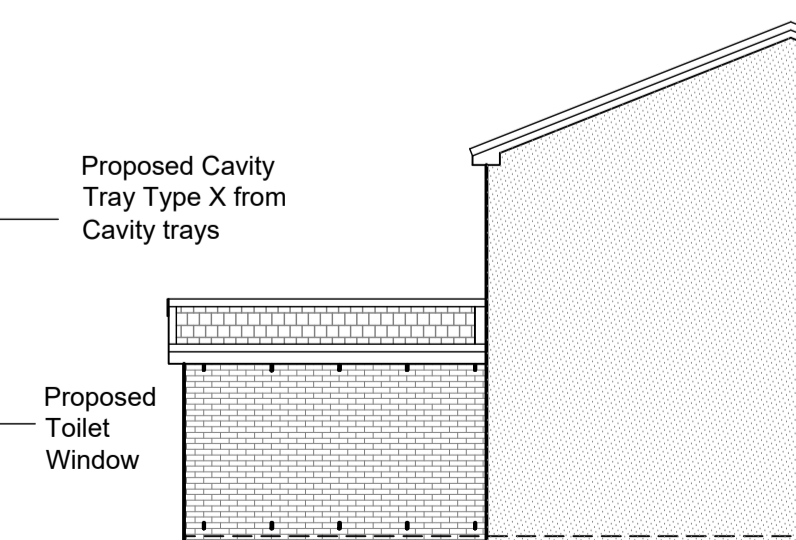
EXISTING EAST ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION
SCALE 1:100

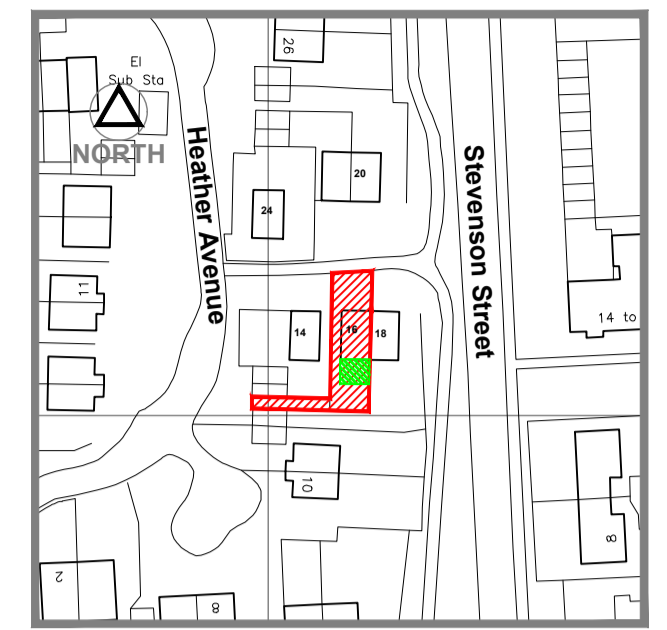


PR SOUTH ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100

SITE NATIONAL GRID REFERENCE
NS 276215E, 660113N



EXISTING PHOTOGRAPH

SITE LOCATION PLAN
1:1250
16 Heather Avenue
Holytown ML1 4XX



SITE PLAN
1:500

Rev	Description	Date
B	Clients comments	21/1/22

Client and Project Address
Mr & Mrs Paterson
 16 Heather Avenue
 Holytown ML1 4XX

Drawing Title
Proposed Rear Extension
 Existing & Proposed Plans
 and Location Plans

CAF
 CAF DESIGNS
 53 CALDERGLEN AVENUE
 THE ELMS BLANTYRE
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PLANNING

Drawn by CAF	CAD Location C:\Drawings\109-21
Scale 1:50	Date Jan 22
	Paper Size A1

Drawing no.
109-21.001 **B**