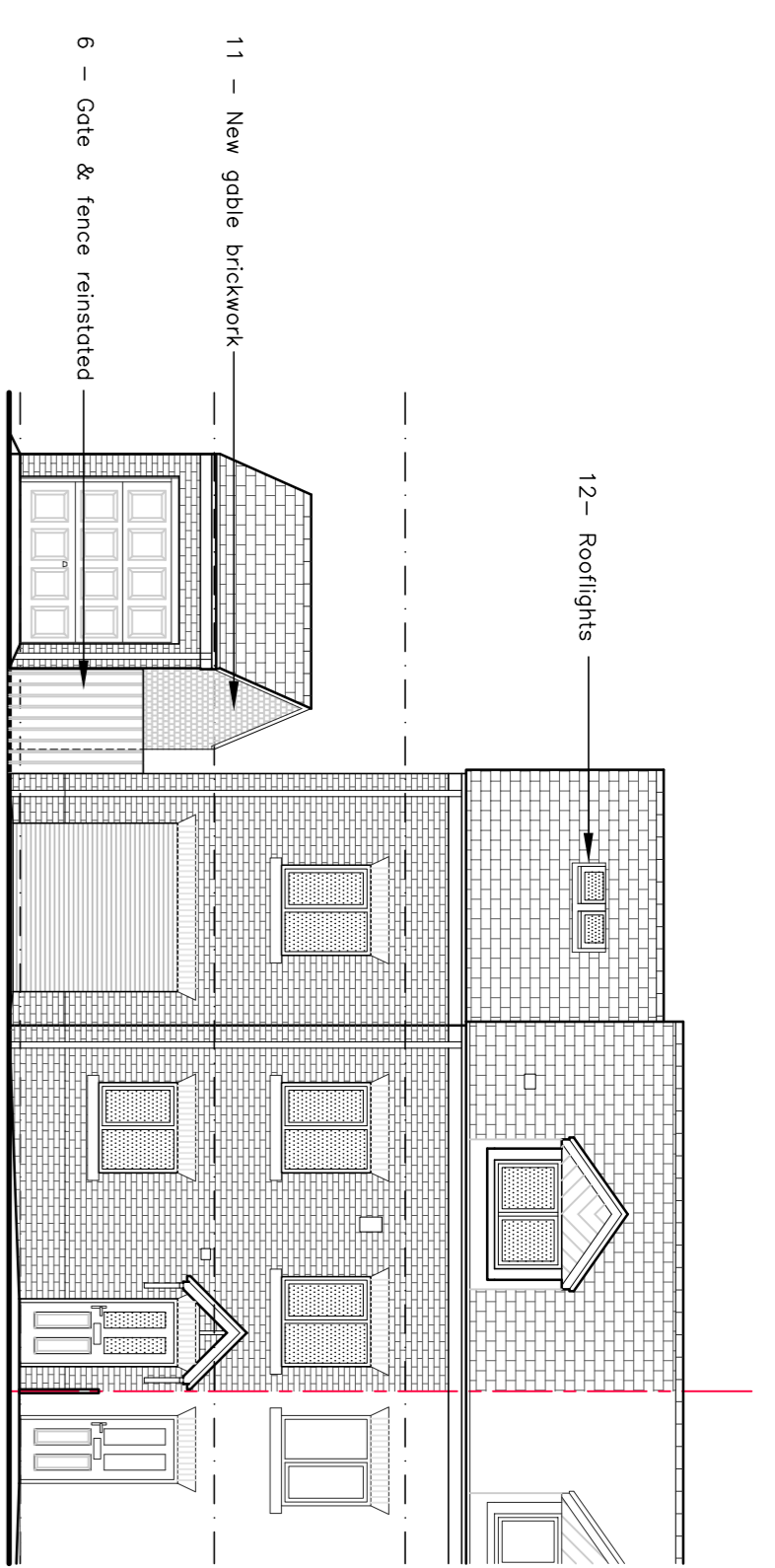
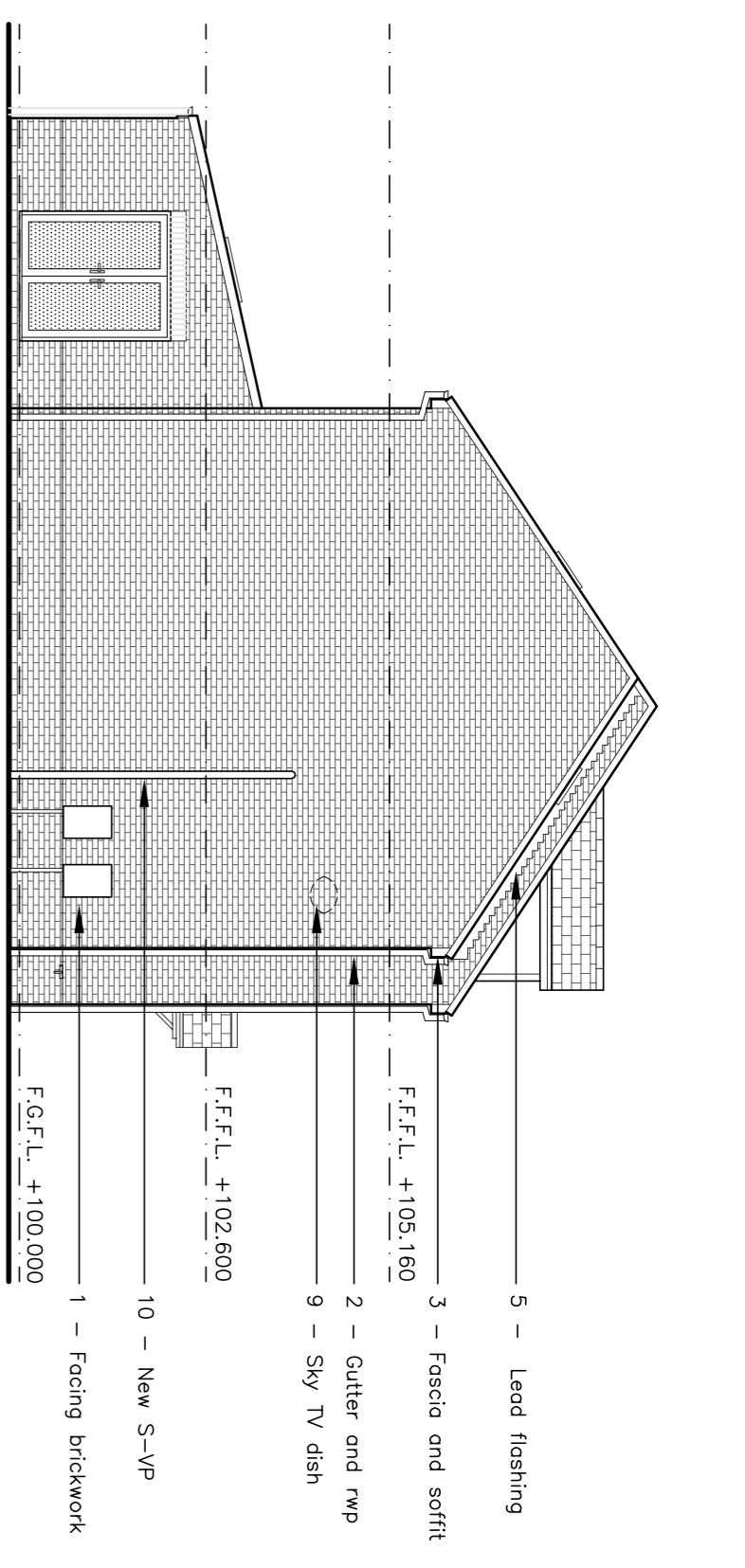


ELEVATION MATERIAL SPECIFICATION NOTES.

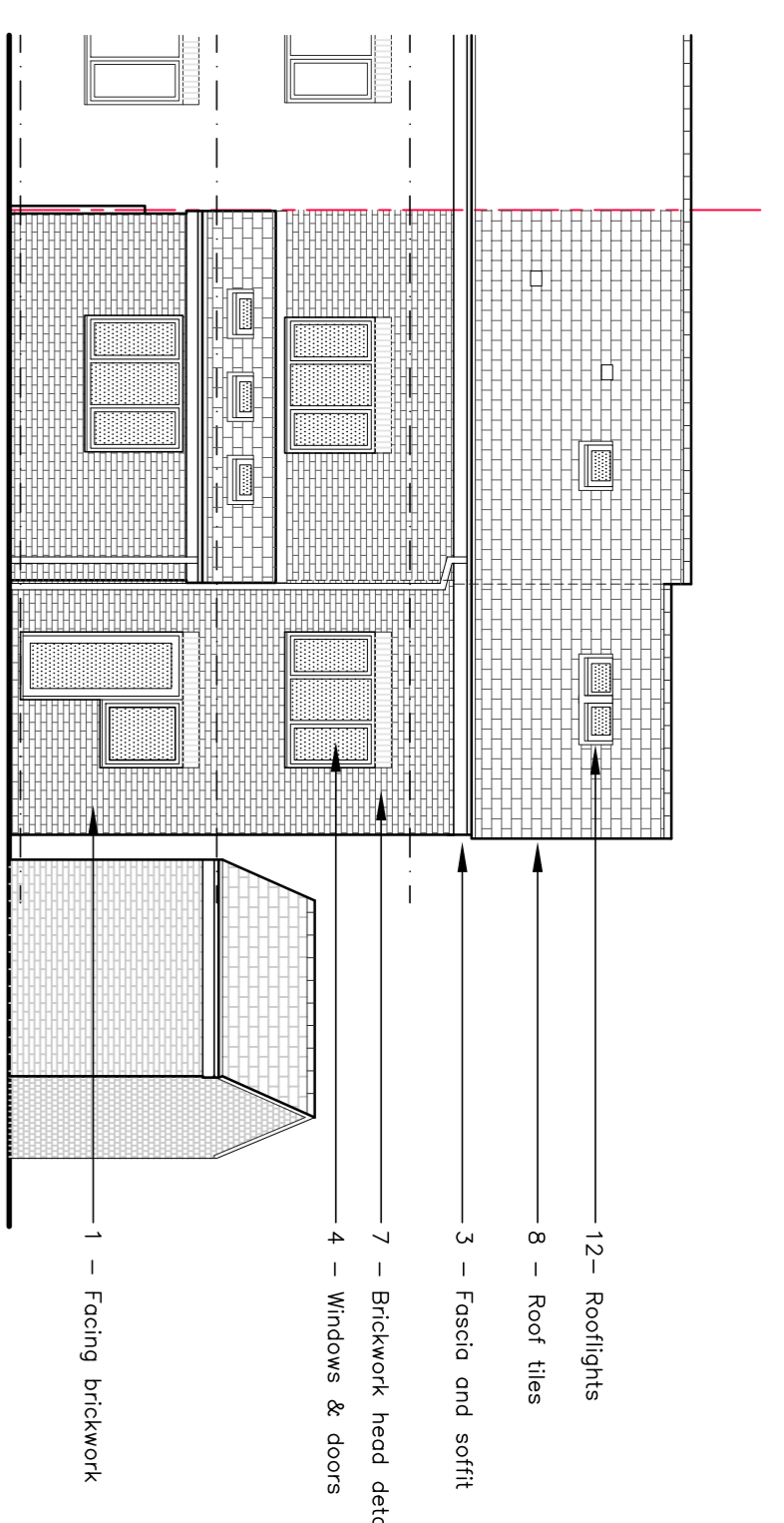
- 1- Facing brickwork to new extension to match existing house.
- 2- Marley or equal rainwater gutters and downpipes to extension, colour to match existing.
- 3- UPVC fascia and soffit, colour to match existing.
- 4- UPVC windows & doors, colour to match existing.
- 5- New lead flashing installed to existing wall / new roof abutments to ensure a watertight junction to roofing sub-constructors details.
- 6- Existing close boarded timber fence and gate to be reinstated to match existing.
- 7- Brick on edge head details to match existing.
- 8- Roof tiles to match existing.
- 9- Wall mounted Sky TV dish to be reinstated to clients approval.
- 10- New S-VIP to match existing.
- 11- New brickwork, skin to garage gable to match existing.
- 12- Rooflights to match existing.



SOUTH ELEVATION  
PROPOSED scale 1:100



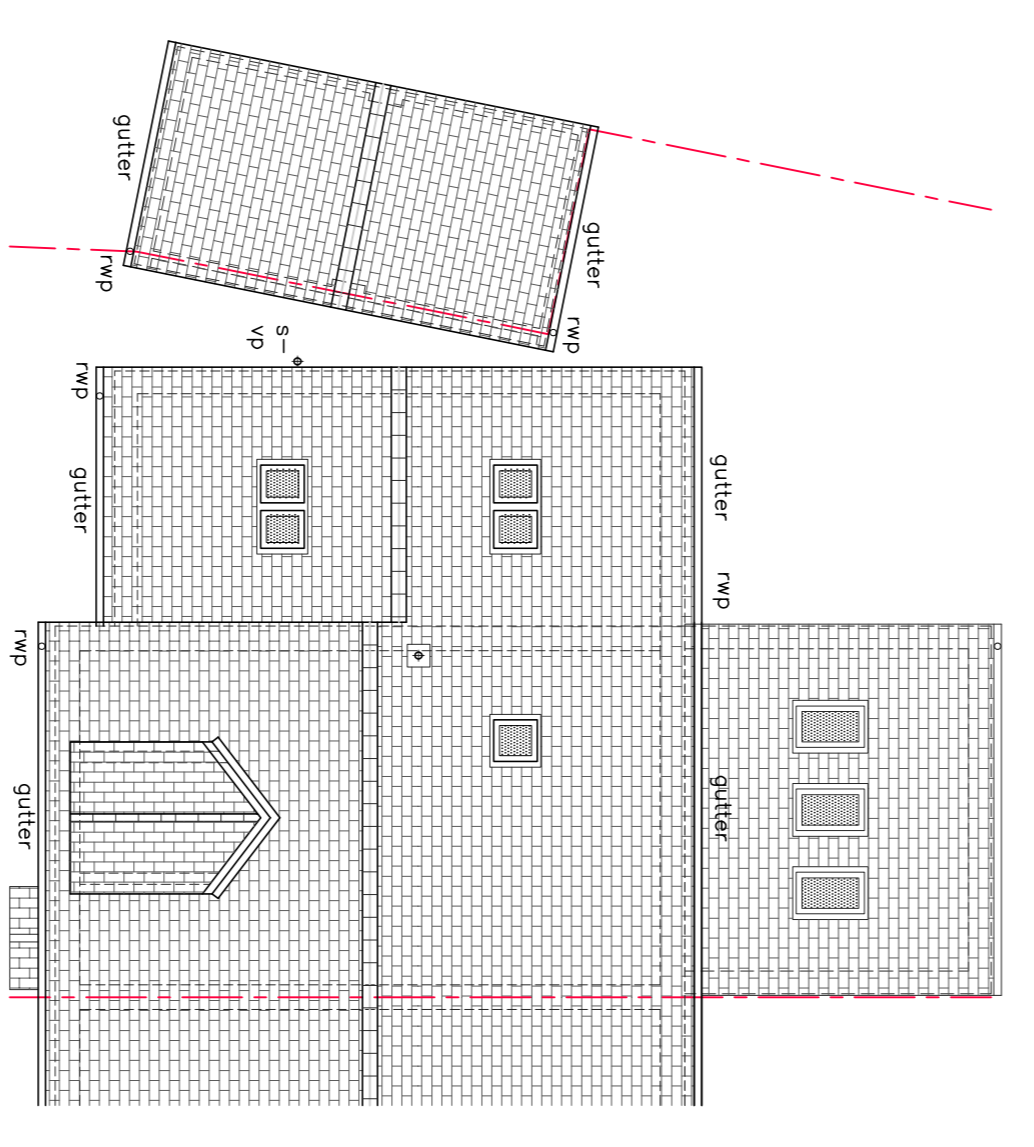
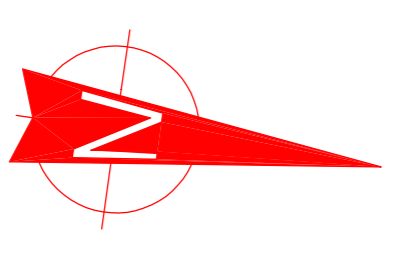
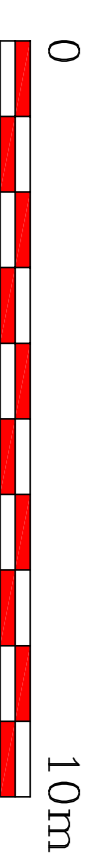
WEST ELEVATION  
PROPOSED



NORTH ELEVATION  
PROPOSED



PROPOSED SITE LAYOUT  
scale 1:100



ROOF PLAN VIEW  
PROPOSED scale 1:100

CDM LEGEND - "significant remaining risks."

- 1 - EXCAVATIONS - unknown existing foundation/drainage depths, contractor to make sure any excavations.
- 2 - WORK TO EXISTING CONCRETE FLOOR - construction / depth of existing concrete floor unknown.
- 3 - CONNECTIONS TO SERVICES - contractor to locate services on site and confirm connections to be by qualified engineer.
- 4 - ISOLATION OF SERVICES - all existing services to be suitably capped off & protected prior to commencement of works.
- 5 - STRUCTURAL OPENING WORKS - all works to be fully in accordance with structural engineers design.
- 6 - NEIGHBOURS - impact of works upon neighbouring properties including noise, dust, drainage & access routes.
- 7 - SITE SECURITY - road/ public footpath to be maintained/ kept clear at all times and contractor to ensure site works made safe/secure.

- SITE PLAN LEGEND**
- 99.850+ Existing ground levels
  - 99.950+ Proposed ground levels
  - Site boundary line, approximate area 390m<sup>2</sup>
  - Assumed existing foul water drainage
  - Assumed existing surface water drainage
  - Assumed existing H/W, adopted combined drainage
  - Proposed foul water drainage
  - Proposed surface water drainage

**NOTE:** Full extent of existing drainage runs unknown. Existing drainage runs are shown as assumed. Contractor to locate and expose existing drainage and protect as necessary to allow proposed works to be carried out and ensure all drainage runs are suitably capped off and protected. All proposed connections to be approved by NML and Building Control prior to work being put in hand. Existing services to be checked on site before work commences. All services to be maintained to adjacent properties at all times. Proposed levels and drainage scheme all to be agreed with client and to Building Control Officers approval.

REVISION A : 25 FEBRUARY 2022 :  
DRAWING ISSUED FOR PLANNING.

Do not scale. All setting out dimensions to be site confirmed prior to works commencing and all other dimensions to be confirmed in conjunction with all other architectural and structural engineers drawings.

<p><b>Dixon Dawson Chartered Architects</b> Mains Park Road Cheshire-le-street County Durham DH9 5PU T 0191 388245 W www.dixon-dawson.co.uk E d.dixon@dixon-dawson.co.uk</p>	PROPOSED EXTENSION & ALTERATIONS. 34 CAVELL DRIVE, BOWBURN. DH6 5FE. for MR & MRS PEGMAN.	
	PROPOSED SITE LAYOUT	1:100@A1
	PROPOSED ELEVATIONS	1:100@A1
	PROPOSED ROOF PLAN VIEW	1:100@A1
Date: 16/02/22	Drawn: LE	Checked: LE
		<b>8712C/04A</b>

planning issue