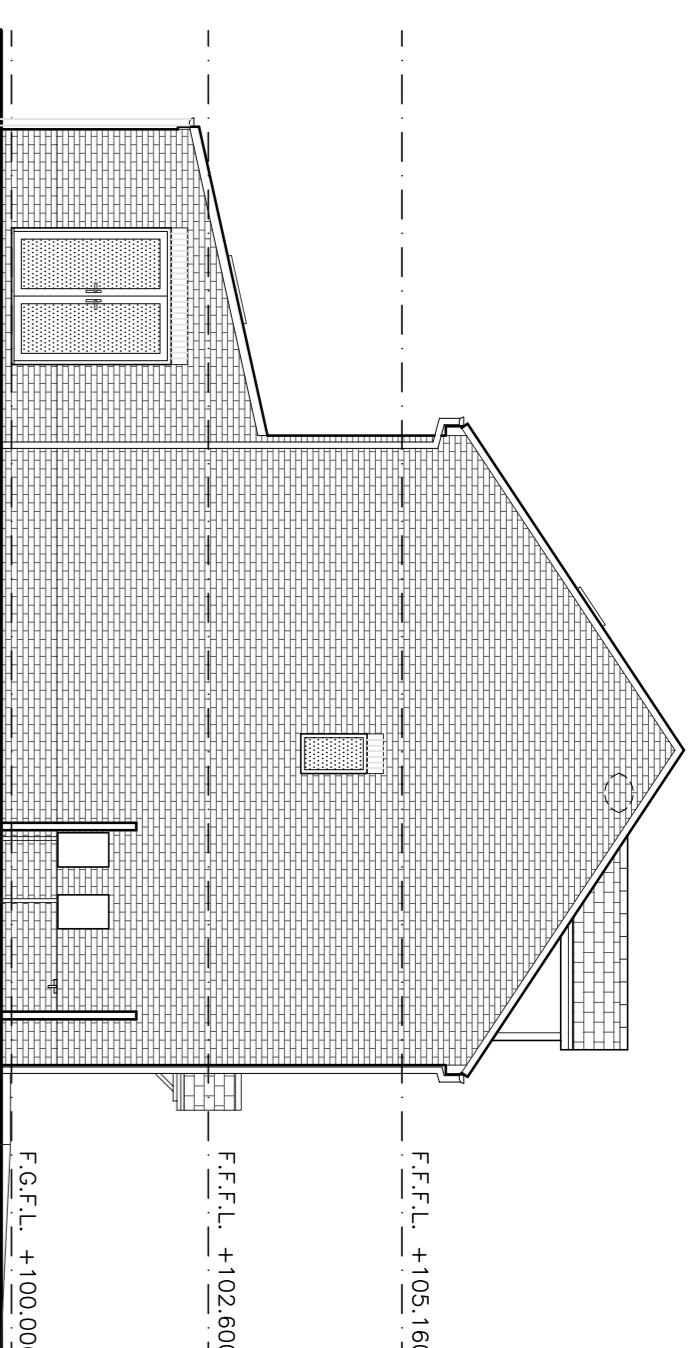
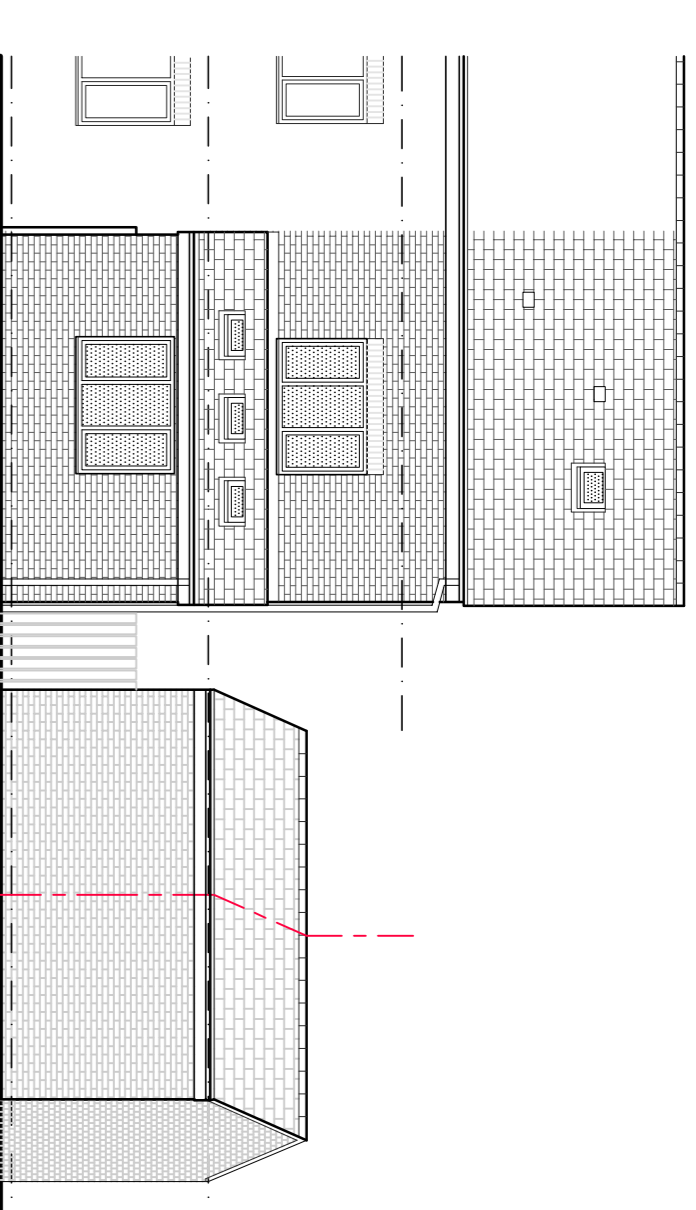


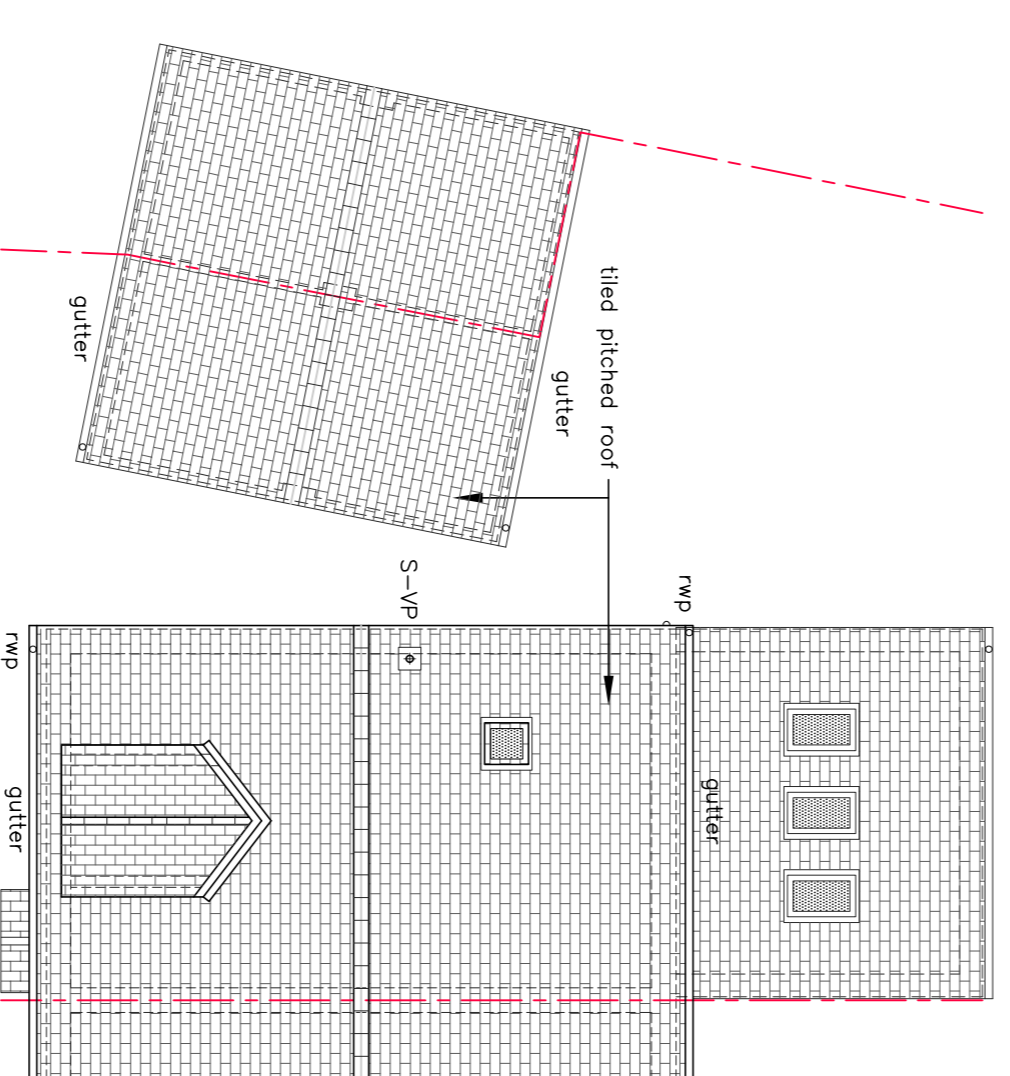
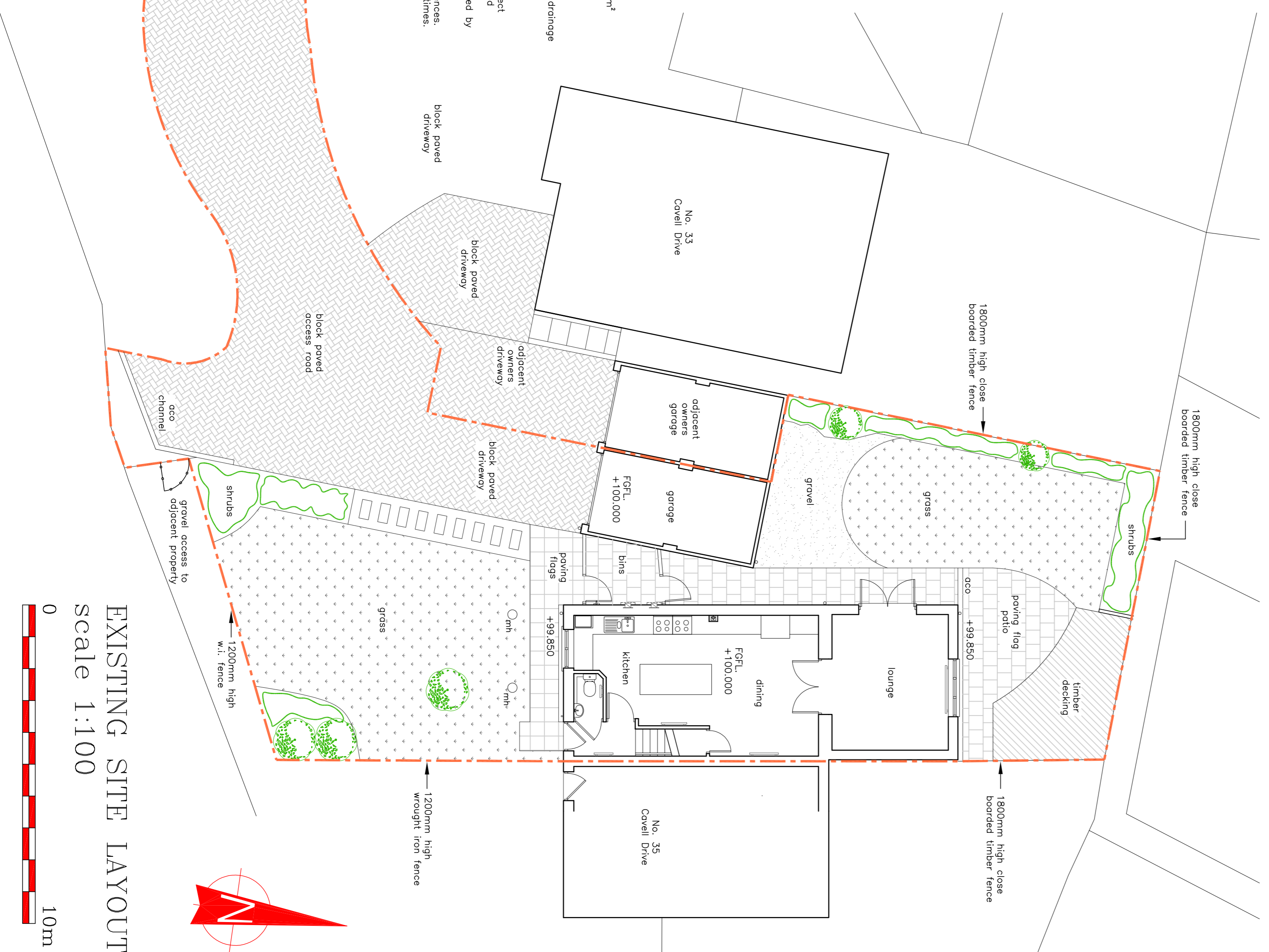
SOUTH ELEVATION  
EXISTING scale 1:100



WEST ELEVATION  
EXISTING



NORTH ELEVATION  
EXISTING



ROOF PLAN VIEW  
EXISTING scale 1:100

- SITE PLAN LEGEND**
- Existing ground levels
  - 99.850+ Site boundary line, approximate area 390m<sup>2</sup>
  - Assumed existing foul water drainage
  - Assumed existing surface water drainage
  - Assumed existing NWL adopted combined drainage

NOTE: Full extent of existing drainage runs unknown. Existing drainage system to be investigated further. Existing drainage system to be investigated further and project as necessary to allow proposed works to be carried out and arrange for Building Control and NWL inspection to confirm NWL and Building Control prior to work being put in hand. Existing services to be checked on site before work commences. Proposed levels and drainage scheme all to be agreed with client and to Building Control officers approval.

**CDM LEGEND – significant remaining risks**

- 1 EXCAVATIONS –  
Investigating foundation/drainage depths, contractor to make safe any excavations.
- 2 WORK TO EXISTING CONCRETE FLOOR –  
construction / depth of existing concrete floor unknown.
- 3 CONNECTIONS TO SERVICES –  
connections to any services on site prior to commencement of any works, connections to be by qualified engineer.
- 4 ISOLATION OF SERVICES –  
all existing services to be suitably capped off & protected prior to commencement of works.
- 5 STRUCTURAL OPENING WORKS  
All spans / conditions to be site confirmed & works to be fully in accordance with structural engineers design.
- 6 NEIGHBOURS –  
impact of works upon neighbouring properties including noise, dust, drainage & access routes.
- 7 SITE SECURITY –  
Site access to be maintained / kept clear at all times and contractor to ensure site works made safe/secure.

planning issue

<p><b>Dixon Dawson Chartered Architects</b> Mains Park Road Chester-le-Street County Durham DH9 5PU W: www.dixondawson.co.uk T: 0191 3882645 E: dixon@ddarchitects.co.uk</p>	
<p><b>PROPOSED EXTENSION &amp; ALTERATIONS.</b> 34 CAVELL DRIVE, BOWBURN, DH6 5FE. for MR &amp; MRS PEGMAN.</p>	
EXISTING SITE LAYOUT	1:1000@A1
EXISTING ELEVATIONS	1:1000@A1
EXISTING ROOF PLAN VIEW	1:1000@A1
Date: 16/02/22	AS
Drawn: LE	Checked:
<b>8712c/02A</b>	

Do not scale. All setting out dimensions to be site confirmed prior to works commencing and all other architectural and structural engineers drawings to be read in conjunction with all other architectural and structural engineers drawings.

REVISION A : 25 FEBRUARY 2022 :  
DRAWING ISSUED FOR PLANNING.

AS