

APPLETREES, SANDHOE

HERITAGE STATEMENT

January 2022 v1



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Appletrees, Sandhoe

Heritage Statement

Introduction

This document is a short report to accompany a planning application to construct a garage to the rear of Appletrees, Sandhoe (NGR NY 96995 66314). The report has been compiled to provide supporting information in accordance with paragraphs 189 of the NPPF and BE1 of local plan policy.

Scope of Report

This document is not a comprehensive desk based assessment. It is a short heritage statement which has been compiled to address the impact of the proposed garage on the setting of Appletrees which is a Grade II listed building. The level of information provided in this assessment is deemed to be proportionate to the significance of the assets affected and the nature of the proposal (NPPF paragraph 189). An assessment of setting has been carried out in accordance with GPA3 The Setting of Heritage Assets (Historic England 2017).

The online Historic Environment Record has been consulted to establish the absence or presence of any other known heritage assets recorded in proximity to the site which could be affected by the development. Other records at Heritage Gateway and Magic.gov have also been consulted in preparation of this document.

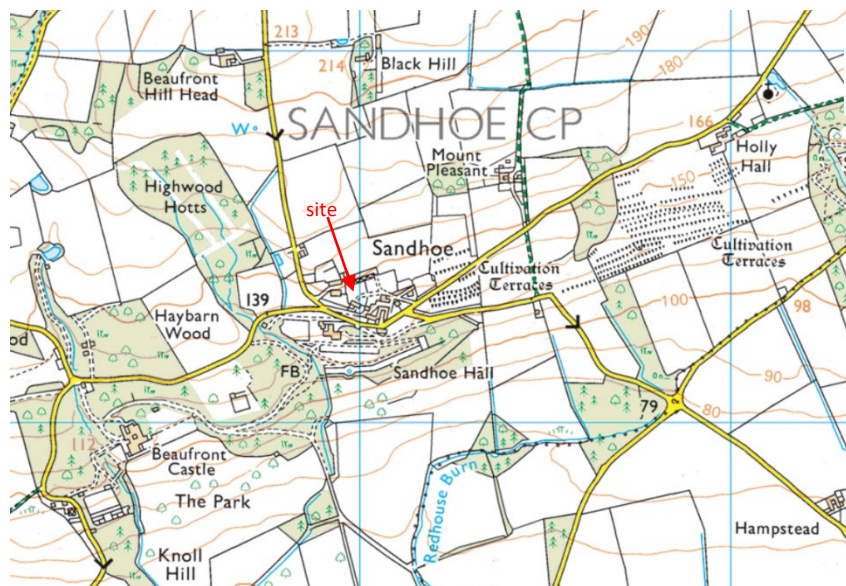


Figure 1 Site location

Site Description

Appletrees is a Grade II listed building situated within the village of Sandhoe, one and a half miles northwest of Corbridge, Northumberland. The house was originally two separate cottages constructed to the north of Sandhoe Hall to house workers on the estate (Plate 1). The houses were joined to become a single dwelling sometime in the early 20th century. The house has undergone significant changes in recent years which have altered its internal layout and external appearance.

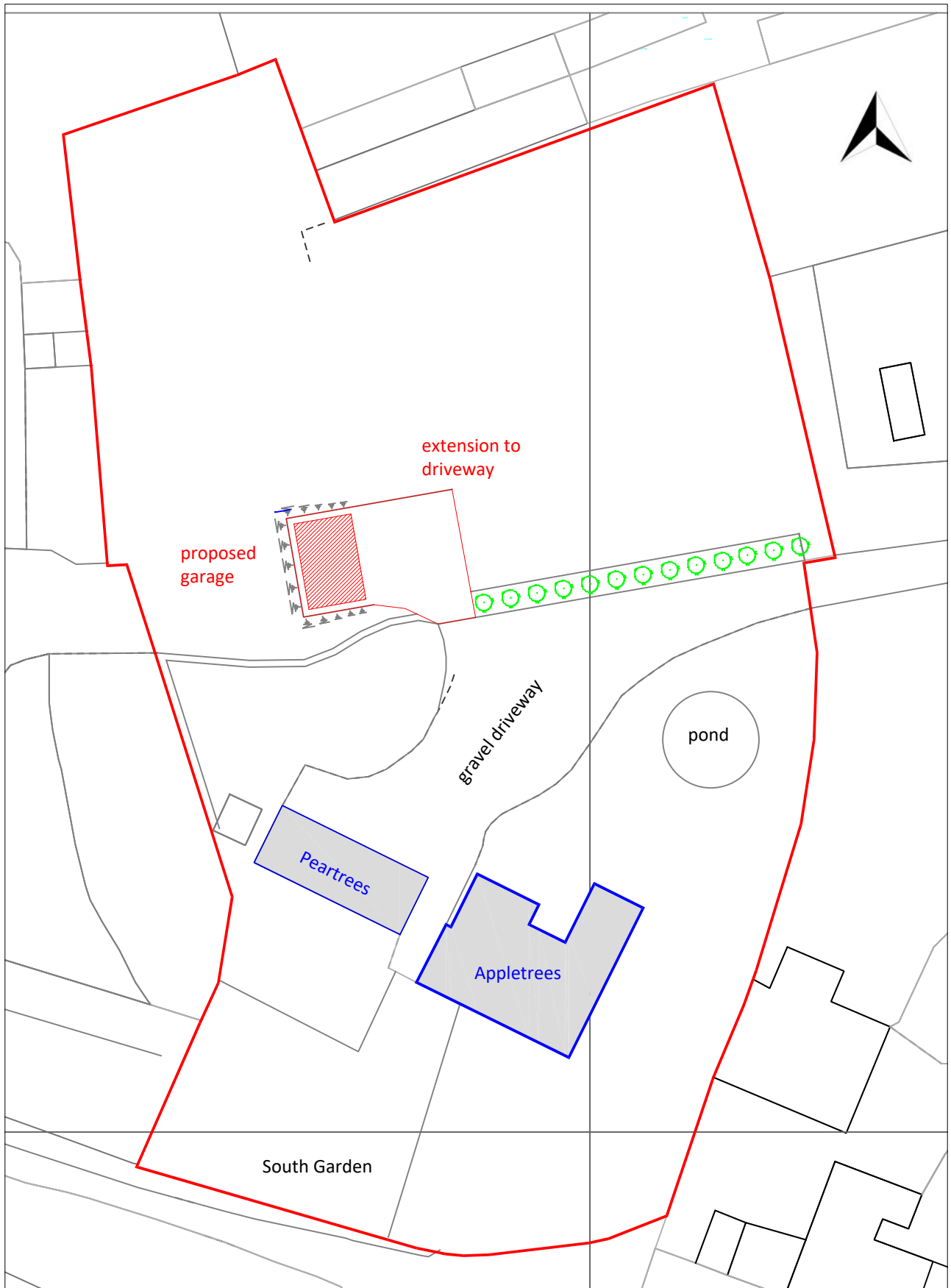


Figure 2 Appletrees (Grade II) and location of proposed garage

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The house is located in the southern part of a plot which measures 100m by 65m and covers an area of 0.55ha (Figure 2). The garden on the southern side of the house is subdivided into two areas by a stone wall which survives from when the house was two separate dwellings. The western part of the garden is terraced and was originally the location of a large greenhouse (Plate 2). The eastern section is lawned and follows the natural south facing slope (Plate 3).

The southern garden is bounded by stone walls to the west and south and by hedge along its eastern boundary. A wrought iron gate is located in the wall opposite the house and opens on to a pathway which runs downhill to the village lane. The garden is completely separated from land on the northern side of Appletrees by the house itself and a high sandstone wall on its western side. It is a tranquil and pleasant space affording excellent views of the southern elevation of the listed building.

The land to the north of Appletrees is effectively divided into two areas. The first comprises a small garden, driveway and parking area adjacent to the house (Plate 4). The garden is lawned and has an ornamental pond. The parking area is gravel and accessed by a narrow drive running eastward past neighbouring properties to the main road (Plate 5). At its western end, the drive sits in a shallow terrace cut into the natural slope with a low stone revetment wall (Plate 6).

To the north of the driveway the garden is lawned and occupies a gentle south facing slope (Plate 7). It is enclosed to the west and north by a high hedge and the remains of a large brick greenhouse. These limit views into and out of the site to adjacent properties and the countryside beyond. The southern edge of the garden is defined by a row of apple trees.

A second building (Peartrees) is located immediately to the west of the main house and is also served by the driveway (Plate 8). The structure was formerly a brick garage but was converted into a dwelling in 2006 (Ref 20060627). The application involved rebuilding the garage on its existing footprint, raising its roofline by one metre and replacing the existing flat roof with a pitched slate one.

Conservation Status

Appletrees is a Grade II listed building and the proposed garage is situated within its curtilage. A further eleven listed buildings are located within the village (Table 1). The closest of these is Butlers Cottage which is situated 30m east of the property. It is Grade II listed and comprises a pair of mid-18th century houses. Sandhoe High House is situated 40m to the west of Appletrees and is also Grade II listed. It is an impressive house with 17th century origins which was remodelled in the 18th century.

Name	Grade	Listing Ref	Summary
Appletrees, Sandhoe	II	1043018	Early 19 th century house
Butlers Cottage and house to the right of Butlers Cottage	II	1156587	Pair of mid 18 th century houses with later alterations
Cross at end of terrace 100m west of Sandhoe Hall	II	1156594	19 th century sandstone cross
Entrance screen and gates to Sandhoe Hall	II	1043021	19th century railway viaduct
Garden Cottage, Sandhoe	II	1043011	House, c.1840 by John Dobson
High House West, Sandhoe	II	1043017	Former 17 th century kitchen or

Name	Grade	Listing Ref	Summary
			brewery attached to Sandhoe High House
Sandhoe High House	II	1302799	17 th century house, remodelled and extended in the 18 th century with later additions
Ice House on the north bank of stream 180m west of Sandhoe Hall	II	1042979	Mid 19 th century ice house
Sandhoe Hall	II	1043019	Country house, built 1850 by John Dobson for Sir Rowland Errington incorporating part of an earlier house
Sundial 12m south of Sandhoe Hall	II	1043020	19 th century sundial
Terrace walls to the south of Sandhoe High House	II	1302801	18 th century coursed rubble terraced walls
Village Well,	II	1043016	19 th century stone well

Table 1 Listed Buildings in Sandhoe

The main listing is Sandhoe Hall itself which was built by the famous Newcastle architect, John Dobson, incorporating part of an earlier building on the site. The significance of all of these buildings is enhanced by their group value and contribution to the historic and aesthetic character of the village as well as association with the Errington Family.

Archaeological Potential

A review of the information held in Heritage Gateway and the online Northumberland HER (Keys to the Past) shows that there are no other known heritage assets within 500m on the application site.

The current village is largely a product of the 18th and 19th century and is associated with Errington Estate. A settlement is known to have been present in the 14th century but by the 18th it had all but disappeared. Its original extent and layout is not known. A series of cultivation terraces are recorded in the HER to the east of the village are likely to be medieval in origin (ref N8655).

The application site is considered to be of low archaeological potential.

Ordnance Survey Map Overview

A detailed map of the village is set out in the 1st edition Ordnance Survey dating to 1865 (Figure 3). It shows that Appletrees was two separate properties at this time.

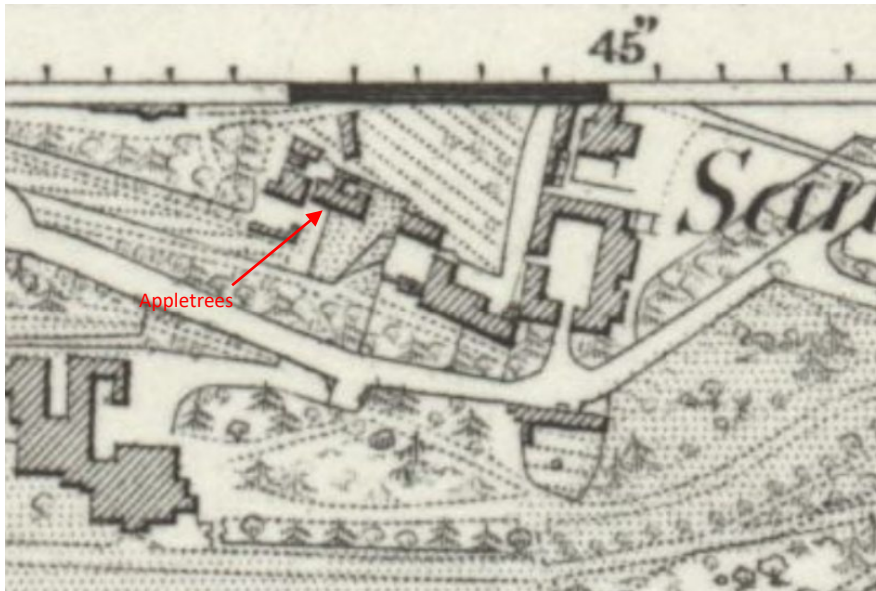


Figure 3 1st Edition OS 1865

The 2nd edition OS shows the site in more detail in 1896. It clearly depicts two glasshouses to the south of the Appletrees and three to the north with a network of paths to the south of the site.

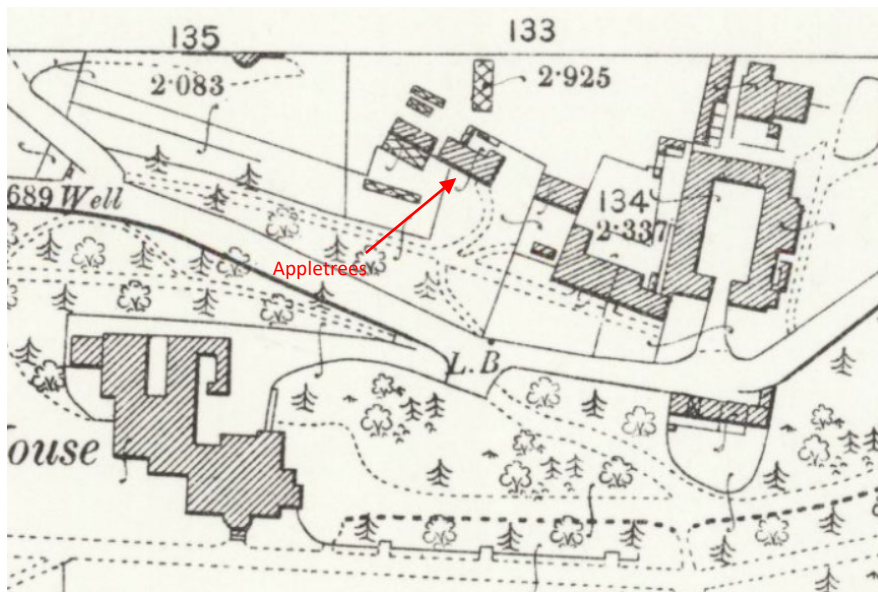


Figure 4 2nd Edition OS 1895

Very little had changed by 1920 (Figure 5). The large glasshouse to the north of Appletrees had been removed but the general layout of the gardens remained the same. The map also indicates that Appletrees was still two separate dwellings at this time.

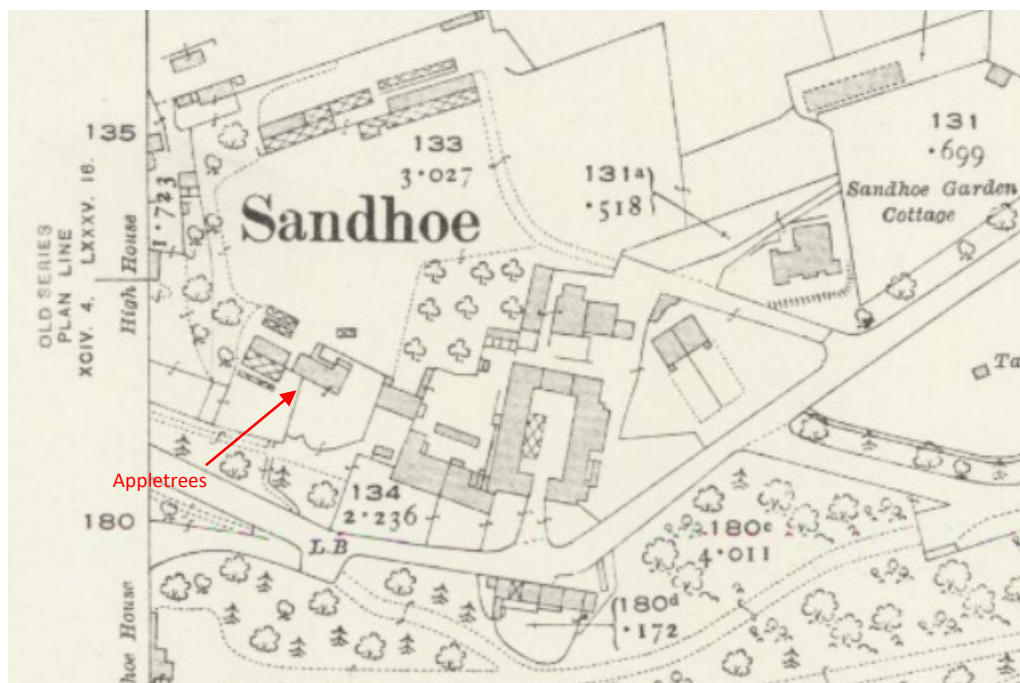


Figure 5 3rd Edition OS 1920

Appletrees - Significance

The listed building is now a single dwelling. It was constructed in the early 19th century as a pair of cottages built over two stories in rubble sandstone with ashlar quoins and furnished with a pitched slate roof. Its significance is largely derived from the architectural interest exhibited in its southern elevation which is experienced from the enclosed garden to the south (Plate 9). This provides tranquil surroundings in which to experience the aesthetic and architectural qualities of the structure.

The main feature in the elevation is a stone door surround which had been taken from Beaufront Hall. It comprises a pair of fluted columns topped with a broken scrolled pediment (Plate 10). The French windows are late 20th century in date. The windows are sliding Yorkshire sashes. The majority appear to have been reglazed but retain their original glazing bars and frames.

The western elevation of Appletrees is screened by Peartree Cottage and is not visible. The eastern elevation is visible from the garden and is much altered. The windows in the main house are new and were replaced during work to extend the property in 2003 (Ref 20030624). The northern elevation of the western wing also dates from this time. A garden room now abuts the eastern elevation at ground level (Plate 11). This was constructed following listed building consent in 2014 (Ref 14/04102/LBC).

The northern elevations of the building have been much altered. In 2003 the western wing was extended northwards over two stories to provide an entrance hall, cloakroom and toilet and additional first floor bedroom (Ref 20030624) (Plate 12). A second ground floor extension was added to the kitchen to provide a laundry and pantry (Plate 13). Significant alterations were made to the internal layout of the building at this time including the removal of a staircase, new openings and the reconfiguration of the kitchen and dining area. As a result the interior of the property has little surviving historic significance or is of any architectural interest. All of the original windows in the northern elevation appear to have been replaced at this time and a number of roof lights were inserted into the pitched roof of the kitchen and stores (Plate 14).

Consequently, the rear of the property makes little contribution to the architectural significance of the building in terms of its integrity, design or aesthetic value.

Appletrees -Setting

The village of Sandhoe provides the wider setting of Appletrees. The house is located on the northern side of the village lane grouped with other estate houses to the north of Sandhoe Hall. The village occupies a south facing slope within wider rural surroundings.

Appletrees is not visible from the public highway. Views toward the listed building are screened by trees, vegetation, and boundaries from most directions. As a result the house is not a prominent feature in any views across the wider area and views towards the house from outside its curtilage do not contribute to its significance.

The terraced garden to the south of the property is fully enclosed and combines hard and soft landscaping. It provides a secluded and ambient space from which to view the house and has a high degree of aesthetic value. The garden provides clear views of the house's southern elevation which holds the architectural interest of the building (Plate 9). From here the scale, construction, materials and detailing of the 19th century house can be easily appreciated. This includes the elaborate door surround referred to in the listing (Plate 10). The front garden and views between it and the house are the most important part of Appletree's setting and are sensitive to change.

The garden to the north of the property is more open and includes a greenhouse, chicken house and the current driveway. It is more functional in character and does not have the same degree of seclusion as that to the south. It does not provide any significant views of the listed building *per se* and the rear of the property has been much altered by the extensions in 2003, 2006 and 2014. The driveway is used to access both the house and the adjacent dwelling, Peartrees. The area to the north of the house makes little contribution to appreciating the architectural interest of the listed building and is clearly less sensitive to change as demonstrated from the permitted alterations. Views from the house provide views over the garden to the property boundaries with glimpses of the countryside beyond.

The Proposal

The application is to construct a new garage to the north of Appletrees on an area of existing lawn adjacent to the gravel drive (Figure 2) (Plates 15 and 16). The garage will cover a footprint of 39m² (7.8m x 5m) and be constructed in oak with timber cladding (Figure 6). The garage will be built in a shallow terrace that is cut into the existing south facing slope.

Impact

Direct Impact

There will be a physical impact on any buried archaeological deposits should they be present. The only heritage asset that could be affected would be the remains of the medieval settlement of Sandhoe. The location of the medieval village, however, is not known and the area of impact will be relatively small. No evidence for any earthworks or surface features which could relate to archaeological remains were observed in the garden in the site visit. Investigation of any possible deposits if deemed necessary by the LPA could adequately be carried out as a condition of planning consent.

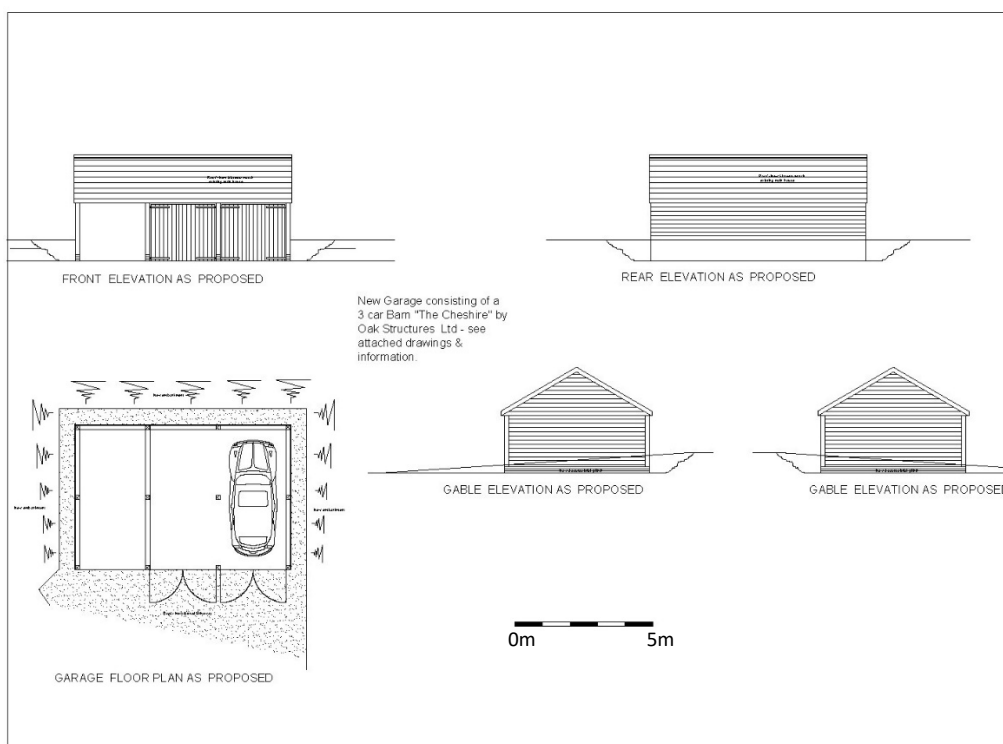


Figure 6 Proposed garage – plans and elevations

Indirect Impacts

The application has the potential to impact on the setting of Appletrees and other designated heritage assets in the surrounding area. The garage will be located on the southern edge of the lawned garden toward the western boundary of the site and will be built in a shallow terrace which will reduce its overall height. The current gravel drive will be extended on its northern side to create a turning area for vehicles. The overall effect will be an extension of the existing driveway.

Location

The garage will be constructed 20m to the north of what was previously the garage at Appletrees (now a dwelling – Peartrees). It will be situated 26m to the northwest of Appletrees at angle of 45 degree to its main elevation.

Materials and Design

The proposed garage is timber with a pitched slate roof. It will be constructed on a concrete slab with three courses of brick to provide a plinth. The slate roof will be chosen to match that used on Appletrees.

The ridge height of the garage will be 3.9m from ground level. The garage will be constructed in a 0.75m deep terrace which will reduce the height of the structure 3.15m from the adjacent garden area.

Visual Impact

The garage will be visible *from* first floor windows of Appletrees towards the garden. It will be seen within the wider context of the existing driveway and terrace at a wide angle from the main elevation. Views from the property currently provide an overall appreciation of the building's rural location and garden. It is not considered that the new structure will have a detrimental impact on these views and the overall effect.

The garage will feature in views *towards* the northern elevation of Appletrees from locations within the garden. Due to the nature of the building and previously permitted alterations these views are already of limited heritage interest and are not considered to be sensitive to further change. The proposed structure will not block or obscure views of Appletrees that contribute to its architectural or historic interest.

The proposed application will have no visual impact on the garden to the south of the property nor views to or from the southern elevation of the house which is integral to its listed status. The ambience and aesthetic value of this area will be unaffected by the proposal.

Other Assets

There will be no material impact on the setting of any other heritage assets within the vicinity of the application site. This includes Sandhoe High House which is situated 40m to the west of Appletrees and Butlers Cottage to the east.

Conclusions

The proposed garage is within the immediate setting of Appletrees and will comprise an extension of the existing driveway on its northern side. The structure will be built in a shallow terrace 26m from the listed building.

The main significance of the listed building lies in the architectural interest of its southern elevation, its historical association with Sandhoe Hall and its group value with other estate houses within the village. The proposed garage will have no impact on any of these elements.


The northern elevation of Appletrees has been subject to significant alteration since 2003 and is of little architectural interest *per se*. Views to and from the building on its northern side are pleasant but make little contribution to the building's significance other than to provide an appreciation of the garden and its wider rural context. This area of the Appletrees is less sensitive to change than the garden to the south as illustrated by permitted alterations in 2003, 2006 and 2014.

While the proposed garage will feature in those views, the scale, location and appearance of the structure are not considered to be detrimental to the surroundings in which Appletrees is experienced. The garage and turning area will be an extension of the current use of the driveway for parking and will replace a garage that formerly was present on the site but was converted into a dwelling in 2006.

While the development represents a material change within the setting of Appletrees, that change is considered to be minor and is neutral in its overall effect. It does not result in any harm to the significance of the Grade II listed building as set out in paragraphs 193 to 197 of the NPPF. As a result the principle setting of the listed building will be preserved in accordance with s.66 of the Listed Buildings and Conservation Areas Act (1990).

References

Cifa Chartered Institute for Archaeologists' Code of Conduct

Cifa  Standard and Guidance for Archaeological Field Evaluations (Cifa 2014)

Communities & Local Government (2019) National Planning Policy Framework. Government National Planning Policy

Digital Archives from Excavation and Fieldwork Guide to Good Practice Second Edition: available online at <http://ads.ahds.ac.uk/project/goodguides/excavation>

English Heritage (2008) Management of Research Projects in Historic Environment. PPN 3: Archaeological Excavation. English Heritage Guidelines

Plates



Plate 1 - Appletrees (Grade II) - looking northwest from the garden



Plate 2 - area of terracing and location of former glasshouse - looking north



Plate 3 - southern elevation of main house - looking northwest from the garden



Plate 4 - Appletrees and adjacent dwelling (Peartrees) looking southeast from the site of the proposed garage



Plate 5 - driveway leading to application site - looking west



Plate 6 - area of terracing and revetment wall at western end of driveway



Plate 7 - view towards Appletrees from garden - looking southeast



Plate 8 - former garage (now dwelling) Peartrees - looking southwest



Plate 9 - southern elevation of Appletrees viewed from the south garden



Plate 10 - door surround with fluted columns and broken scroll pediment



Plate 11 - eastern elevation of Appletrees and garden room built in 2014 - looking northwest



Plate 12 - two storey extension on northern side of listed building permitted in 2003.



Plate 13 - single storey extension to extend kitchen on northern side of Appletrees permitted in 2003 - looking east



Plate 14 - Appletrees viewed from the north



Plate 15 - location of proposed garage - looking northwest from driveway



Plate 16 - location of proposed garage looking southeast from garden