

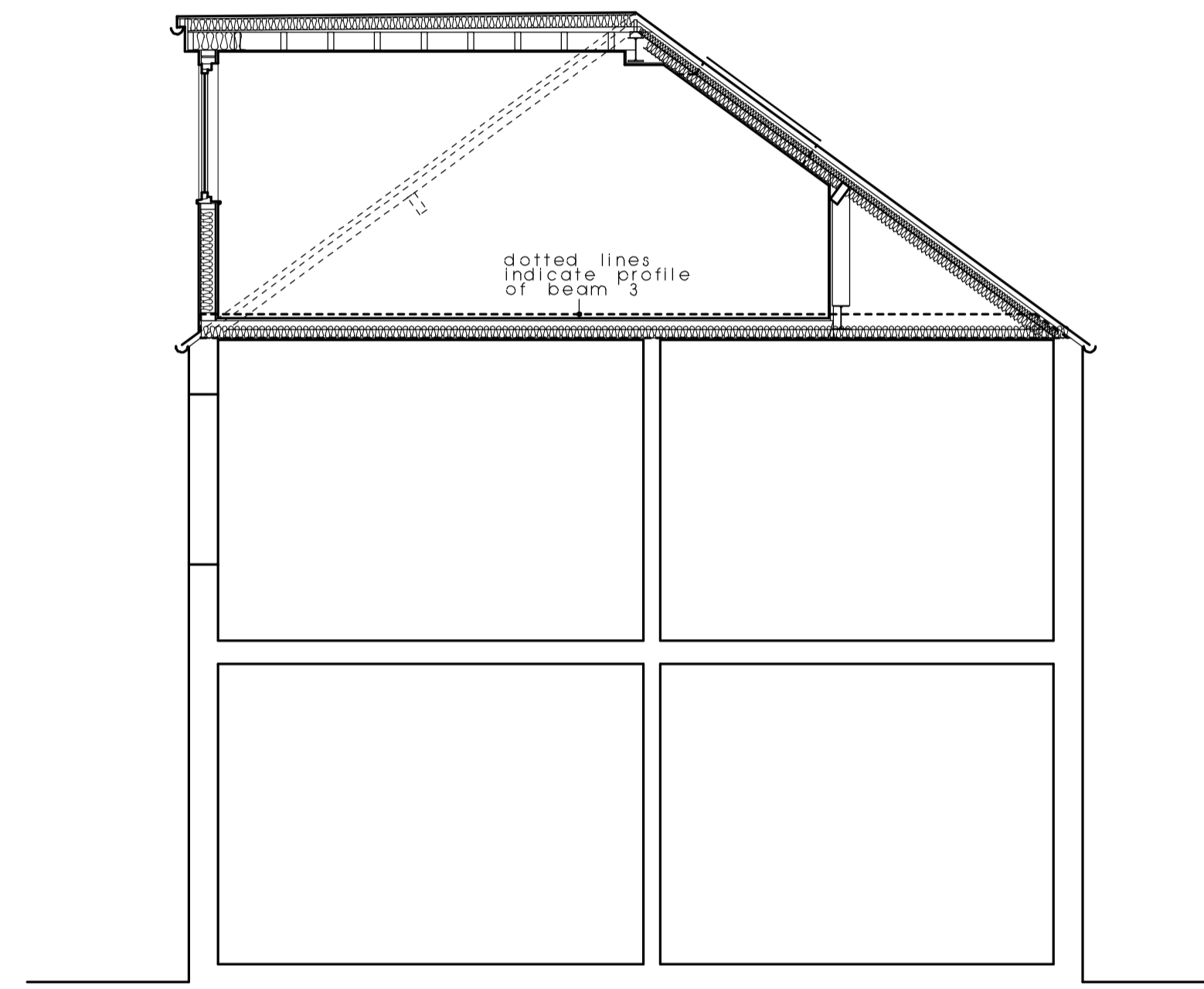
GENERAL CONSTRUCTION:
 existing roof finish re-laid;
 25x50 treated s.wood battens;
 breathable membrane;
 existing rafters;
 25mm cavity/50mm Celotex tuff-R GA4000
 between rafters;
 60mm Celotex tuff-R GA4000 below rafters;
 18x90mm wood battens;
 12.5mm p.board & skim.

FLAT ROOF CONSTRUCTION:
 single ply roof finish;
 18mm OSB decking to suit GRP;
 25mm Celotex ply backed insulation;
 60mm wide s.wood trims to fall;
 150x50mm C24 roof joists at 400cc;
 2mm plywood;
 12.5mm p.board & skim.

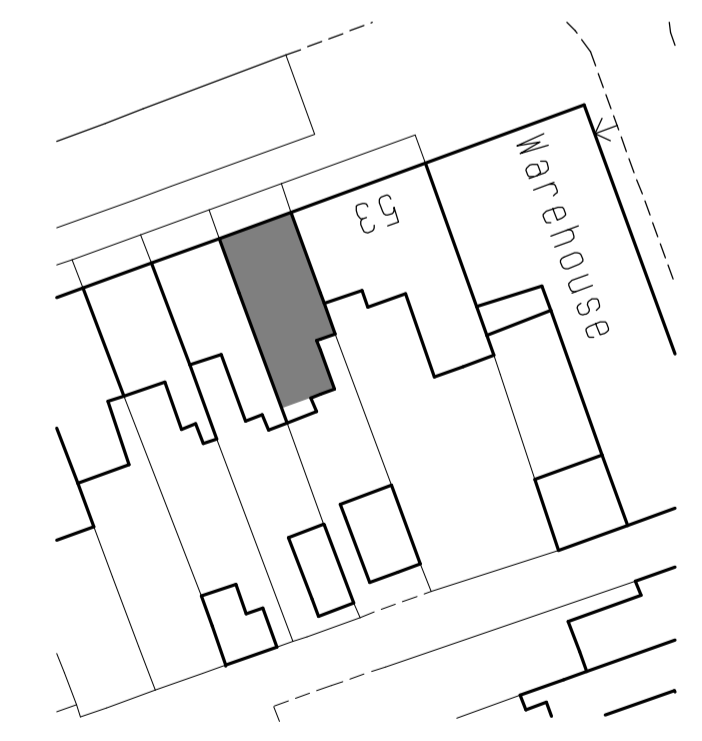
DORMER WALL CONSTRUCTION:
 cladding to match existing;
 25x50mm treated s.wood battens;
 breathable membrane;
 2mm plywood sheathing;
 100mm deep timber frame;
 70mm Celotex GA4000
 insulation between studs;
 vapour check membrane;
 12.5mm p.board & skim.

FIRST FLOOR CONSTRUCTION:
 22mm T&G chipboard floor finish (moisture-
 resistant in bathroom);
 150x50mm C24 joists fixed to beams via
 Simpson strong tie joist hangers and
 mechanically fixed to existing
 25x50mm joists at 400 cc;
 100mm mineral wool between joists;
 12.5mm p.board & skim.

STUD WALL CONSTRUCTION:
 18mm p.board & skim
 50x75 C16 s.wood studs
 additional 6mm plywood to
 both sides of wall between
 bed 3 and bed 4;
 18mm p.board & skim.



SECTION



BLOCK PLAN

GENERAL: The information listed below is general information which, unless superseded by information/specifications stated on the drawing is applicable to this design. The existence of any drainage/structure exposed during the building works that is not detailed on the drawings or any inconsistencies/discrepancies between the drawings and the site should be drawn to the attention of Toby Pateman Architect at the earliest opportunity.

INTERPRETATION OF DRAWING: Dotted lines indicate existing walls to be removed; dashed lines indicate profile of underlying foundations/walls(plan) or the section (elevations); light broken lines indicate existing drains & heavy broken lines indicate proposed drains.

FOUL DRAINAGE(below ground): Hepworth supersleeve 100mm dia. vitrified clay pipes to 1:50 fall/junctions/150mm pea gravel surround; 450mm polypropylene inspection chambers/150mm GEN-0 concrete base and collar/cast iron cover and frame; connections to stub -stacks/SVPs via 200mm (min) radius bend with a rodding point immediately above the ground floor.

FOUL DRAINAGE(above ground): Wash hand basin- 32mm dia. Waste/75mm trap; sinks, waste disposal units, washing/dishwashing machines, baths&shower-40mm dia/75mm trap; combined wastes- 50mm (min) dia; toilets 100mm dia/50mm trap; all SVPs 100mm dia. SVPs to terminate 900mm above the highest point of any opening within 3m and be terminated with a bird cage or vent tile.

WALL CONSTRUCTION:
 Walls to be strapped to wall-plates/rafters/floor&ceiling joists@ 2m cc with 35x5x1100 galv. steel straps.

WINDOWS/DOORS: All internal doors 750mm clear of door stops/door thickness and ironmongery. Windows/glazed doors(typical construction=PVC or timber frame/2x4mm toughened glass leaves/16mm argon filled cavity/Low-e soft coating)to have a U-value of 1.6 W/m2K. Insulated cavity closers to all window/door jambs. Trickle ventilation to habitable rooms-8000mm2 (min); non-habitable rooms-4000mm2 (min). Windows to bedrooms to have a minimum clear opening of 450mm x 750mm.

ROOFS: Code 4 lead flashing/code 3 lead soakers to roof/wall junctions; stepped cavity tray to be inserted into cavity walls above any junctions with roof. Valley gutters to be formed from treated s.wood splayed fillet & 25x150mm layboards; building paper;code 5 lead. All to BS5534.

PLUMBING: Extend existing wet heating system. **ELECTRICAL:** All electrical switches/sockets to be located between 450 & 1200mm above floor level; light fittings to be energy efficient; interlinked smoke/heat detectors as indicated on drawing. Mechanical ventilation to bathroom equal to 15 litres/second(with 15 min overrun). All electrics to be certified by a part P registered electrician and registered accordingly.

(H) (S) Heat/smoke detector

TESTING: On completion the contractor must engage a suitably registered firm to carry out tests/confirm that the building complies with current building regulations for: electrical compliance; drains.

Revisions:
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Title: Proposed extension/attic conversion to: 55 Wollaston Road, Irchester for: Mr & Mrs B. Masterson
 PROPOSED PLANS

Org. No. 88-21-02 Scale: 1:50/100 /500
 Drawn: TJP Date: Nov. 2021

