

MGL DESIGN ASSOCIATES

Planning Application
To Convert the Remaining Part of
Former Traditionally Built Outbuildings
Into Annex Accommodation
at Grange Farm, Horn Lane, Evenlode,
Moreton in Marsh, GL56 0NT

DESIGN AND ACCESS STATEMENT

JANUARY 2022

CONTENTS

1.	INTRODUCTION	3
2.	EXISTING BUILDING	4
3.	PROPOSED DESIGN	11
4.	CONCLUSION	12
5.	APPENDIX A - DESIGN AND ACCESS/ HERITAGE STATEMENT	13

1. INTRODUCTION

- 1.1. These notes are to be read alongside the original Design and Access Statement/Heritage Report which accompanied the previously approved application for – Extensions including link, internal and external alterations to dwelling house, change of use of land and buildings to residential including conversion of former stables to living accommodation, demolition of dilapidated barns, creation of parking areas, formation of new drive entrance via existing access and associated landscaping at Grange Farm, Horn Lane, Evenlode. The original application and accompanying report was prepared by Fleming Architects and was approved in August 2019.
- 1.2. The previous approved applications were 19/00809/FUL - Planning Consent and 19/00810/LBC - Listed Building Consent. The first phase of work relating to these approvals have been started and the work completed to date includes building the link, some internal alterations in part of the dwelling house and the conversion of the former stables to living accommodation which now reads as part of the dwelling. The second phase of works relating to the previously approvals will be starting in the very near future and applications have been submitted to the Council to make some minor adjustments to the previously approved proposed internal layout.
- 1.3. This new application seeks to convert the relatively small section of remaining attached original building into an annex which is a use it already has and the details of what is proposed will be described in this report.

2. EXISTING BUILDING

- 2.1. Attached to this report in Appendix A is the Fleming Architects previous 2019 report which does include some photographs and detail on the history of the whole site and in part some information on the remaining part of the original attached traditionally built outbuilding which is the subject of the current planning and listed building applications.
- 2.2. The historic ordinance survey plans included in the Fleming Report shows this building being part of a farm courtyard alongside the Grange Farm farmhouse with a return of probably three pig styes on the southern farm courtyard wall. The photos in the 2019 report show these had been replaced by a modern double garage structure of a type that were often built in the 1950's to 1970's and on the eastern side there was an open fronted lightweight structure (timber with corrugated iron roof) and both of these appendages have been removed as part of the initial phase of works already completed on the site. In addition, on the southern end gable of the building the original measured survey plans show that there was a raised fuel tank and a lightweight greenhouse set right against the building and retained stone farm courtyard wall. These have been removed to reveal the pure outline of the traditional building as it was shown on the historic ordinance survey plan including the return gable porch facing into what is now perhaps better described as the Kitchen Courtyard.
- 2.3. Because of a gradual change in ground level the southern end of the building now subject to this application is somewhat taller than the section that has already been converted as part of the dwelling. The two parts are divided by a thick solid wall but the whole building is covered by the same continuous ridge and eaves blue slate covered double pitched roof.
- 2.4. After the removal of the attached lean to structure the eastern elevation now reveals a mixture of timber cladding and doors accessing the accommodation which at ground floor level divides into three roughly equal sections and the porch entrance has been sealed off from the remainder of the space.
- 2.5. The southern end gable is built in stone and has a steel window to the ground floor space and a door opening into what appears to have been a hayloft which is over the entire area of this part of the annex.
- 2.6. The western elevation to the kitchen courtyard is in stone externally up to and including the porch and then has an external skin of 19th century brickwork. Internally the wall is stone at ground floor level but the internal walls within the hay loft to all elevations are in brick. On the eastern elevation there is a continuous timber beam above the ground floor accommodation with brick above that. What I think has happened here is the original farm buildings would have had a step down in the roof relating to the fall in level of the ground. At some time the southern most part of the building now being considered by this application has been raised to create a hay loft accessed from the gable end. This has been done in brick rather than stone and the brick face on the western elevation either infilled an earlier opening or maybe was added to strengthen the original stone wall when the roof was lifted to match the ridge height of the neighbouring section of building. The new roof structure has a different detail to the standard trusses over the area already converted to living accommodation and the bottom boom was lifted to facilitate access as can be seen on the section and internal photographs.



East elevation



South gable detail



Rear garden wall left of South elevation



Gate detail



West elevation end



West elevation middle part



West elevation front



Kitchen courtyard planting feature in front of west elevation



Kitchen courtyard and terrace



Hay loft space



Hay loft space

3. PROPOSED DESIGN

- 3.1. The 2019 planning and listed building consents showed the building/creation of a small study at the western end of the house. It seems odd to say this but that plan was prepared pre Covid 19 and since then there has been the need for the owners to work more from home as we have all had to do and as the phase 2 works are about to start on the house it has been decided that it would be much better to create a more useful home office in the existing annex. Currently the building is only used for storage and the upper level is only accessible via the gable door and because of that it is not a very convenient space to use and it remains empty.
- 3.2. The existing building is attached to the main building, but it is not directly accessible from the dwelling. The space is part of the Grade II listed building and the proposal now is to convert this space so it can be used as accommodation ancillary to the dwelling.
- 3.3. Having looked at the space it is easily capable of conversion and the intention is to ensure the end result will retain its existing barn like character.
- 3.4. The ground floor plan shows the original porch entrance will be reinstated giving easy access to the annex from the outside Kitchen Courtyard. The main home office space for use by the owners will be a ground floor level as shown on the plans and it will be accessed internally off a hallway which will include a staircase to the upper hayloft floor level. A WC has been included at ground level which could also be used by gardeners and other trades people coming to the site. There is also a tea room shown which can be used by the owners whilst working in the space but can also be used as a gardeners rest room etc. The tea room has a access to the opposite eastern side courtyard and is adjacent to the current parking area being used on site.
- 3.5. The first floor plan seeks to make good use of the upper existing floor space and would be available as home office or other ancillary uses. The current thinking is that Mr Holdsworth Hunts office would be at ground floor level and his wife's office could be at first floor level. A further bathroom area is shown at first floor level to help with the flexibility of use options for the annex.
- 3.6. Externally on the eastern -Kitchen Courtyard side a new glazed door is proposed to the existing porch to add light to the internal hall. (Currently the porch is a log store). The existing door to the northern side of the porch will be replaced by a window to serve the WC with the window inserted below the existing timber lintol. That door no longer has a function as the part of the outbuilding it accessed is now part of the main house. New glazed doors will be added in the brick wall area serving the ground floor home office. An existing brick on edge course in the wall signifies that the wall did previously have a similar sized opening but as already mentioned it is a part of the building that has seen a number of changes over the years.
- 3.7. The southern end gable elevation already includes a steel window serving the ground floor space. The solid door at first floor level would be changed to a fully glazed door allowing great views out over the rear garden and beyond and will afford good ventilation when open. To facilitate this a suitable Juliet style balcony will need to be provided and this is proposed as a simple iron unit based on the design of a traditional hay feeder which may have been used on site in the past.
- 3.8. The eastern elevation will preserve the timber beam and brickwork above which forms part of the buildings evolution but new glazed and timber doors will be added below and in between it is proposed to build sections of stone wall utilizing matching stone which is already on site and was salvaged from the Phase 1 works. Stable type doors are also to be included so that there is the option available to close them over the glazed doors if required.

4. CONCLUSION

- 4.1. It is clear the building is very easily converted into ancillary accommodation to be used in conjunction with the main house which in a way is why the building was built in the first place. Very little overall change will be noted as the building will retain its existing roof and for the most part external walls. It is currently used as a storage space which is ancillary accommodation, but it is felt that a small home office would be a better use and more appropriate in the separate outbuilding rather than off the new house drawing room. A positive factor is the slightly dilapidated building will be brought up to the standard of the refurbished main house and will improve the exterior views in their courtyard settings.
- 4.2. We would ask the Council to consider the submitted applications and seek to grant consent as soon as possible.

5. APPENDIX A - DESIGN AND ACCESS/ HERITAGE STATEMENT

JUSTIFICATION STATEMENT

Grange Farm, Evenlode

Introduction

1 Assessment

- 1.1 In terms of assessing the acceptability of the current proposals under local and national planning policy, the National Planning Policy Framework (NPPF) states that “the level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance.” (Paragraph 128).
- 1.2 Consequently this statement focuses on the specific relevance of the impact of the proposals where there is impact, and is not intended as an exhaustive history of the house and buildings.

2 Planning Policy

- 2.1 The principal legislation concerning the historic environment remains the Planning (Listed Buildings and Conservation Areas) Act, 1990. This draws attention to the importance of seeking to preserve listed buildings, their setting, and “any features of special architectural or historic interest” which they possess (Section 16(2), and 66(1)). It also states that the listing includes “any object or structure within the curtilage of the building which, although not fixed to the building, forms part of the land and has done so since before 1st July 1948” (Section 1(5(b))).
- 2.2 The Act also draws attention to the desirability of “preserving or enhancing” the character and appearance of conservation areas (Section 72(1)).
- 2.3 The NPPF states that: “In determining planning applications, local planning authorities should take account of ... the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.” (Paragraph 132).
- 2.4 It also identifies both listed buildings, and conservation areas as “designated heritage assets” (Annex 2: Glossary).
- 2.5 At local level, Cotswolds’ Adopted Local Plan (2011 – 2031) refers to the importance of protecting the character, appearance and diversity of the District and, wherever possible, enhancing it, especially within areas of high historic, landscape or nature conservation importance. It is also important to ensure that new development is well designed; respects biodiversity and green infrastructure; and does not lead to the coalescence of settlements.

2.6 The following policies are therefore relevant:

- **Policy EN13
HISTORIC ENVIRONMENT: THE CONVERSION OF NON-DOMESTIC
HISTORIC BUILDINGS
(DESIGNATED AND NON-DESIGNATED HERITAGE ASSETS)**

Proposals for the conversion of non-domestic historic buildings to alternative uses will be permitted where it can be demonstrated that:

- *a. the conversion would secure the future of a heritage asset, and/or its setting, which would otherwise be at risk;*
 - *b. the proposed conversion would conserve the significance of the asset (including its form, features, character and setting; Planning applications will be determined in accordance with relevant policies in this Local Plan, which should be considered together, unless material considerations indicate otherwise.*
 - *c. the heritage asset is structurally sound; and*
 - *d. the heritage asset is suitable for, and capable of, conversion to the proposed use without substantial alteration, extension or rebuilding which would be tantamount to the erection of a new building.*
2. *Proposals to extend or alter heritage assets that have been converted, will be permitted where it can be demonstrated that the proposed works would preserve the significance of the asset (including its form and features), its setting and/or the character or the appearance of the surrounding landscape in a manner that is proportionate to the significance of the asset.*

Policy EN10

HISTORIC ENVIRONMENT: DESIGNATED HERITAGE ASSETS

1. *In considering proposals that affect a designated heritage asset or its setting, great weight will be given to the asset's conservation. The more important the asset, the greater the weight should be.*
2. *Development proposals that sustain and enhance the character, appearance and significance of designated heritage assets (and their settings), and that put them to viable uses, consistent with their conservation, will be permitted.*
3. *Proposals that would lead to harm to the significance of a designated heritage asset or its setting will not be permitted, unless a clear and convincing justification of public benefit can be demonstrated to outweigh that harm. Any such assessment will take account, in the balance of material considerations:*
 - *the importance of the asset;*
 - *the scale of harm; and*
 - *the nature and level of the public benefit of the proposal.*

Policy EN11

HISTORIC ENVIRONMENT: DESIGNATED HERITAGE ASSETS - CONSERVATION AREAS

Development proposals, including demolition, that would affect Conservation Areas and their settings, will be permitted provided they:

- *a. preserve and where appropriate enhance the special character and appearance of the Conservation Area in terms of siting, scale, form, proportion, design, materials and the retention of positive features;*
- *b. include hard and soft landscape proposals, where appropriate, that respect the character and appearance of the Conservation Area;*
- *c. will not result in the loss of open spaces, including garden areas and village greens, which make a valuable contribution to the character and/or appearance, and/or allow important views into or out of the Conservation Area;*
- *d. have regard to the relevant Conservation Area appraisal (where available); and*
- *e. do not include internally illuminated advertisement signage unless the signage does not have an adverse impact on the Conservation Area or its setting.*

Policy EN4

THE WIDER NATURAL AND HISTORIC LANDSCAPE

1. *Development will be permitted where it does not have a significant detrimental impact on the natural and historic landscape (including the tranquillity of the countryside) of Cotswold District or neighbouring areas.*
2. *Proposals will take account of landscape and historic landscape character, visual quality and local distinctiveness. They will be expected to enhance, restore and better manage the natural and historic landscape, and any significant landscape features and elements, including key views, the setting of settlements, settlement patterns and heritage assets.*

Policy EN13

HISTORIC ENVIRONMENT: THE CONVERSION OF NON-DOMESTIC HISTORIC BUILDINGS (DESIGNATED AND NON-DESIGNATED HERITAGE ASSETS)

1. *Proposals for the conversion of non-domestic historic buildings to alternative uses will be permitted where it can be demonstrated that:*
 - *a. the conversion would secure the future of a heritage asset, and/or its setting, which would otherwise be at risk;*
 - *b. the proposed conversion would conserve the significance of the asset (including its form, features, character and setting; Planning applications will be determined in accordance with relevant policies in this Local Plan, which should be considered together, unless material considerations indicate otherwise.*
 - *c. the heritage asset is structurally sound; and*
 - *d. the heritage asset is suitable for, and capable of, conversion to the proposed use without substantial alteration, extension or rebuilding which would be tantamount to the erection of a new building.*

2. *Proposals to extend or alter heritage assets that have been converted, will be permitted where it can be demonstrated that the proposed works would preserve the significance of the asset (including its form and features), its setting and/or the character or the appearance of the surrounding landscape in a manner that is proportionate to the significance of the asset.*

2.7 In terms of impact to the wider context of, specifically, listed buildings, 'The Setting of Heritage Assets' by HE provides guidance on making an assessment in 3 stages:

- Identifying the heritage assets affected and their settings;
- Assessing whether, how and to what degree these settings make a contribution to the significance of the heritage asset(s);
- Assessing the effect of the proposed development on the significance of the asset(s).

2.8 When dealing with elements of restoration, HE advises that restoration to a significant place should normally be acceptable if:

- The heritage values of the elements that would be restored decisively outweigh the values of those that would be lost.
- The work proposed is justified by compelling evidence of the evolution of the place, and is executed in accordance with that evidence.
- The form in which the place currently exists is not the result of a historically-significant event.
- The work proposed respects previous forms of the place.
- The maintenance implications of the proposed restoration are considered to be sustainable." (Conservation Principles, paragraph 126).

2.9 On new works, HE advises (in their publication 'Conservation Principles, Policies and Guidance,' paragraph 138). that:

"New work or alteration to a significant place should normally be acceptable if:

1. *There is sufficient information comprehensively to understand the impact of the proposal on the significance of the place;*
2. *The proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed;*
3. *The proposals aspire to a quality of design and execution which may be valued now and in the future;*
4. *The long-term consequences of the proposals can, from experience, be demonstrated to be benign, or the proposals are designed not to prejudice alternative solutions in the future."*

3.0 In terms of assessing 'significance' there are a number of criteria that are relevant:

- 1 Age.
- 2 Rarity value.
- 3 Intrinsic quality.
- 4 Extrinsic relevance.
- 5 Typicality.
- 6 Exceptionality.

These will be addressed in the following assessment and justification.

3 Outline Proposals

- 3.1 The new owners of Grange Farm would like to refurbish the house as their family home, adding a new, but sympathetic phase in keeping with the character of the existing house and in line with national and local policy.

4 Designation

Statutory Address: GRANGE FARM

Grade: II

List Entry Number: 1303528

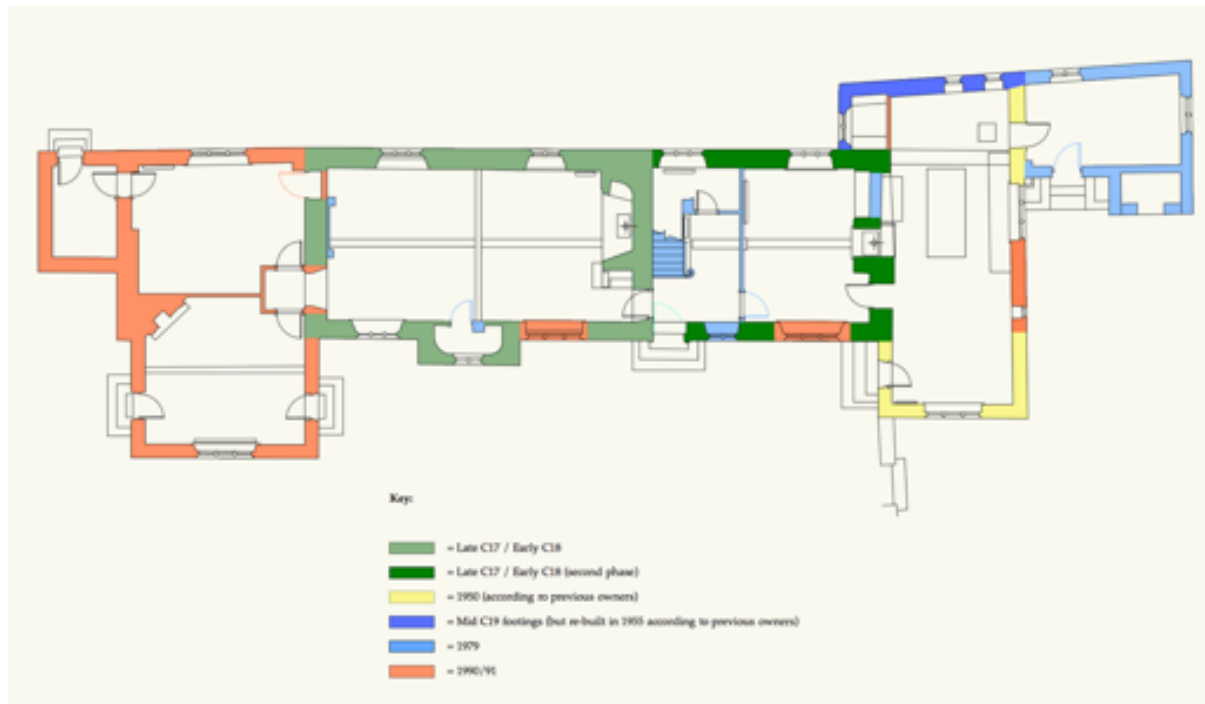
Date first listed: 25-Aug-1960

“EVENLODE EVENLODE VILLAGE SP 22 NW 4/117 Grange Farm 25.8.60 I:

Detached farmhouse. Late C17-early C18 (possibly in 2 phases), C20. Coursed squared and dressed limestone, stone slate and concrete tile roof, ashlar stacks. Plan described from garden front; rectangular main body with stairs projection left and gabled C20 extension breaking forward right. Main body; 2 storeys and attic lit by 4 gabled roof dormers with 2-light metal casements with horizontal glazing bars. 7-bay facade, 1, 2 and 3-light double-chamfered stone-mullioned casements with stopped hoods. Central C19 plank door with stopped hood over. Flat gable-end coping at gable ends of main body. Gable-end and 2 axial stacks with moulded capping. Interior not inspected.”

5 Assessment of Main House

5.1 A colour-coded plan is shown following, to provide illustrative analysis and to be read alongside the body of text below.



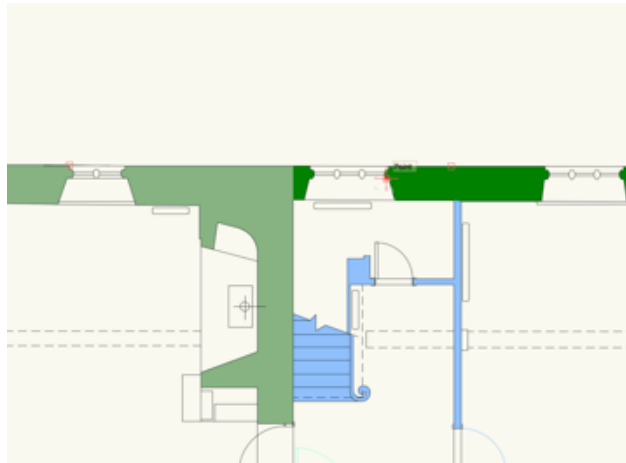
- 5.2 The main central range is referred in the listing description as being late C17 or early C18. As the listing mentions, there is evidence of this being built in two phases by the differing mullion cut stone between left and right ranges and the disjointed floor plan (on the ground floor mainly but also on the first and second floors to a lesser extent).
- 5.3 It is unusual, though not unheard of, to find the front door abutted in line with the gable, and evidently there has been work done to the front door – notable by the protruding jamb quoin on the right hand side, the amended or re-inserted lintel with stone patchwork above the head, and extra stone infill between the hood and lintel – which alludes to an original form different to the one seen today.
- 5.4 It is also likely that the window immediately to the right of the front door is not part of the original C17 construction, owing to the differing stone colour and the sharpness of the moulding profile, where older windows show a softer, more eroded profile.



- 5.5 The window to the right again is evidently not historic, believed to be added as part of the 1991 works.
- 5.6 In light of the above, it is possible the door opening has been widened as part of the natural aggrandisement, referring to the uncharacteristically ornate stairs inside, and the consequential adaptation of the floor plan internally.
- 5.7 The listing refers to the C19 planked door, but this is not conclusive evidence that this opening was the same width now as originally built, particularly as the door has been adapted frequently and in multiple areas, and may require replacement in the future.
- 5.8 More likely is that the spiral stair range to the front of the building, which forms a dominant and attractive part of the architecture, was not intended as part of the original form, and came as part of the second phase. This is born out by the presence of two fireplaces inside the main room, strongly suggesting two separate rooms. With the presence of the modern pier (inside the turret) supporting the cross beam, it is possible the original entrance door was if not physically built, then at least intended, to be built to the left of the central beam, with the two rooms being divided.
- 5.9 A slight further clue is the absence of continuous coursing to the stair projection, which again is not conclusive but nonetheless indicative:



5.10 A further consolidation of this occurs when looking at the wall thicknesses of the 2 'cottages'. See below. Clearly they are differing thicknesses, meaning differing periods of construction.



5.11 And whilst there is no evidence externally on the south side, there is a subtle indication on the north side, showing a couple of quoins, abutting the mullion window, which is in line with the chimney stack above. This means it is almost a certainty that these 2 cottages were built separately, in different periods.



5.11 In terms of the north east lean-to and extension, historic maps show the existence of a building form here:



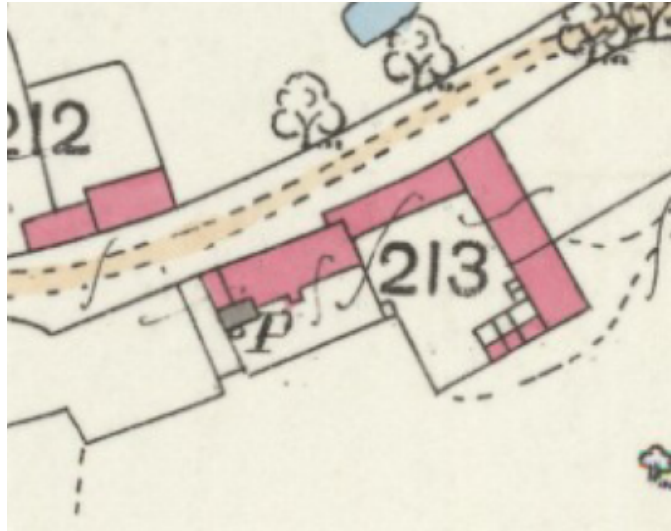
5.12 The wing extension to the east, built in 1950, is thought to have borrowed footings from an older building, possibly 1.5-storey, which explains the presence on the historic map of the built form we (largely) see today, including the nib of the lean-to on the north-west corner.

5.13 The architectural form is not exactly the same, as currently there is a protruding gable in front of the original building line, proud by some 2.5m, compared to the largely straight building line as below:





- 5.14 Note the above photos of the east extension, showing the dpc and air brick at lower level and the modern brick and plated roof construction at attic level, consolidating its date as mid C20.
- 5.15 And the building to the right in the backdrop (top photo), built in 1979 according to CDC archives, was also believed to have been built off previous footings.
- 5.16 An expanded extract of the historic map, below, shows a continuous E-W building range connecting to the stables.

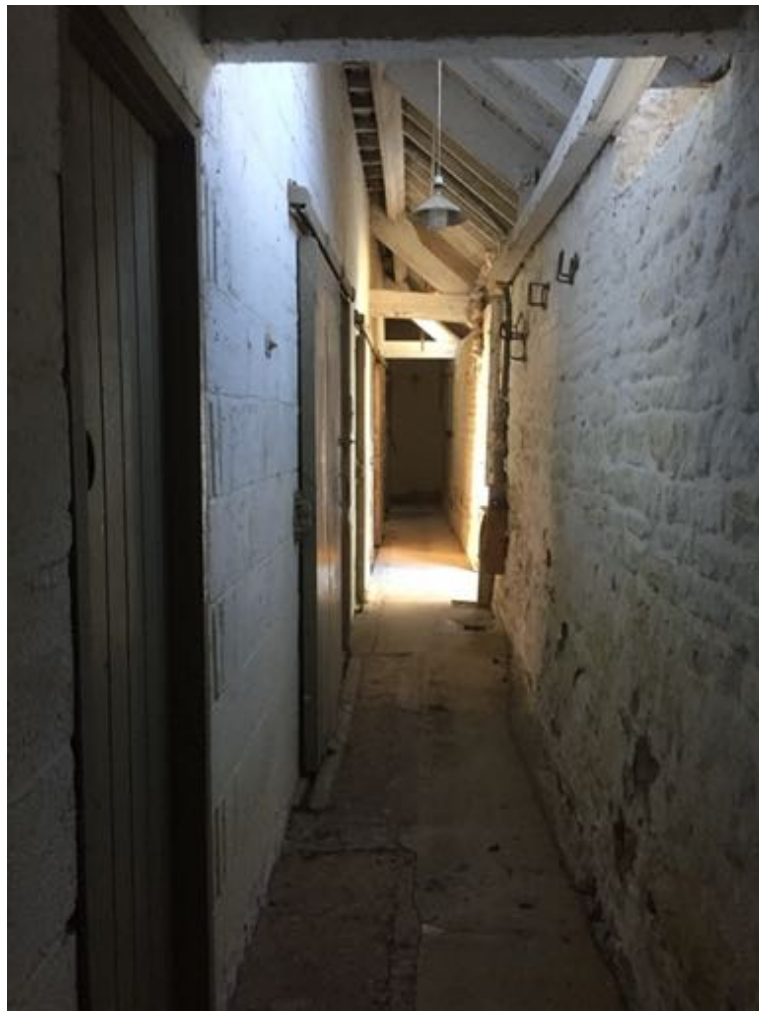


5.17 Currently there is a gable on the north west stable bay, with blue slate roof and horizontal timber face, which might have once formed part of the E-W link, albeit it is offset slightly south, 0.5m off the gable end, which does not match with the plan form shown above where the connection is flush with the stables.





- 5.18 For the stables, these are not specifically listed but would nonetheless be curtilage listed.
- 5.19 Their date is believed to be mid C19, in the traditional Victorian manner with noggined purlins and clean, uncomplicated trusses. Internally the partitions and floor are all modern, and carry no historic relevance.



5.20 Externally it is clear the south section was built after the north section, owing to the line of quoins visible:



5.21 The porched frontispiece was evidently part of this phase of works, probably the latter end of C19. There are sundry brick interjections through this phase, internally and externally, hence an approximate C19 dating, as this period saw a prevalence of brick within the Cotswolds owing to the improved status of clay forms.



5.22 The setting and external character of this building are clearly important to the character and history of the site, although internally there is less heritage importance other than the obvious features, which this scheme looks to retain.

6 Description of Proposals

- 6.1 The proposals seek to create an improved use of this family home. Starting with the kitchen extension, this is a single storey structure, abutted to the 1950 3-storey extension. There is little impact on any physical part of the listed asset, and the character and design of this proposed extension does not detract from the character of the existing heritage asset.
- 6.2 Abutting this extension to the south-west is a proposed bay window. This is designed to bring light into the kitchen space, and to act as a subtle accent to the architectural building form.
- 6.3 The bay window extends from the 1950 extension, and therefore does not impact on the heritage fabric.
- 6.4 The character of the bay window is deliberately in keeping with the language and materials of the main building, namely stone mullion windows, stone tiled roof, and rubble stone plinth, with metal windows and doors. Bay windows are time-honoured architectural devices to help bring light and space in to a room.
- 6.5 Behind the kitchen extension is a 'link' building, connecting the kitchen to the old stables.
- 6.6 As can be seen from the historic maps, there was originally such a structure here, and these proposals aim to replicate this language and form, keeping the pitch of the proposed roof to match the pitch of the existing lean-to.
- 6.7 The far west element of the lean-to would retain its stone tiled roof. However, the new link (which demolishes the 1979 extension) would be roofed in natural blue slates, which will a) tie in with the slate roof of the stables, and b) allow for an element of subservience to the link. A deliberate step down in the roof form has been introduced here, to separate the two. A lead flashing, nom 100mm, would cover the oak end rafter.
- 6.8 The link building connecting the main house with the stables is part of the historic footprint, as the historic maps show, and therefore accurately reflects the building's historic character and composition.
- 6.9 For the stable conversion, the current internal partitions are modern construction (most likely part of the 1979 or 1990 make-over). The designs do not require the forming of any new openings, and intervention is kept to a minimum, if any.
- 6.10 The divisions of the rooms align with the existing original trusses, meaning the trusses themselves may be exposed internally to reflect its fabric and character.
- 6.11 The flooring, currently concrete, is all to be demolished and removed, and re-laid with a timber board or tile.
- 6.12 Insulation at ceiling level has been detailed and is part of the drawing package, but suffice to say the principal members (trusses and purlins, and not rafters) will be exposed as part of the conversion scheme.
- 6.13 The link building connecting the main house with the stables is part of the historic footprint, as the historic maps show, and therefore accurately reflects the building's historic character and composition.
- 6.14 In terms of the proposals affecting the first and second floor, the main works occur within the 1990's extension in the reforming of the master bathroom and dressing room layout, and are therefore not seen as adversely influencing the heritage or character of the house.
- 6.15 For the top floor, there are currently some unattractive and unsympathetic rooflights, which are neither conservation type nor of a diminutive enough size to be easily ignored.

- 6.16 Instead of replacing them, it is proposed to introduce 4no new dormer windows here.
- 6.17 There are a similar number of dormers on the opposite side, arguably the more sensitive side in terms of character and historic significance, and therefore the addition of these dormers do not seem to represent harm to the character of the main house as it stands today.

7 Landscaping

- 7.1 For the landscaping, the most notable change is the introduction of a new drive.
- 7.2 This drive is similar to the historic driveway (see historic map, above). The slight difference is the driveway entrance is 10m further to the north. This is a minimal difference in landscaping terms, and is by and large within the character and setting of the earlier, historic, entrance.
- 7.3 The proposed driveway makes use of an existing gateway, and bridges a small (curious) section of field to re-enter the curtilage of the site and to then approach the house and outbuildings from the south, where parked cars are able to be hidden from view to the rear. This seems a significant improvement on the current arrangement where cars often reverse out of the drive due to inadequate turning space, and, as mentioned above, is reflective of the historic arrangement when there was a link between the main house and the stables / outbuildings.
- 7.4 In terms of finishes, the proposed driveway would be finished in hoggin gravel (over a 4-6" clean stone base over a geotextile membrane), which binds and compacts well but is also free draining and is the material-of-choice for similar national trust driveways.
- 7.5 It is extremely unlikely this new drive would cause any impact to either the setting of the listed asset, or impact to the village or wider AONB, given its proximity to the main house and that it is well screened and discreetly positioned.

8 Conclusion

- 8.1 The new owners, whose family have lived in the village for a long time, are looking to create a family home by upgrading the house to modern day living standards and extending, as shown in the submitted drawings.
- 8.2 The proposals, to a large extent, take reference from the historic map which show the house as once having a link between main house and stables, and the altered access into the curtilage, on which these proposals are therefore based.
- 8.3 Concurrently the proposed front extension allows - internally - for a semi-open plan kitchen space, in line with modern living ways. This side of the house has been altered significantly over the years, and the extension helps to lessen the "train carriage" feel of the otherwise linear plan form, in the one area where it may be widened at minimal harm to the character or heritage fabric of the house.

- 8.4 Minor internal alterations consolidate the internal proposed arrangements, and no historic fabric (including doors, windows or flooring etc) are proposed to be removed / damaged.
- 8.5 For the stables, these would be converted as part of this scheme, giving space for the subservient elements of the household.
- 8.6 In short, the extensions and alterations do not damage or harm the character of the house (through careful design), do not interfere with its legibility (by which the extensions abut only modern fabric), and are historically appropriate and sympathetic (in that they follow the footprint shown in the historic maps), and are therefore in line with local and national planning policy.

Our ref: 253_CF_X_19

Date: February 2019

JUSTIFICATION STATEMENT ADDENDUM

Grange Farm, Evenlode

“ADDENDUM”

1 Introduction

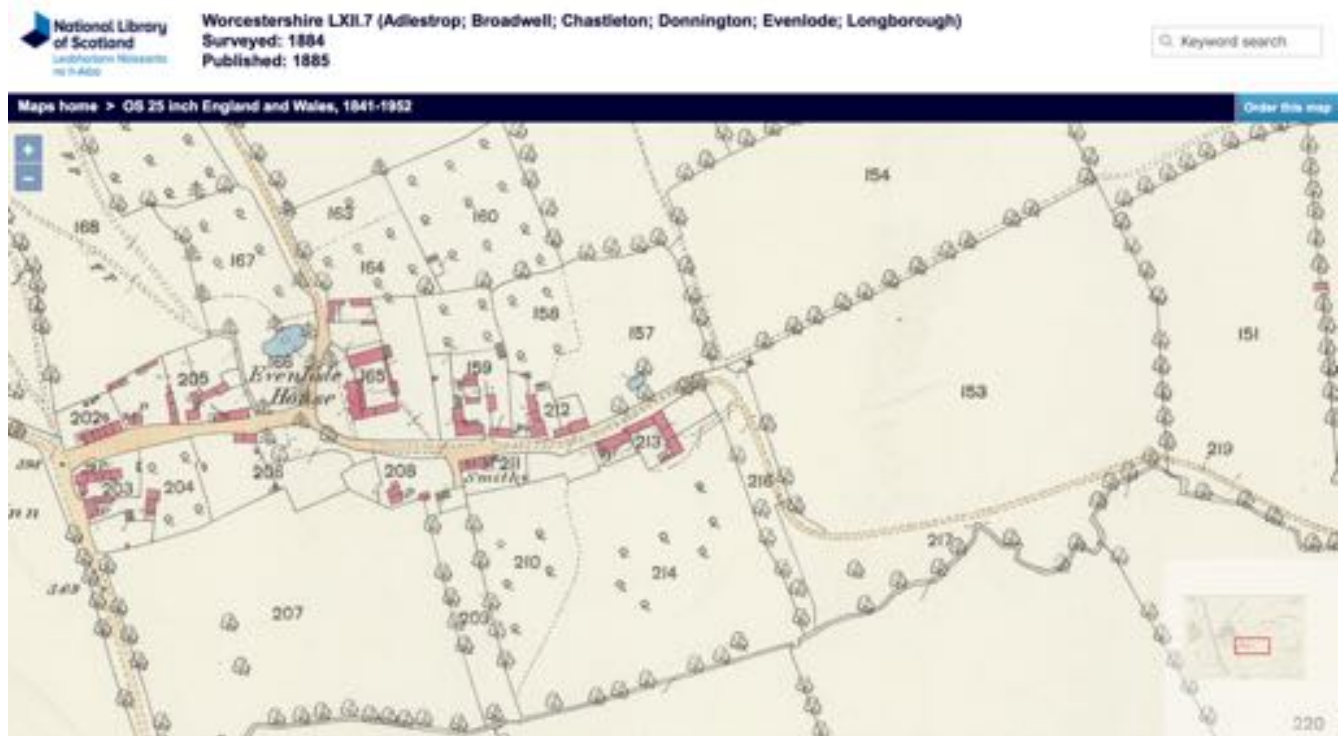
1.1 After consultation with the Conservation Officer during the application process, it was requested to provide further justification for a) the demolition of the garage, and b) introduction of the second floor flight of stairs, and c) the introduction of a secondary window to the north gable end of the stables.

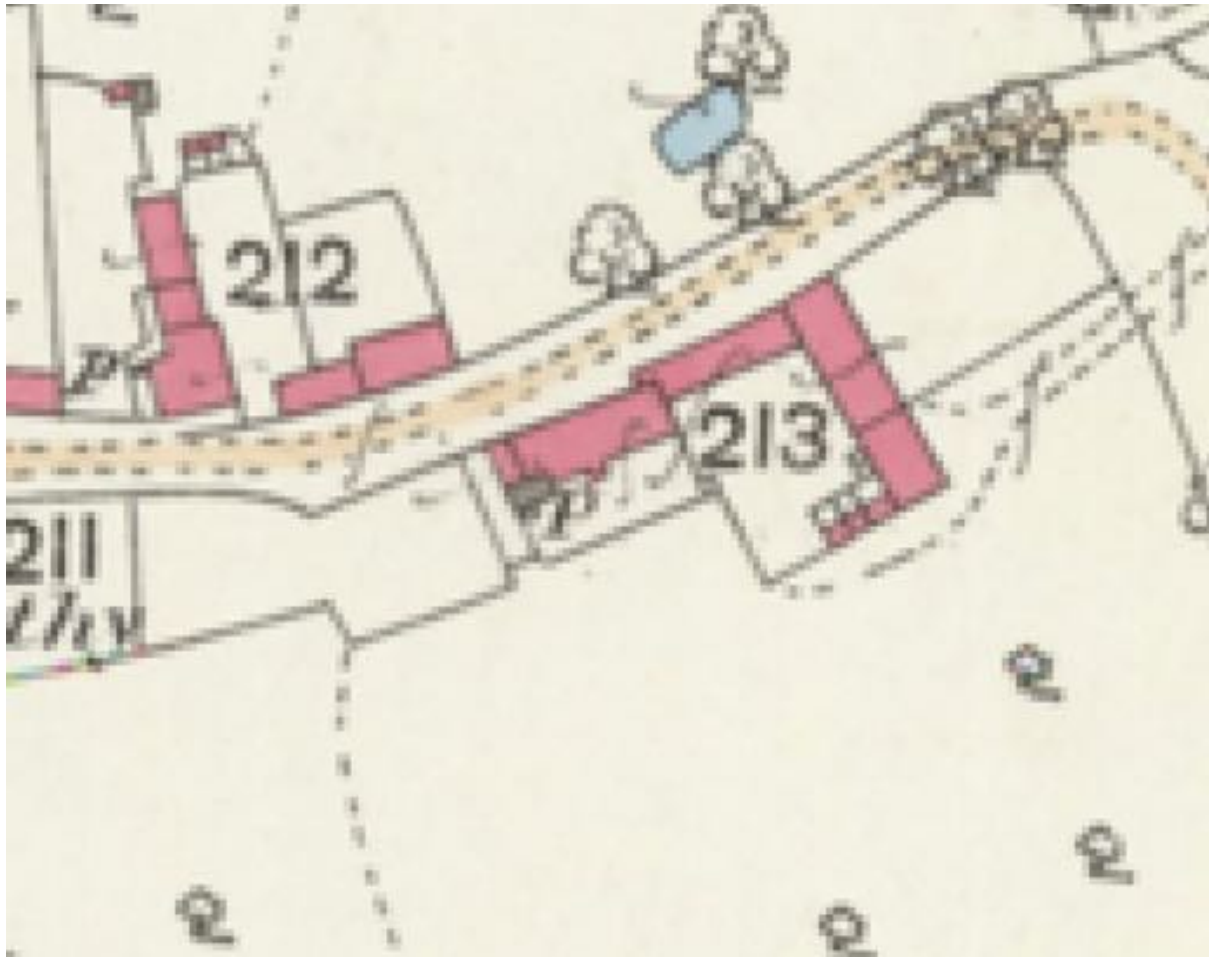
2 Garage



2.1 The history of the garage relates, in part, to the history of the adjoining stables.

2.2 As the 1884 historic map shows, the stables appear divided, by a line at roughly two thirds midpoint, whereas now (present time) they read as a single continuous ridgeline, undivided.





2.3 With reference to various indications (see below), the most plausible explanation is that this southern section of the stables was only single storey in 1884, but has subsequently been raised to a 2 storey structure as we see it now, with eaves and ridge to match the adjacent stables.

2.4 This is reinforced by many features, such as quoin junctions, use of brick at eaves of raised section (vs stone below eaves on north section), and differing roof trusses. See photos below.





Above photo: truss from 'amended' south section of stables. Note clean bricks above eaves, and use of dropped chords to support the floor.



Above photo shows 'original' trusses in main section of stables.

The above photos show similar trusses, but with clear differences, the most obvious one being the dropped chord.. The purlins are also different sizes, as well as the rafters and jointing between collar and truss, where the 'south' (more modern)

trusses show steel ties being introduced, this being a clear indication of modern techniques.



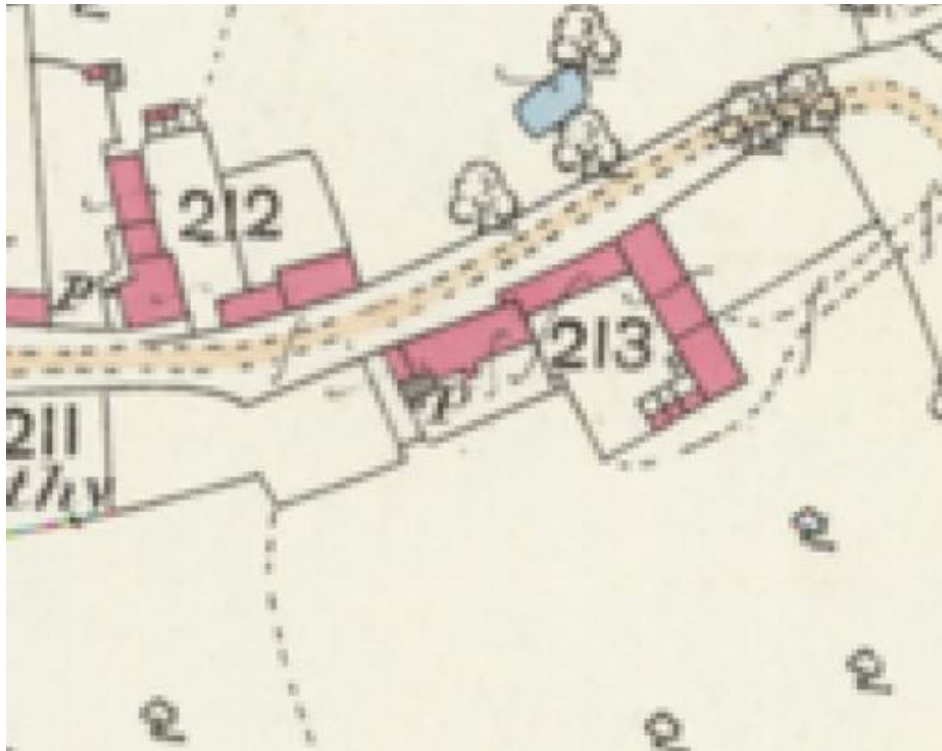
Above photo shows original oak posts from the east elevation, and oak head beam, with the stone walls behind.

2.5 This photo implies this building was evidently once some sort of 'cartshed', where the carts would have pulled into from the old driveway (shown on the 1884 plan). The brick above the head beam / eaves level, which must therefore have been used after 1884, is the same brick in the garage, which implies the current garage walls are later than 1884, probably after the turn of the century, perhaps 1910-1920, say. This is corroborated in the below analysis too.

2.6 In terms of the garage itself, it is believed this was once a simple shelter for animals, most likely kennels, constrained to a few metres deep, formed from a simple lean-to off the garden wall. See photo below.



2.7 Referring again to the historic map of 1884, below, it appears as though there were 3 such kennels, prob with penned enclosures:



2.8 Looking at the condition, mortar and construction of the bricks, see below photo, the bricks appear to date from the turn of the century, at most. Therefore it is reasonable to believe this area was remodelled somewhere in the early 20C.



2.9 This correlates with the porch, which is shown on the historic map (of 1884) as an outline, not a covered area. This is unlikely to be a mistake, as the outstep of the main house is correctly shown filled red. And the porch is constructed internally with bricks, implying strongly that the stables porch was built early 20C too, at the same time as the top floor to the south stables was added. All this fits in with this general reconstruction of this area.



2.10 The timber cross-rafters, seen on the photo above and in the photos below, are not historic. Clearly nor is the asbestos roof above.

2.11 Internally, the garage is an unfortunate affair, with steel beam, fibreboard roof, concrete floor, metal garage doors, and little sign of historic fabric. There is painted brick, where the brick is likely to be the same brick as the early 20C works used. This is another indication of this sort of timeline.





Note the window is evidently not 'historic'. It still has sharp corners and chunky frame, and although it is single glazed, it is not a significant feature architecturally or historically.

The photo below shows the lintel externally, again clearly not of any historic importance.





Photo above shows brick lining to internal skin (where externally there is a small portion of stone, which is believed to denote the historic outline of the kennel enclosures). This consolidates the theory that there was significant reconstruction after 1884 (as established by the historic map of 1884), when the kennels were turned into some form of storage and the roof of the south section of 'stables' was lifted, where brick was the predominant material.



Note: photo above shows steel in roof, which supports the cross rafters.



2.12 The front section is evidently modern, to support the garage doors.

2.13 In conclusion, the oldest the garage could be is certainly no earlier than 1884 (as corroborated by the historic map of 1884, which shows this area to have been used as kennels or enclosed animal shelters, or both) and very likely to be more like 1910 – 1920.

2.14 Internally there is minimal heritage / historic fabric left to conserve.

2.15 **The proposals therefore show the following:**

- The portion of stone wall on the west elevation (shown in photo above) to be **retained**, so as to express the historic outline shown in the 1884 map, and left as a pier or buttress to the garden wall.
- The garden wall in entirety would also be **retained**, and therefore the brick (which currently lines the garage internally) would be cleaned back (and paint removed) and exposed externally.
- A second “pier” should be built from stone, mirroring the retained stone pier, as shown on the proposed plans, to help improve this area’s historic legibility, so reflecting the 1884 map.
- The steel and non-historic timber cross rafters, asbestos roof, concrete floor, windows, and remaining part of the west brick wall to be **demolished**.
- Brick wall of the old stables to be left exposed.

3 Attic Stairs

3.1 The floor here is clearly not historic. Indeed the trusses here, and roof generally, are not historic, as the below photos show.









Note: photo above shows modern breezeblock construction to internal wall lining. This is further confirmation this attic storey of this range has been re-built in recent years. The most common cause for this usually is fire damage, however there is no indication of this externally or in any adjoining spaces, and the next most likely explanation is that this roof was showing signs of structural failure and was consequently re-built. In any case, all the fabric within this enclosure is modern.



Note: photo above shows modern floorboards over modern joists.



3.2 Note: photos above show modern rafters and trusses, and modern pine floorboards and modern joists.

3.3 In summary, the insertion of stairs in this position will not damage any historic fabric and should be deemed acceptable.

4 Secondary window to gable end of Stables

4.1 The photos below indicate clearly the presence of a window before. The applicants would like to re-instate this window.





4.2 This is not a principal elevation of the stables, and does not form part of its core character. The addition of the window would not harm the character of this building or site in any way, being of an equal size and shape and fenestration to the existing window adjacent, and being of a relatively discreet size.

4.3 In summary, the window is a reinstatement of a previous opening, does not harm the character of the stables or the adjacent parent house, and is discreet in size and impact on the wider character of the building.