

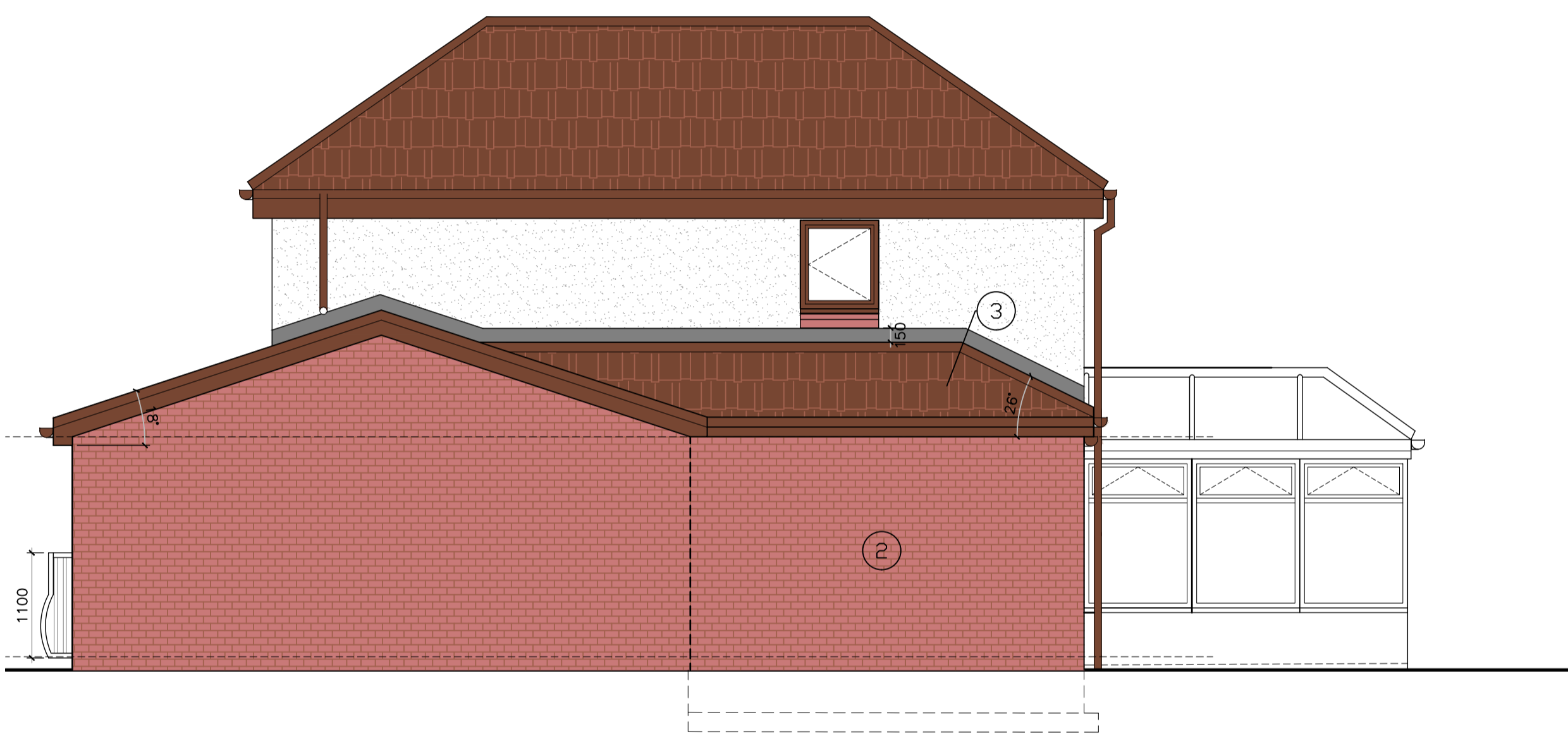
Proposed Ground Floor Plan 1:50
 Area of Garage: 19.5m² approx
 Area of Extension: 12.5m² approx
 Total Area: 32m² approx



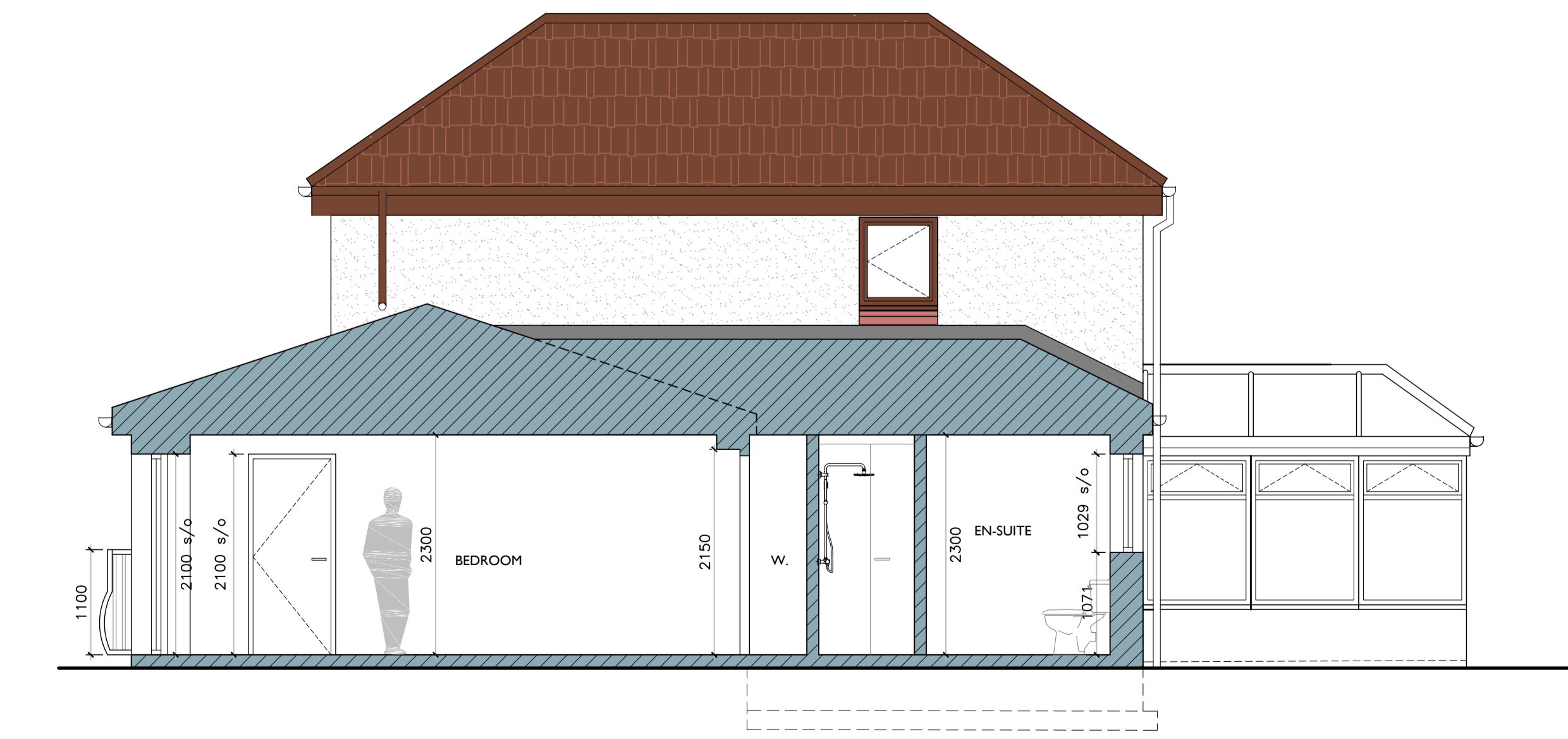
Proposed Front Elevation 1:50



Proposed Rear Elevation 1:50



Proposed Side Elevation 1:50



Proposed Long Section A-A 1:50

- MATERIALITY:**
1. Brown uPVC double glazed windows and doors to match existing- to achieve 1.4w/m²k u-value.
 2. Red brick to match with existing
 3. Marley modern roof tile to match existing, colour-Brown.
 4. Metal railing Juliet Balcony.
- All new soffits & fascias to be Brown uPVC.
 All new rainwater goods to be Brown uPVC.
 All new cills to be brickwork feature cill colour red to match existing.

- Areas outwith works
- Existing Walls
- New Walls

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**Garage Conversion With
 Roof Alterations And
 Extension For McIluff
 At 42, Cherrybank Walk,
 Airdrie, ML6 0LY**

Issue Date: **PLANNING** | Drawn by: **GM**
 date: **Mar-22** | paper size: **A1**

Drawing number & revision:
21136_PL04