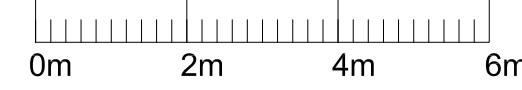
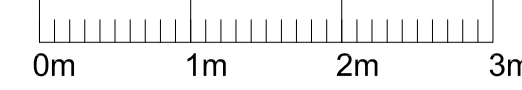


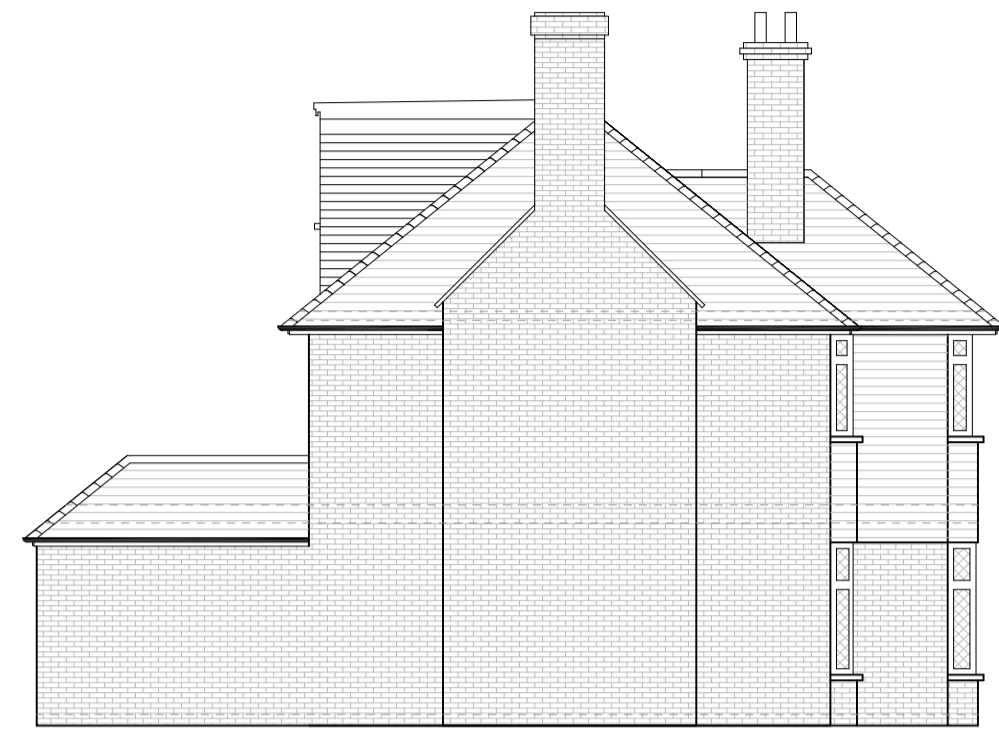
SCALE = 1 TO 100.
(Ex. plans & all elevations)



SCALE = 1 TO 50
(Prop. plan & sections)



Proposed Front Elevation
SCALE 1:100



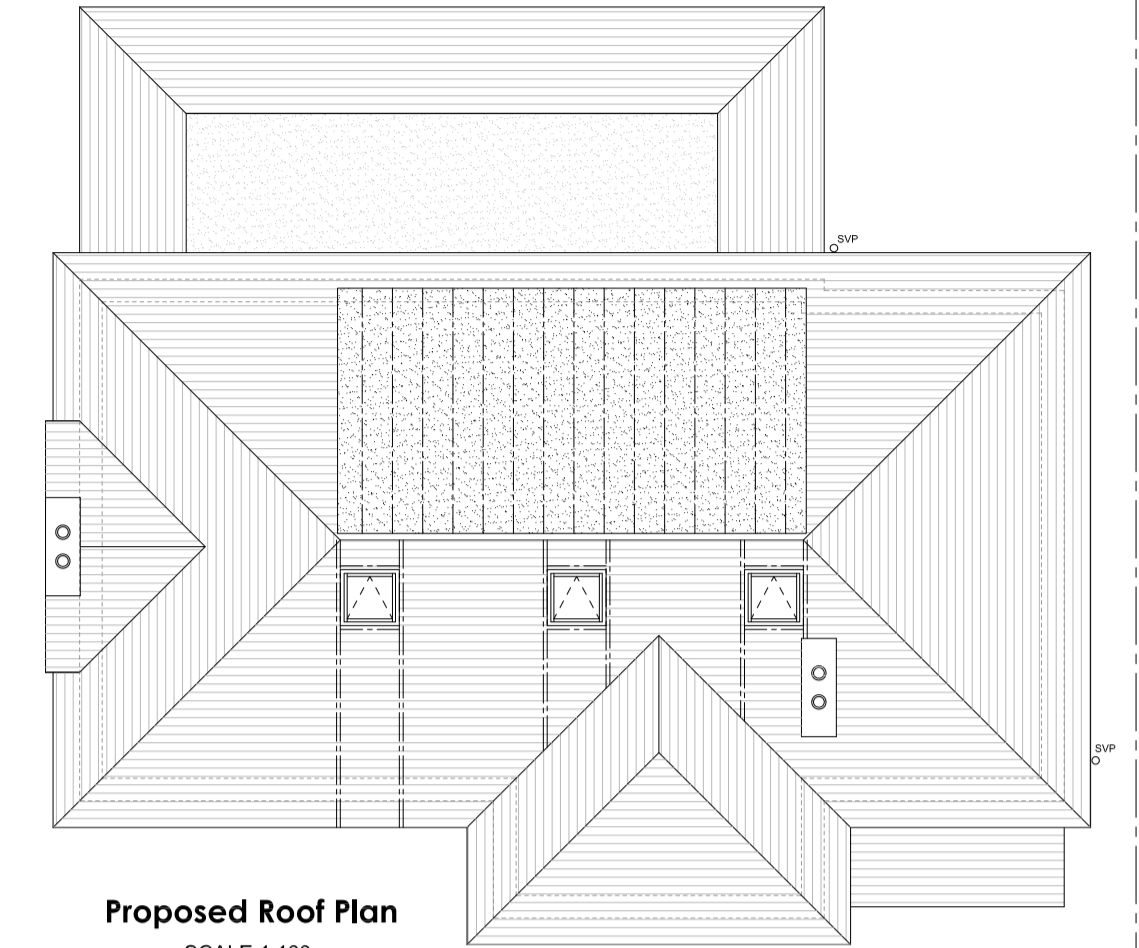
Proposed Side Elevation
SCALE 1:100



Proposed Rear Elevation
SCALE 1:100



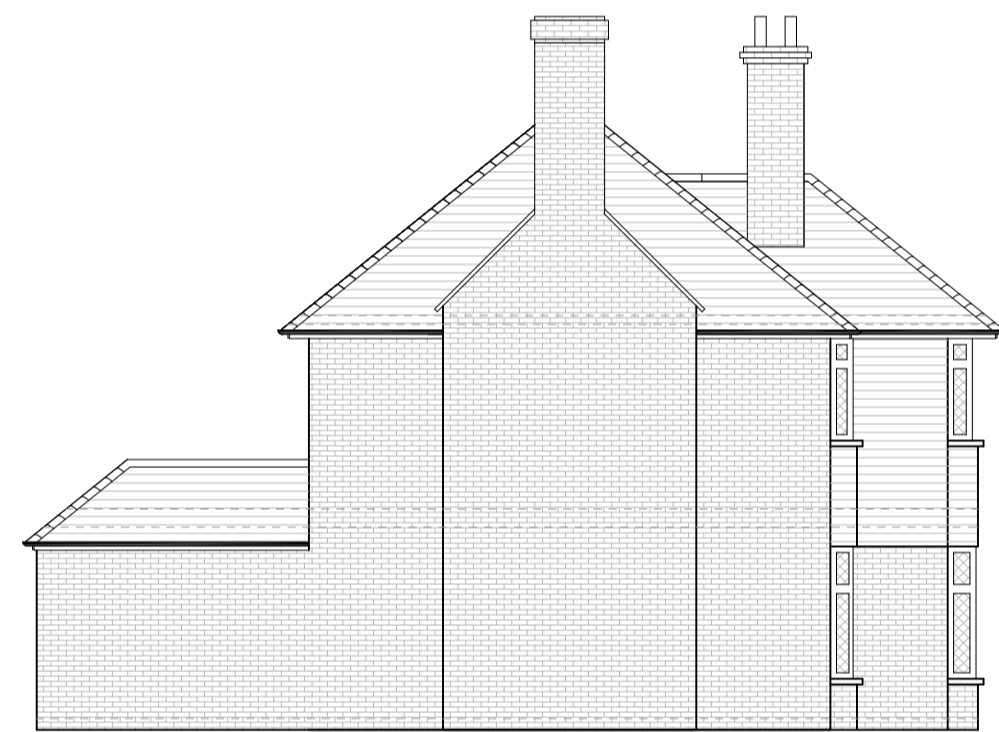
Proposed Side Elevation
SCALE 1:100



Proposed Roof Plan
SCALE 1:100



Existing Front Elevation
SCALE 1:100



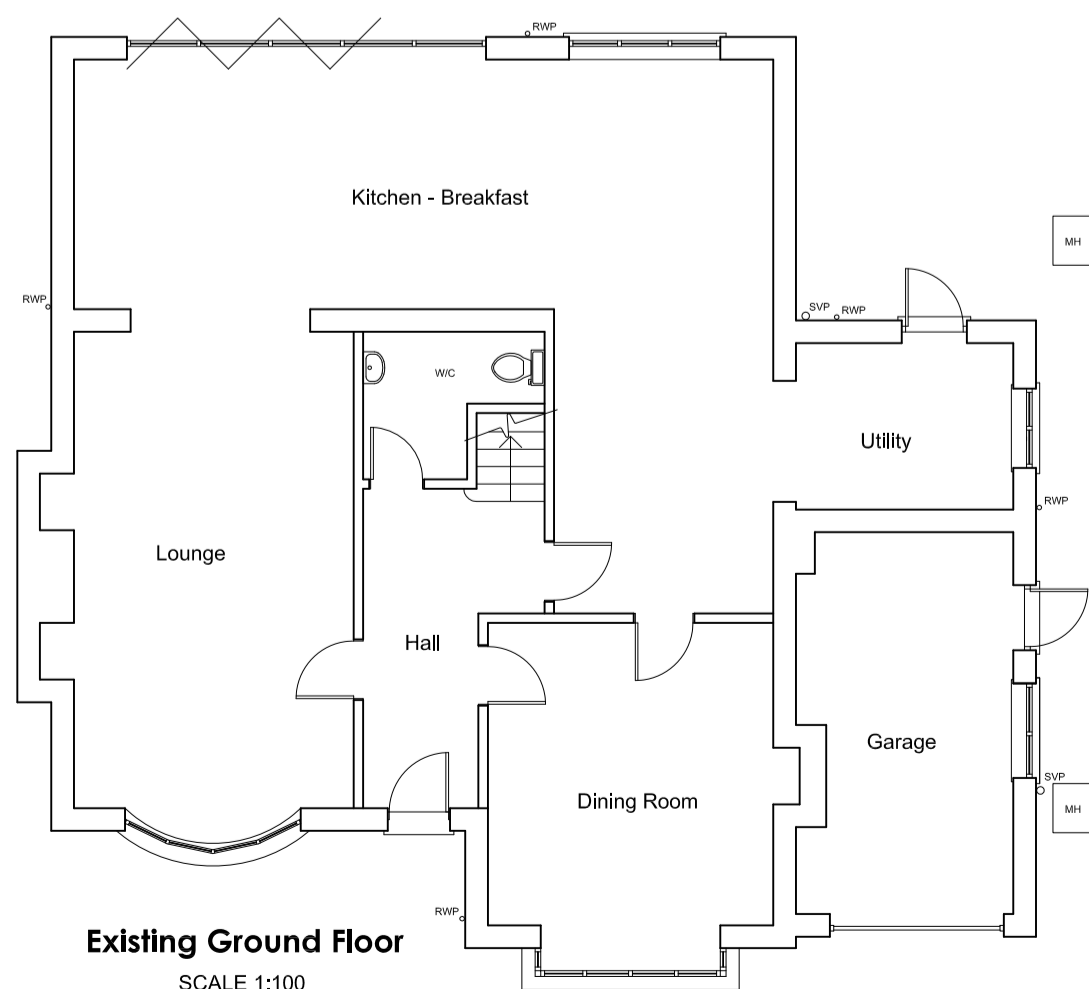
Existing Side Elevation
SCALE 1:100



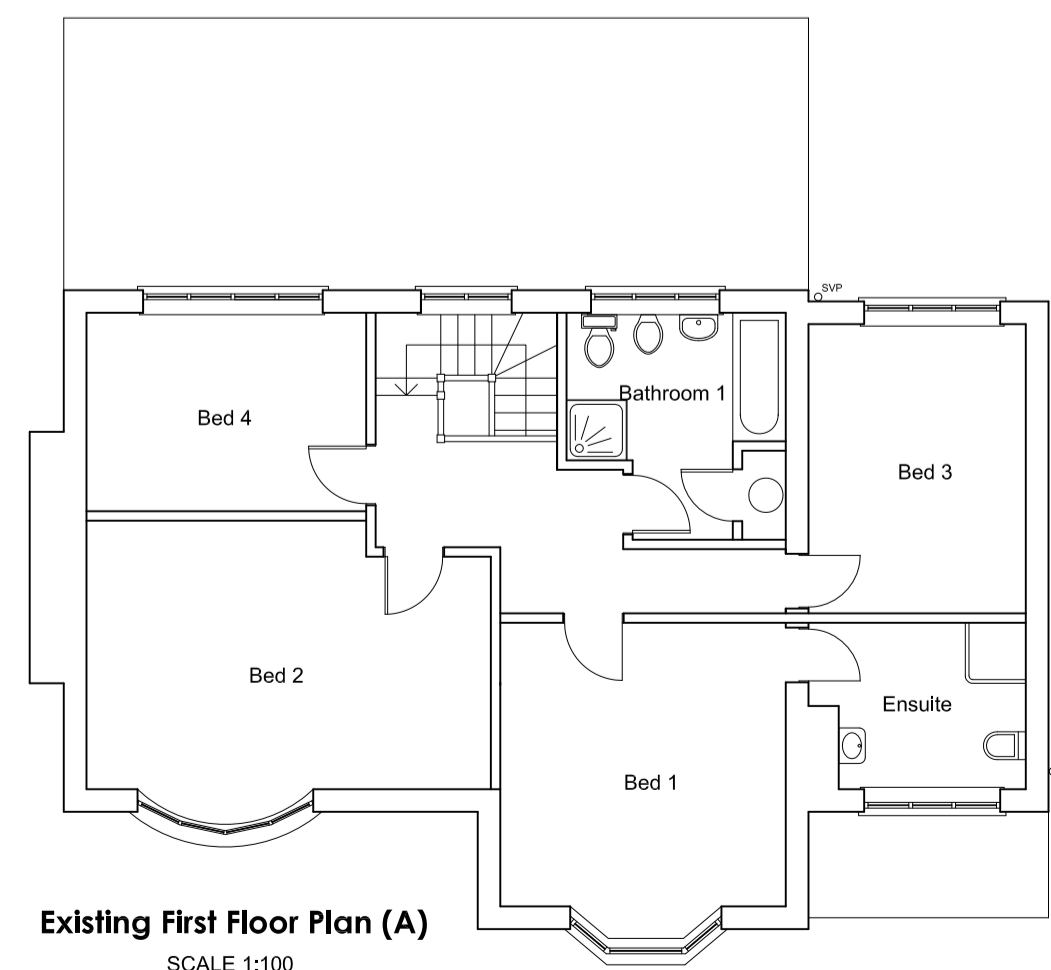
Existing Rear Elevation
SCALE 1:100



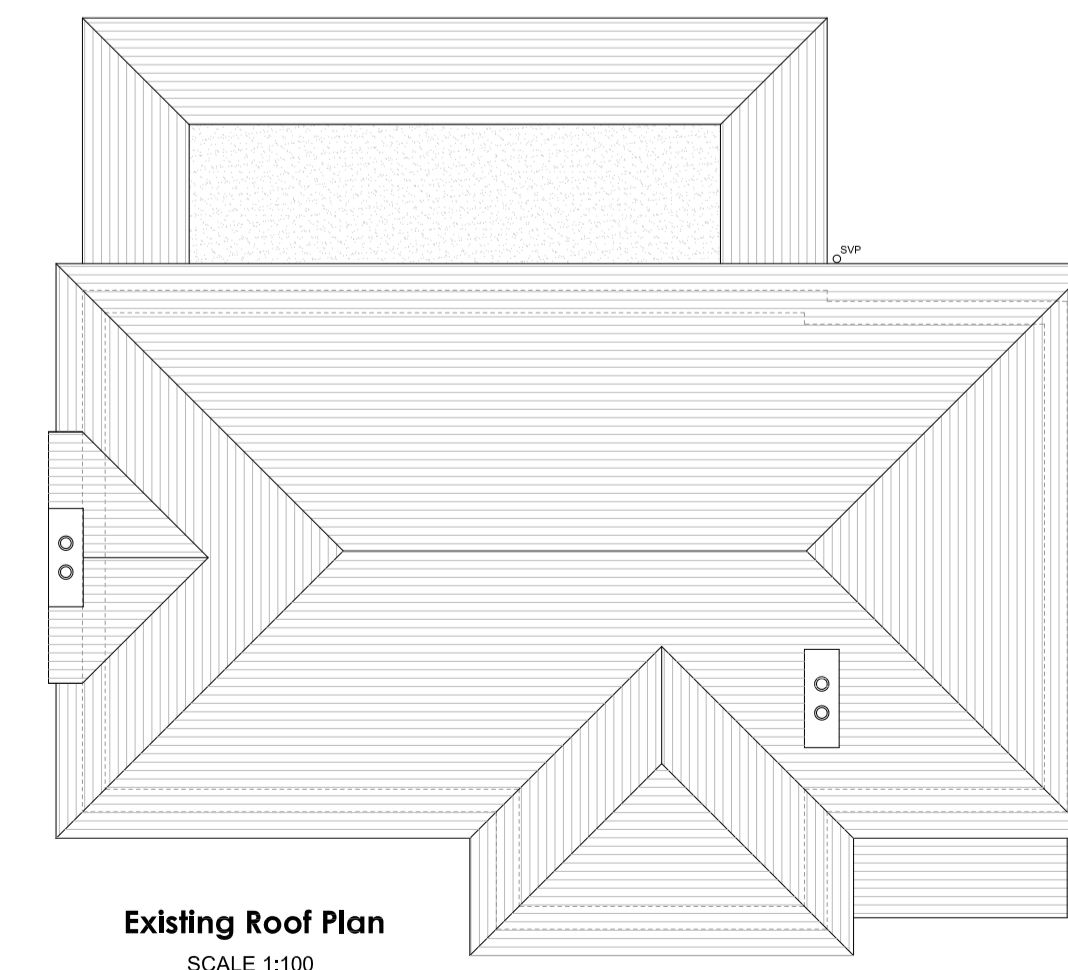
Existing Side Elevation
SCALE 1:100



Existing Ground Floor
SCALE 1:100



Existing First Floor Plan (A)
SCALE 1:100



Existing Roof Plan
SCALE 1:100

1. NOTE: These drawings have been prepared for submission to the local authority for approval under the Planning Act and Building Regulations. As the total increase in volume of the loft conversion is under 50m³ (3.4 x 2.7 x 6.0 / 2 = 27.2, dormer volume) and all other aspects comply with the G10, the loft is considered to be permitted development under planning rules. Assumptions may have been made and all relevant facts and dimensions must be taken by the builder when the drawing is used for construction purposes. This drawing should not be scaled, except for LA Planning Dept. purposes only. All work must comply with the 1996 Party Wall Act (notices served if applicable), current BS codes of practice and Building Regulations to the Building Inspector's satisfaction. Confirm with Thames Water prior to commencement whether permission is required for any work to (or which affects) the drains. All figured dimensions are wall face to wall face, excluding plaster/insulation. This drawing should be read together with drawing 15522 and structural engineer's calculations/details.

38, Downs Road, Epsom, Surrey

Proposed loft conversion

Scale: 1 to 50 & 1 to 100 Date: 5th Oct. 2021

Andrew Kenfield Associates
20, Tulyar Close, Tadworth, Surrey, KT20 5LA. Tel: 07506 104696

amendments:

drawing number:

15521

(A1)