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IN ASSOCIATION WITH

Spatial
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Planning, Heritage, Design and Access Statement on behalf of

Mr. Preston



Demolition of existing building and erection of two linked, two storey buildings containing 22 student bedrooms, associated parking and cycle parking on land at

Green Gables, Ashley Road, Epsom, KT18 5BB

February 2022

Our Ref: J003968

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PREPARED BY: CR

CHECKED BY: SC

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	PAGE
SECTION 1 INTRODUCTION & BRIEF	4
SECTION 2 SITE CONTEXT	5
SECTION 3 PLANNING POLICY	14
SECTION 4 HERITAGE	18
SECTION 5 DESIGN	20
SECTION 6 ACCESS	32
SECTION 7 CONCLUSION	33

1.0 INTRODUCTION

- 1.1 WS Planning & Architecture have been instructed by Colin Preston to support a detailed planning application for the demolition of an existing dwelling and the erection of student accommodation comprising 22 bedrooms at Green Gables, Ashley Road, Epsom, KT18 5BB.
- 1.2 This Planning, Heritage, Design & Access Statement is submitted in support of the application and should be read in conjunction with the plans and Tree Report prepared by Connick Tree Care. This Planning, Design & Access Statement is also informed by the requirements of the Planning Practice Guidance (PPG) as outlined at **Figure 1**.
- 1.3 The primary objectives of this Planning, Design and Access Statement are to demonstrate that:
- The application site is located within a sustainable location, set within a predominantly residential area that is in close proximity to local services and transport links.
 - The proposed development makes efficient and effective use of the land in line with the key criteria of the National Planning Policy Framework (NPPF) and the Planning Practice Guidance (PPG).
 - Due regard and consideration has been given to the policies and aims of the Epsom & Ewell Borough Council Core Strategy (2007) and the Epsom & Ewell Borough Council Development Management Policies Document (2015).
 - The high-quality design and layout proposed has been given specific consideration to ensure the development respects the character of the local area as well as the amenity of neighbouring occupiers.
 - The proposal will result in a well-designed and much needed student accommodation that adheres the relevant planning policies and guidance.

PROJECT BRIEF

STUDENT
ACCOMMODATION

HIGH QUALITY
DESIGN

TRADITIONAL FORM

RESPECT NEIGHBOUR
AMENITY

RESPECT THE ADJOINING
CONSERVATION AREA

MODERN INTERIORS

ENHANCE THE AREA

CYCLE PARKING

A Design and Access Statement must:

(a) explain the design principles and concepts that have been applied to the proposed development; and

(b) demonstrate the steps taken to appraise the context of the proposed development, and how the design of the development takes that context into account.

A development's context refers to the particular characteristics of the application site and its wider setting. These will be specific to the circumstances of an individual application and a Design and Access Statement should be tailored accordingly.

Design and Access Statements must also explain the applicant's approach to access and how relevant Local Plan policies have been taken into account. They must detail any consultation undertaken in relation to access issues, and how the outcome of this consultation has informed the proposed development. Applicants must also explain how any specific issues which might affect access to the proposed development have been addressed.

(Paragraph: 031 Reference ID: 14-031-20140306 Revision date: 06 03 2014)

Figure 1: Extract from Planning Practice Guidance

2.0 SITE CONTEXT

- 2.1 The application site, shown at **Figure 1**, is located on the western side of Ashley Road in Epsom, just north of its junction with Ladbroke Road, sharing a boundary with the Worple Road Conservation Area. The site comprises a detached, two-storey dwelling and associated double garage situated within a large plot.
- 2.2 According to the Epsom & Ewell Policies Map, the application site is located in the Built Up Area (see **Figure 2, Page 7**). Having examined the Environment Agency's long-term flood risk information, the site is not at risk of flooding. The property does not have Listed Building status. There is a Tree Preservation Order on a cherry tree in the front garden of the existing dwelling.
- 2.3 The immediate area surrounding the application site is predominantly residential and comprises a mix of detached, semi-detached and terraced dwellings. The surrounding properties range are mainly two storeys in height, and many have rooms in the roof. The land on the opposite side of Ashley Road is home to the University for the Creative Arts (UCA)'s Epsom Campus. The site location plan and aerial photograph are attached at **Figures 4 & 5, Pages 9 & 10**.
- 2.4 Several Railway Stations are located in close proximity to the application site, serving routes to Central London. Epsom Railway Station is located 0.6 miles from the application site, a 12 minute walk. Ewell West Railway Station is located 2.0 miles from the site and Ewell East Railway Station is also located 2.0 miles from the site. The application site is also served by several bus routes. Routes 408, 460 and 480 run along Ashley Road towards Epsom, Woodmansterne, Crawley and Tadworth. See **Figure 18** in Section 5 for further details.

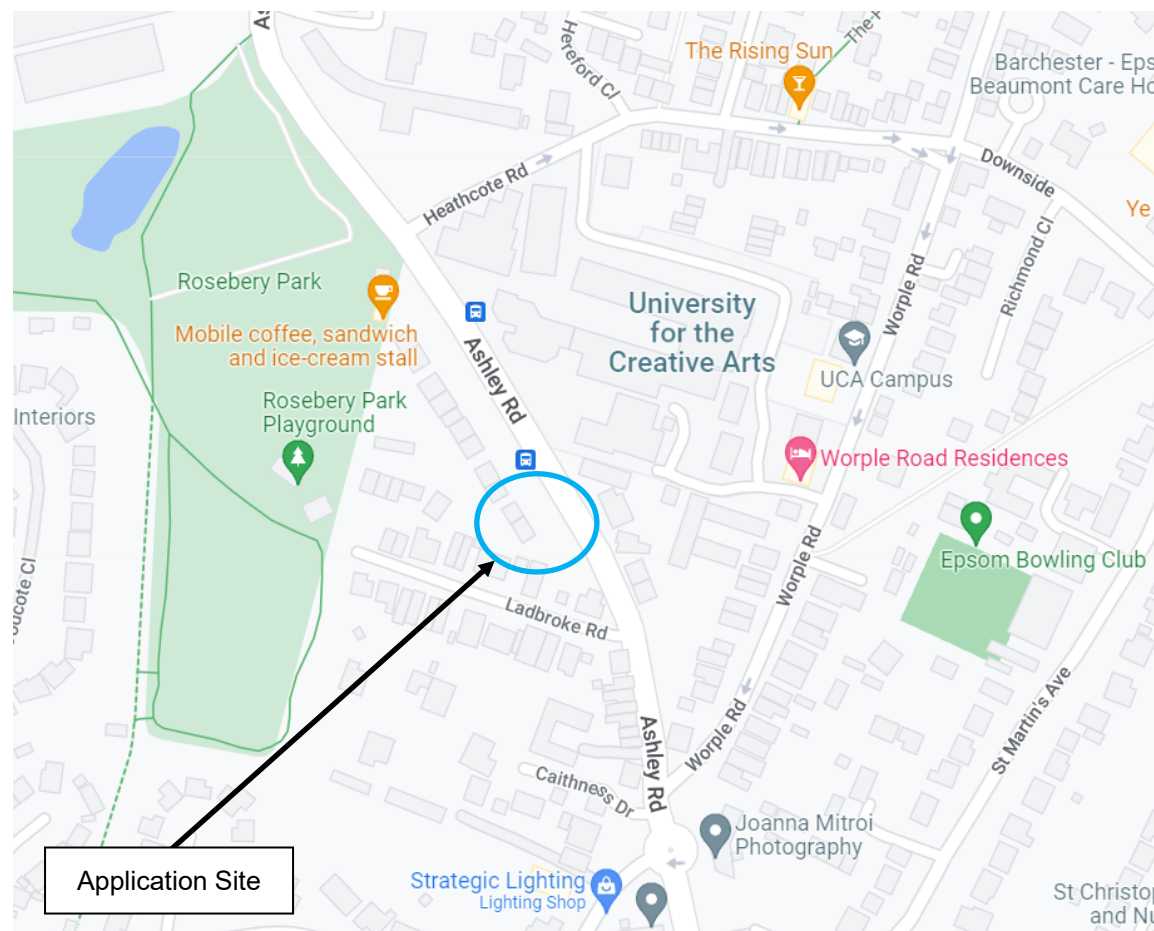
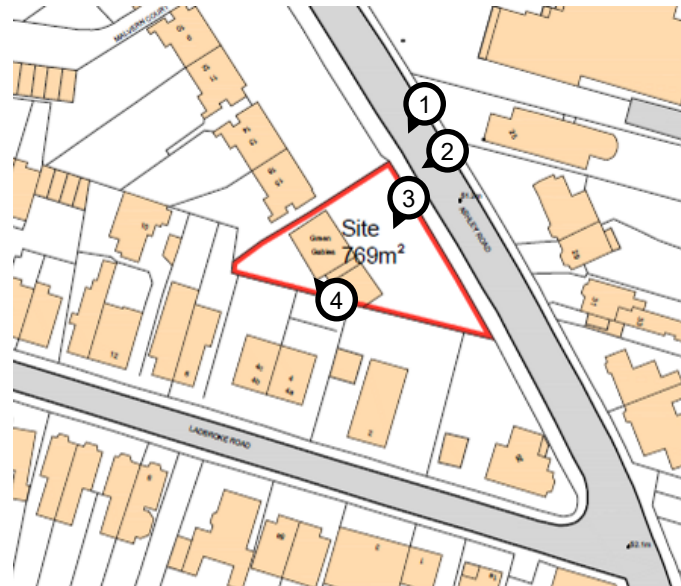


Figure 1: Map showing the location of the application site



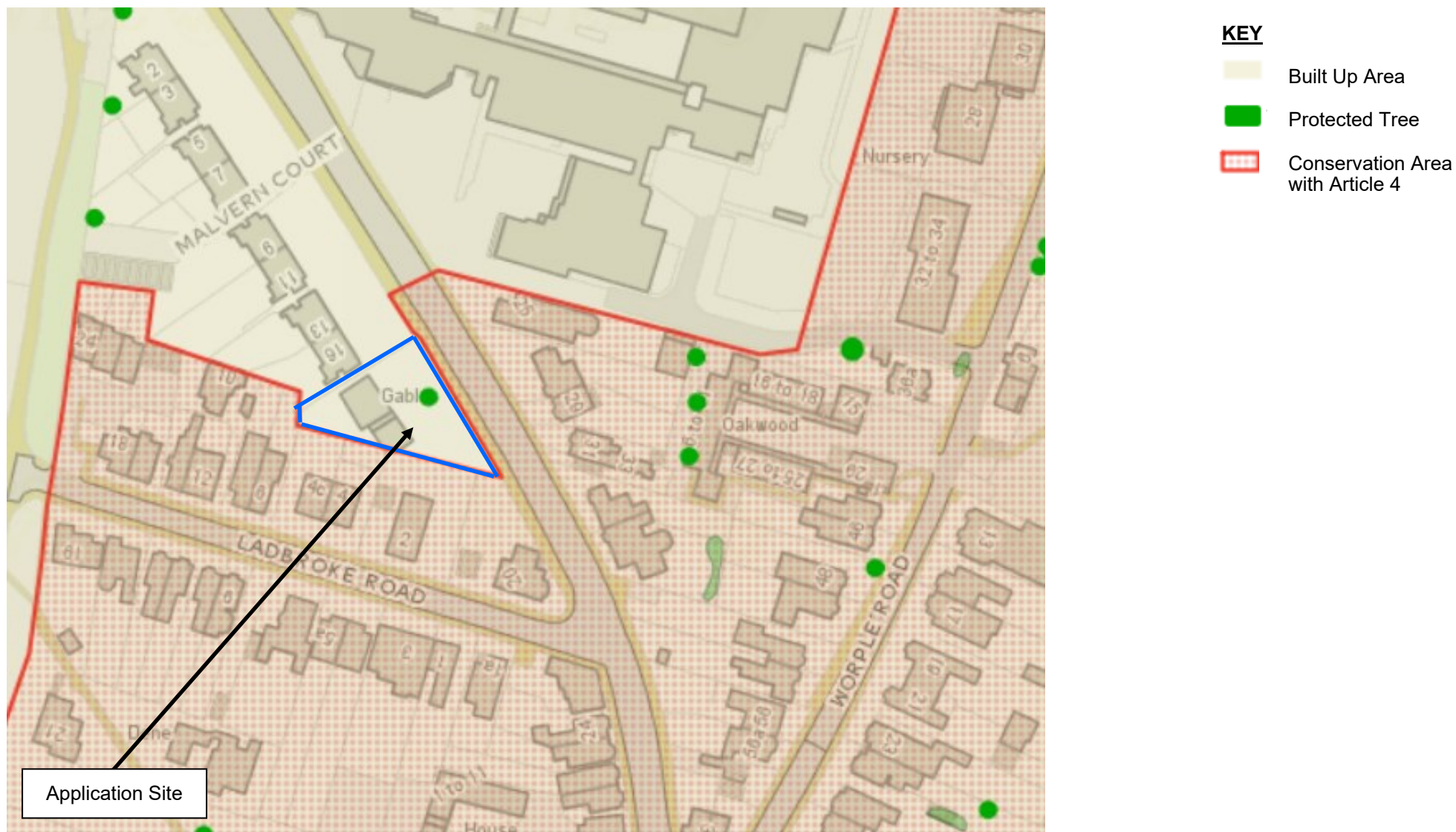


Figure 2: Extract from the Epsom & Ewell Policies Map

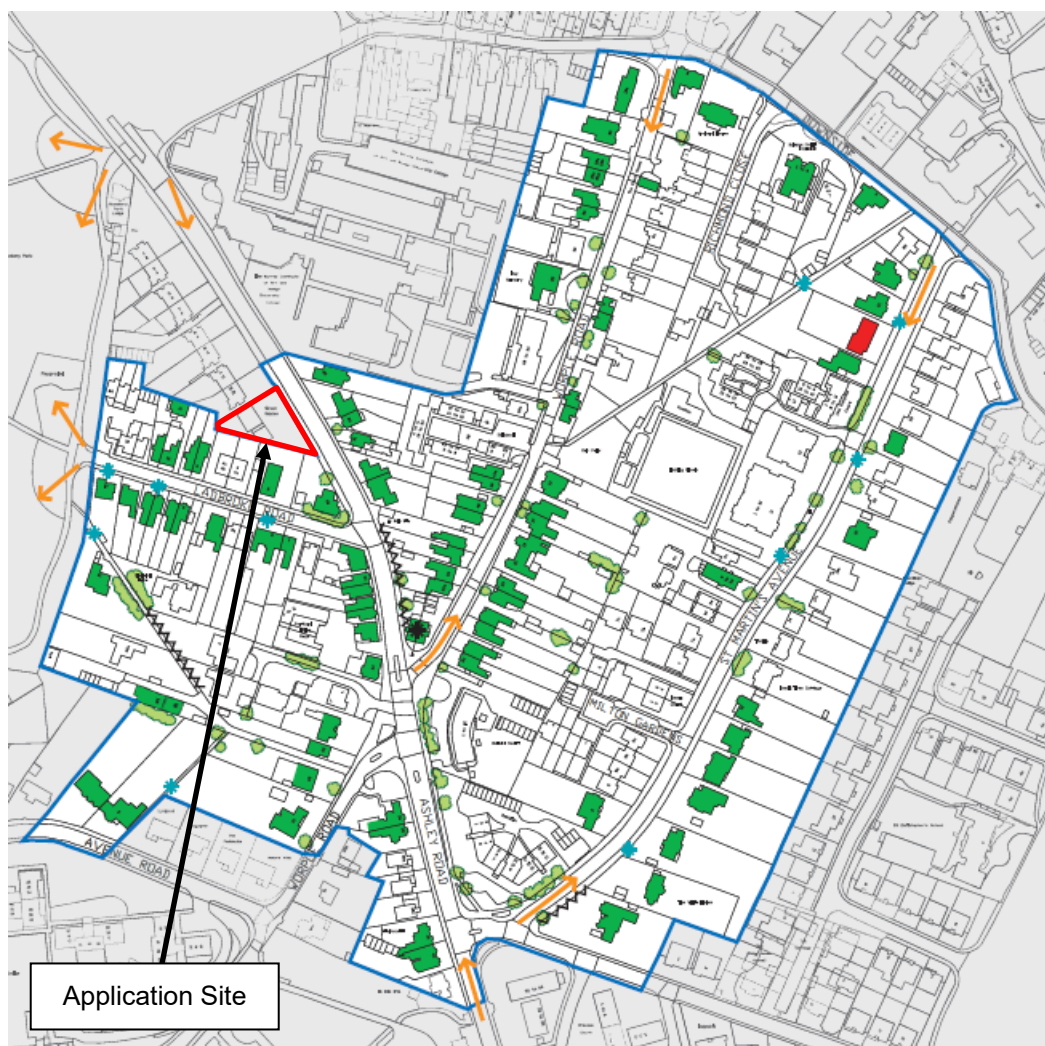


Figure 3 shows a map of the Worples Road Conservation Area

- | | |
|----------------------------|------------------------------|
| Conservation Area Boundary | 'Positive' Wall |
| Listed Buildings | Important Tree or Tree Group |
| Positive Buildings | Historic Street Light |
| Focal Building | Important Views |

- 2.5 The application site at Green Gables is outlined in red and shares a border with the boundary of the Worples Road Conservation Area to its south and east (See **Figure 3**).
- 2.6 The WPCA is described by Epsom and Ewell Borough Council as “a **mainly residential area to the south east of Epsom Town Centre which was developed from the 1860s onwards with a variety of terraced, semi-detached and detached houses**”. Although Green Gables is not positioned within the Conservation Area itself, it is important that any new developments are sympathetic to the character of the area, given that Ashley Road is a principle street, with some buildings along the road pre-dating the 19th Century expansion of the area.
- 2.7 Both the WRCA and the application site have close proximity to Epsom town centre and the University for the Creative Arts (UAC) Epsom Campus.
- 2.8 1960s/70s developments within the CA have been viewed negatively by the council, especially the Oxford Court and Oakleigh blocks of flats on Ashley Road. The council also does not favour the look of blocks of flats purpose built as student accommodation, as well as unsympathetic alterations to existing buildings within the CA (including dormers, modern materials, reduction in front garden space and mature trees) and the erection of modern garages.

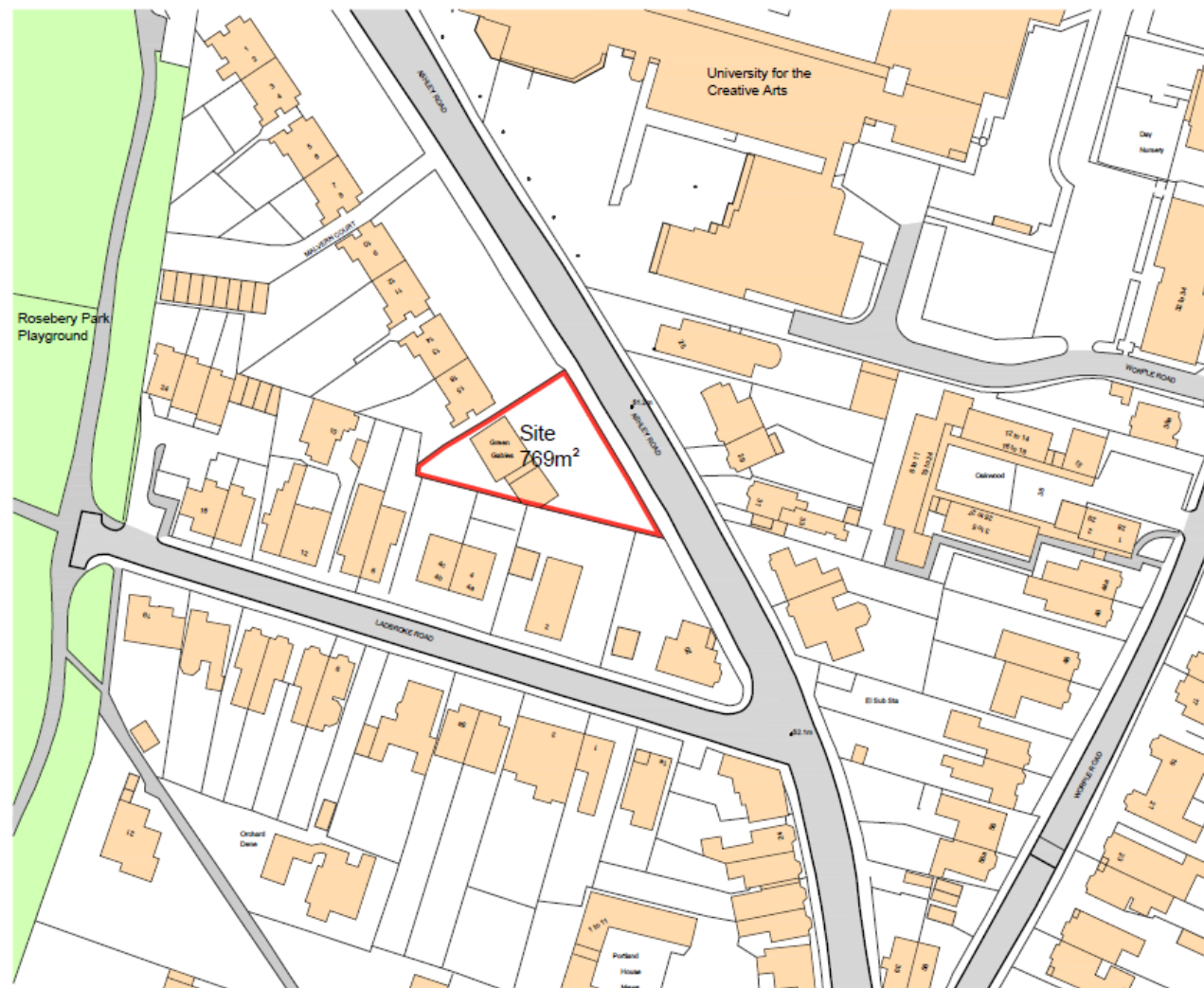


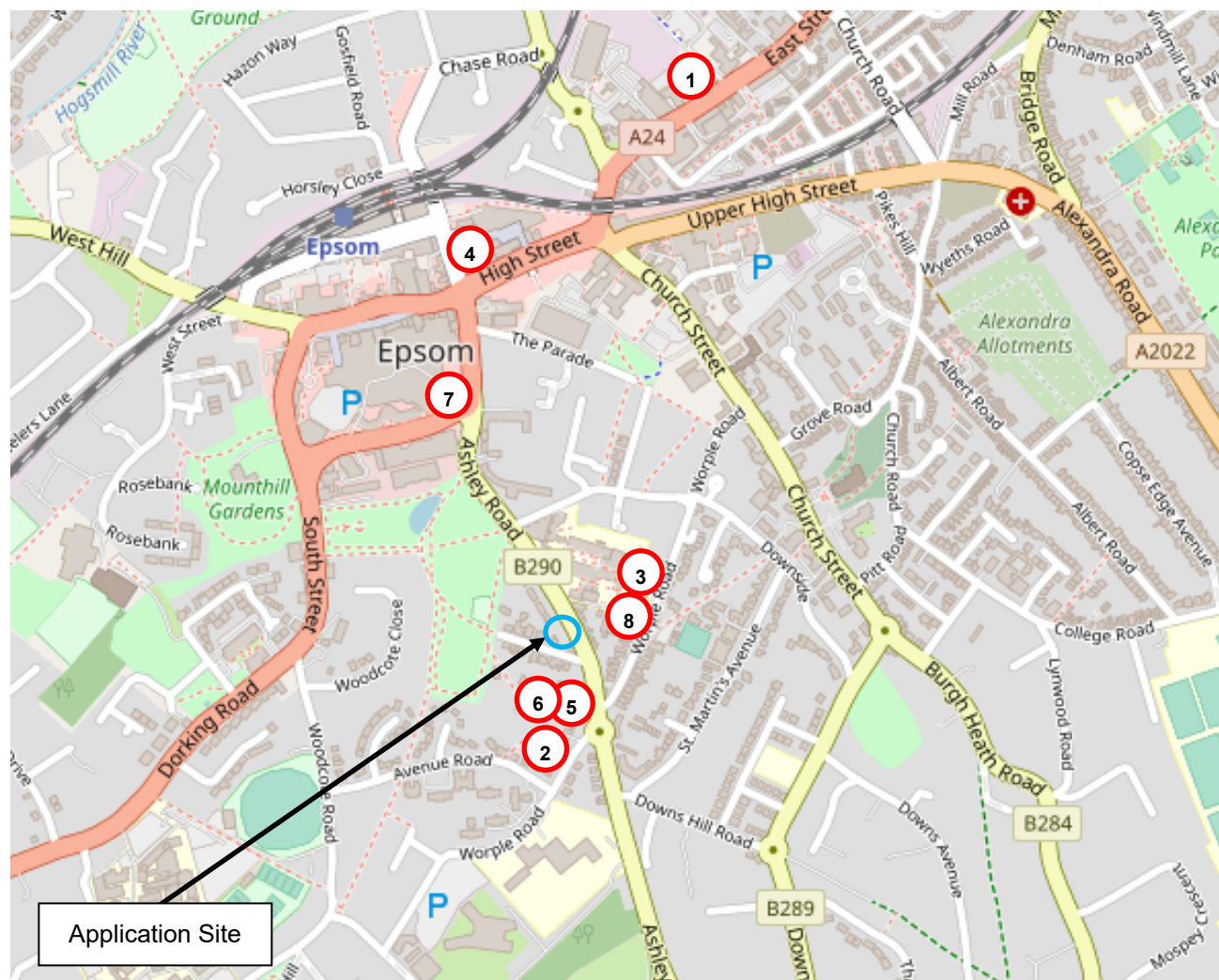
Figure 4 - Ordnance Survey Extract



Figure 5 - Aerial Photograph of the site and surrounding area

2.9 The relevant planning history of the surrounding area is set out below:

1	17/01755/FUL	Demolition of existing office building at Bradford House and erection of a mixed-use six storey building comprising of office floorspace at ground floor level and a student halls of residence at Sunnybank House 39A East Street, Epsom, KT17 1BL	6	06/00672/ FUL	Conversion of flat on 1st and 2nd floors to form 3 self-contained flats, including formation of two roof lights and two dormers at Caithness Cottage, 60 Worple Road, KT18 7AG
2	16/01919/FUL	Demolition of existing garage and erection of two new double garages and a new two storey sustainable dwelling house with associated access and external works at 70 Worple Road, Epsom, KT18 7AG	7	05/01453/ FUL	Proposed external alterations including additional floor. Retention of ground floor office use and conversion of first floor and new second floor to flats (11 in total). Access parking at Finchem House, 2 Ashley Road, Epsom, KT18 5FP
3	15/00515/FUL	Demolition of existing basement/ ground level annex replacement of basement/ ground level annex with full height extension covering basement, first and second floor levels at Asquiths Court, 28 Worple Road, Epsom, KT18 5EH	8	02/00667/ FUL	Conversion of house to two flats at 36A Worple Road, Epsom, KT18 5EL
4	11/01276/FUL	Change of use from B1 (Offices) to Sui Generis (Student Accommodation) on 2 upper floors within an existing building over retail units on the ground floor at Norwich House, 58-62 High Street, Epsom, KT19 8AL	2.10 The collection of planning permissions set out above demonstrate that student residences are common, with a warranted need in this area. These relevant planning permissions also show a precedent for the redevelopment of sites to accommodate the erection of flatted developments. The location of each of the local developments is shown in Figure 6, Page 12.		
5	10/00653/FUL	Conversion of basement, single storey flank/rear extensions to existing ground floor to form three flats at Caithness Cottage, 60 Worple Road, Epsom, KT18 7AG			



KEY

- 1 Bradford House, East Street
- 2 70 Worple Road
- 3 Asquiths Court, Worple Road
- 4 Norwich House, 58-62 High Street
- 5 Caithness Cottage, 60 Worple Road
- 6 Caithness Cottage, 60 Worple Road
- 7 2 Ashley Road
- 8 36A Worple Road

Figure 6: Location of local development schemes

2.11 The application site's relevant planning history is set out below.

20/00417/FUL Erection of two storey extension, alterations to roofspace (including two front dormer roof extensions) and other associated external alterations to convert existing dwelling into 3x1 bedroom flats and 2x2 bedroom flats with off-street car parking (resubmission 19/01165/FUL)

19/01165/FUL Two storey rear extension and alterations to roof space to convert existing dwelling to five self contained flats comprising 4 two bedroom units and 1 one bed with off street parking

2.12 The first application (ref: 19/01165/FUL) for extensions and alterations to the existing dwelling on the site was refused for the sole reason that the proposed flat units would not meet Nationally Described Space Standards

2.13 The second application (ref: 20/00417/FUL) sought to address this issue in a resubmission. The application was refused for two reasons. The first reason was that **“the proposal is not considered to optimise the site potential”**, with the second being **“the proposed zero provision of private amenity space”**.

2.14 This proposal seeks to address the previous reasons for refusal by fully optimising the site to provide apartments for students that meet Space Standards and associated amenity space.

3.0 PLANNING POLICY

CENTRAL GOVERNMENT GUIDANCE

National Planning Policy Framework (NPPF) 2021

- 3.1 The revised NPPF was published in July 2021 and sets out the Government's planning policies for England and how these should be applied. It provides a framework within which locally prepared plans for housing and other developments can be produced.
- 3.2 At the heart of the NPPF is a presumption in favour of sustainable development. At paragraph 7 the Government outline **"the purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs"**.
- 3.3 Paragraph 8 sets out the three over-arching objectives of sustainable development as economic, social and environmental. The **economic objective** focuses on building a strong economy by ensuring sufficient land is available to support growth. The **social objective** supports strong communities by ensuring a sufficient number and range of homes are provided and by fostering well designed, beautiful and safe built environments, with accessible services and open spaces. Finally, the **environmental objective** aim is to protect and enhance our natural, built and historic environment; including making effective use of land.
- 3.4 Paragraph 10 states **"so that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development"**.
- 3.5 Paragraph 11 sets out the presumption in favour of sustainable development in more detail and identifies the implications for both plan-making and decision-taking. In terms of plan-making this means **"all plans should promote a sustainable pattern of development"** that meets the development needs of the area. In terms of decision-taking this means **"approving development proposals that accord with an up-to-date development plan without delay"** and **"where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date"**, permission should be granted unless the Framework provides a clear reason for refusing the development proposed.
- 3.6 Paragraph 38 illustrates **"local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible"**.
- 3.7 Chapter 5 of the NPPF refers to "Delivering a sufficient supply of homes". Paragraph 60 states **"to support the Government's objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay"**.
- 3.8 Paragraph 62 goes on to state that the size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies including students. Paragraph 65 exempts student accommodation from needing to provide affordable housing on major sites.
- 3.9 Paragraph 69 looks to promote the development of smaller sites and identifies that **"small and medium sized sites can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly"**. The paragraph then lists four criteria which helps promote the development of a good mix of sites.
- 3.10 Chapter 11 is titled "Making efficient use of land" where **"planning policies and decisions should promote an effective use of land in meeting the needs for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. Strategic policies should set out a clear strategy for accommodating objectively assessed needs, in a way that makes as much use as possible of previously-developed or 'brownfield' land"**.

- 3.12 Chapter 12 of the NPPF concerns “Achieving well-designed places” and confirms that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve.
- 3.13 Paragraph 126 states “good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities”.
- 3.14 Paragraph 134 advises **“development that is not well designed should be refused”**. Conversely, significant weight should be given to **“development which reflects local design policies and government guidance on design”** as well as **“outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings”**.
- 3.15 Paragraph 194 states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance.
- 3.16 Paragraph 202 states that where a proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, where appropriate, securing its optimum viable use.

Planning Practice Guidance (PPG)

- 3.17 The Planning Practice Guidance is a web-based resource that was published in November 2016 and updated in October 2019, setting out national planning guidance.
- 3.18 Under the ‘Design’ Chapter, Paragraph 1 (Reference ID: 26-001-20191001) states **“well designed places can be achieved by taking a proactive and collaborative approach at all stages of the planning process”**.

- 3.19 The ‘Housing and Economic Development Needs Assessments’ Chapter sets out the support given to local planning authorities when assessing housing need (Paragraph 1, Reference ID: 2a-001-20190220).

Department for Communities and Local Government: Fixing Our Broken Housing Market (2017)

- 3.20 HM Government’s latest White Paper sets out the recognition of Britain’s broken housing market as one of the greatest barriers to progress and development.
- 3.21 The Prime Minister’s Foreword sets out comprehensive approach required to tackle the failure of the housing market system. First, there is the need for **“more land for homes where people want to live”**. Second, it is important to **“ensure that homes are built quickly once planning permissions are granted”**. Third, there is the need to **“diversify the housing market”** in which **“we will encourage housing associations and local authorities to build more”**. Finally, there is the need to **“continue helping people now”** whilst the building of homes take place.

National Design Guide (2019)

- 3.22 The National Design Guide was published in September 2019 and illustrates how well-designed places can be achieved in practice.
- 3.23 The long-standing, fundamental principles for good design are that it is: fit for purpose; durable; and brings good delight. Hence, the underlying purpose for design quality and the quality of new development at all scales is to create well-designed and well-built places that benefit people and communities.
- 3.24 The guidance confirms that buildings are an important component of places and proposals for built development are a focus of the development management system. However, good design involves careful attention to other important components of place including layout, form, scale, appearance, landscape, materials and detailing.
- 3.25 Well-designed places have individual characteristics which work together to create its physical character. The ten characteristics help to nurture and sustain a sense of community and they work positively to address environmental issues affecting climate. The ten characteristics are context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan.

Building Better, Building Beautiful Commission (2020)

- 3.26 The commission is an independent body that advises government on how to promote and increase the use of high-quality design for new build homes and neighbourhoods. The Final Report of the Building Better, Building Beautiful Commission entitled Creating Space for Beauty was published in January 2020, setting out a raft of policy propositions to improve design quality.
- 3.27 Part 1 of the Report states **“beauty is not just a matter of how buildings look (though it does include this) but involves the wider ‘spirit of the place’, our overall settlement patterns and their interaction with nature”**.
- 3.28 The Report considers the context of the need for new homes, taking into account the political and economic context, the policy response, sustainable development, environmental net gain, clean growth, regional strategy and planning, previous reviews and current reviews and the change towards a new model of co-design and community architecture.
- 3.29 Part 2 of the Report sets out the Commission’s recommendations in which we should **“ask for beauty...expect net gain not just ‘no net harm’... say no to ugliness...discover beauty locally...use provably popular form-based codes...localise the National Model Design Code... empower communities...support the right development in the right place...value design as well as price”**.
- 3.30 Part 3 of the Report concludes that **“we need to move to a virtuous circle of a simple and predictable regulatory approach to land use planning, under effective democratic control, so that a higher proportion of new developments are beautiful, popular, regenerative of existing places and aligned to measurably higher well-being outcomes for residents”**.

LOCAL PLANNING POLICY GUIDANCE

Epsom & Ewell Borough Council Core Strategy (2007)

- 3.31 The Core Strategy forms part of the Epsom & Ewell Local Development Framework (LDF) and identifies the key issues and the social, economic, and environmental objectives for the future development of the Borough up to 2022.

- 3.32 Policy CS1 states “the Council will expect the development and use of land to contribute positively to the social, economic and environmental improvements necessary to achieve sustainable development - both in Epsom and Ewell, and more widely”.
- 3.33 Policy CS6 refers to sustainable development where **“proposals for development should result in a sustainable environment and reduce, or have a neutral impact upon, pollution and climate change”**. In addition, proposals should **“demonstrate how sustainable construction and design can be incorporated to improve the energy efficiency of development”**.
- 3.34 Policy CS7 states **“the Borough Council will seek to ensure sufficient housing is provided to meet the Borough’s housing requirements in accordance with the submitted South East Plan. In applying Policy H1 of the South East Plan, provision will therefore be made for at least 2,715 homes within the period 2007-2022 (based on the annual average of 181 new dwellings per annum)”**.
- 3.35 Policy CS8 details **“new housing development will be located within the defined built up area of Epsom and Ewell”**.

Epsom & Ewell Borough Council Development Management Policies Document (2015)

- 3.36 In September 2015, the Council published its Development Management Policies Document. The document incorporates national planning policy and seeks to manage development to maximise achievement of planning objectives. The Document seeks to support the strategic objective and deliver the vision of the Core Strategy, as well as set criteria by which planning applications will be considered and determined.
- 3.37 Policy DM10 refers to design requirements for new development where development proposals will be required to incorporate principles of good design. It is stated that **“the most essential elements identified as contributing to the character and local distinctiveness of a street or area which should be respected, maintained or enhanced”**.

- 3.38 Policy DM11 gives reference to housing density and ensures the Council will **“support proposals for new housing that make the most efficient use of development sites located within the Borough’s existing urban area”**.
- 3.39 Policy DM12 refers to housing standards in which housing developments are required to comply with Nationally Described Space Standards technical requirements. In addition, new dwellings should provide appropriate external private and/or communal amenity space to meet the needs generated by the development. Paragraph 3.39 explains that due to use only within the academic year and differences in student lifestyles, the Council does **“not seek to apply these residential space standards to proposals for new student cluster flats”**. The Council will also **“ensure that all new proposals for student cluster flats are appropriately conditioned to ensure that they remain in use purely as student accommodation.”**
- 3.40 Paragraphs 4.4 and 4.5 explain how **“there are a number of very specific housing needs that reflect the mix of different people who want to live in our Borough”** with many young people **“choosing to extend their education, which can present us with an equally challenging housing need”**.
- 3.41 Policy DM21 refers to meeting local housing needs. The Council **“will grant planning permission for specialised forms of residential accommodation subject to several requirements”**. The council includes student accommodation in their definition of specialised housing and set out in paragraph 4.5 that the council **“will work with our various education institutions to ensure that the needs of their students are met.”**

Epsom & Ewell Borough Council Emerging Local Plan (2017-2037)

- 3.42 Epsom & Ewell Borough Council are preparing a new Local Plan to strengthen the Borough’s future, whilst also delivering new homes, jobs, improved transport and green spaces. The next round of public consultation, known as Regulation 18 consultation, was expected to begin in November 2021 but has been delayed.

Making the Efficient Use of Land - Optimising Housing Delivery (2018)

- 3.43 In response to the publication of the revised NPPF, Epsom & Ewell Borough Council published a new document titled **“Making the Efficient Use of Land - Optimising Housing Delivery 2018”** in May 2018. The response outlines the material considerations that the local planning authority should now take into account when assessing planning applications. Significant weight is given to Chapter 11 of the revised NPPF where planning policies should seek to make the most effective use of developed land.

Epsom & Ewell Strategic Housing Market Land Assessment update (2019)

- 3.44 The Strategic Housing Market Assessment (SHMA) Update provides background evidence for the new Local Plan. The report confirms the following:

“Students

36. There are over 4,600 students resident in the borough during term time, including older school students.

37. 64% live with their parents. Around 24% live in the private rented sector.

38. By 2020 there will be 354 purpose-built student units in the borough, for those studying at the University of the Creative Arts; this meets around a third of their housing needs.

39. The borough is a ‘net exporter’ of students – that is, the number of residents that leave the authority for elsewhere during term time is greater than the numbers that come in.

40. In view of the above there does not seem to be a strong case for additional purpose-built student accommodation to be prioritised against other demands.”

- 3.45 The SHMA concludes at Paragraph 5.64 that ***“the prime HE establishment in the authority area will provide 354 units of PBSA, enough for over a quarter of its older students, by 2020. They are planning to open a new Business School on the Epsom campus and are looking at other ways to increase their housing portfolio, though there are no concrete plans at present. The UCA does not have significant plans to expand further at the moment (following a national pattern) and the most likely growth area would be overseas students, who could be expected to be able to afford their own accommodation. Given also the fact that Epsom and Ewell is a net ‘exporter’ of students to other areas, there does not seem to be a great demand for additional PBSA at the moment.”***

4.0 HERITAGE

- 4.1 The site at Green Gables shares boundaries with the Worple Road Conservation Area but lies outside of the Conservation Area, as can be seen in **Figure 4**. The existing building is not remarkable in its architecture and differs in terms of design from the row of maisonettes to the north along Ashley Road. The retention of the building was not considered essential by the Local Planning Authority when considering previous applications on the site. It is also noted that the Local Planning Authority previously considered the extension and reuse of the building would not be the optimum way of developing the site.
- 4.2 The Conservation Area was designated on 11 December 1987 by Epsom and Ewell Borough Council.
- 4.3 Epsom and Ewell Council released a Supplementary Planning Guide (SPD) in December 2010 named The Worple Road Conservation Area Character Appraisal & Management Proposals which **“seeks to define and describe the various elements which gives the Worple Road Conservation Area its unique character.. and provides recommendations which will ensure its future protection and enhancement”**.
- 4.4 The SPD states that it's the LPA's responsibility to ensure that the special character of the WRCA is not only preserved, but enhanced.
- 4.5 The SPD also states that **“it is vital for those drawing up development proposals to understand the character of a place, and for decision-makers to ensure that proposals are in keeping”**.

Positive Buildings

- 4.6 The SPD has assigned the label of 'positive buildings' to buildings within the Conservation Area that are of high architectural value that preserve and enhance the character of the Conservation Area.
- 4.7 Number 20 Ashley Road is described as **“an Italianate ‘white’ brick villa of c1875 of two storeys with a shallow hipped slated roof, sash windows, and a conservatory which dates to slightly later (between 1895 and 1913)”**. A photograph of 20 Ashley Road from the SPD is included at **Figure 7**. Number 20 Ashley Road is also a candidate to be put forward to the Local List.

- 4.8 Numbers 27 and 29 Ashley Road are described as **“white stuccoed neo-classical buildings, more typical of urban London and have basements with raised ground floors, accessed by porticoes supported on Doric columns. The first floor windows have moulded architraves”**. A photograph of this pair of semi-detached houses is attached at **Figure 8**.
- 4.9 Near to Number 27 and 29 are Numbers 35 and 37 Ashley Road, **“which are similar but only two storeys high”**.

Negative Features and Issues

- 4.10 The SPD makes clear that **“ugly, modern garages are evident in the Conservation Area, adversely affecting the street scene”** which sit awkwardly in their sites, with metal doors and often flat, felt roofs.
- 4.11 Unsympathetic developments and alterations within the Conservation Area are looked upon unfavourably. It is made clear in the SPD that larger blocks of apartments like Oxford Court and Oakleigh along Ashley Road and purpose built student developments on Worple Road are less appropriate in terms of townscape. A photograph of student accommodation on Worple Road is attached at **Figure 9**, and a photograph of Oakleigh at **Figure 10**. Photographs are taken from the SPD.



Figure 7: 20 Ashley Road



Figure 8: 27/29 Ashley Road



Figure 9: Worple Road purpose built student accommodation



Figure 10: Oakleigh, Ashley Road— a 1960s/70s larger block of flats

5.0 DESIGN

Proposal

- 5.1 The proposed development seeks the demolition of an existing dwelling and the erection of student accommodation organised into 2 blocks with a glass link containing the lobby area and stairs
- 5.2 The surrounding area is predominantly residential in character and numerous applications for the redevelopment of sites for flatted developments, many of which are purpose-built for student accommodation.
- 5.3 In accordance with national and local planning policy, the principle of the proposed residential development is acceptable. The redevelopment of the site to provide private rental student accommodation would make the most efficient use of the land and would contribute towards the specialised housing needs of the borough.

Layout

- 5.4 The application site comprises a detached, two-storey dwelling with a double garage situated at the back of a large plot. The existing site plan is attached at **Figure 12, Page 21**.
- 5.5 In accordance with Chapter 11 of the NPPF, the proposal seeks to make the most effective use of the urban land. The proposal would consist of two blocks of student accommodation connected by a glass link, which would be positioned in line with the existing building line of the neighbouring properties. The blocks would be two-storeys in height, with 2 apartments in each. Building A would accommodate 8 students across 8 bedrooms, with 4 on each floor. Building B would accommodate 14 students, with 7 bedrooms on each floor.
- 5.6 The layout of the proposed development has been carefully considered, taking into account the existing land levels, the access to the site and the location of neighbouring properties. The proposed site plan is attached at **Figures 13, 14 and 15**.
- 5.7 Each dwelling would provide a good standard of accommodation for future residents. A breakdown of the gross internal areas of each dwelling is displayed in the table in **Figure 11**.

	Size	Gross Internal Area (m ²)
Building A	2 apartments of 4 bedrooms each	93.44
Building B	2 apartments of 7 bedrooms each	143.90
Glass Link	2 storeys	21.27

Figure 11: Gross Internal Areas of Proposed Dwellings

- 5.8 The internal layouts of each dwelling have been carefully designed, ensuring that future residents would have a high quality of accommodation. The proposed floor plans are attached at **Figures 16 & 17**.
- 5.9 Sufficient private amenity space would be provided for the proposal in the form of a private rear garden as well as amenity space to the front and side of the building. In addition, sufficient soft landscaping is proposed at the front of the development to enhance the appearance of the application site. The proposed development would therefore result in a high standard of accommodation for future residents.
- 5.10 Provision has been made at the front of the property for 4 car parking spaces, amounting to one per unit. In addition, cycle stores for the storage of ten bicycles are proposed at the front of the development.
- 5.11 In terms of refuse and recycling storage and collection facilities, appropriate provisions are proposed in accordance with local planning policy. The refuse and recycling stores would be positioned at the front of the development and wheeled to the roadside on collection days, as is currently the case for the existing dwelling and surrounding properties.
- 5.12 The proposed development has been carefully designed and positioned to ensure the dwellings would not have a detrimental impact on the amenities of neighbouring occupiers. The proposed separation distances are appropriate, and the apartment blocks would fit comfortably within the site.
- 5.13 The proposed development ultimately seeks to make the best use of urban land, in accordance with national and local planning policy. The proposal would make a positive contribution to the character of the local area, enhancing the visual appearance of the application site.

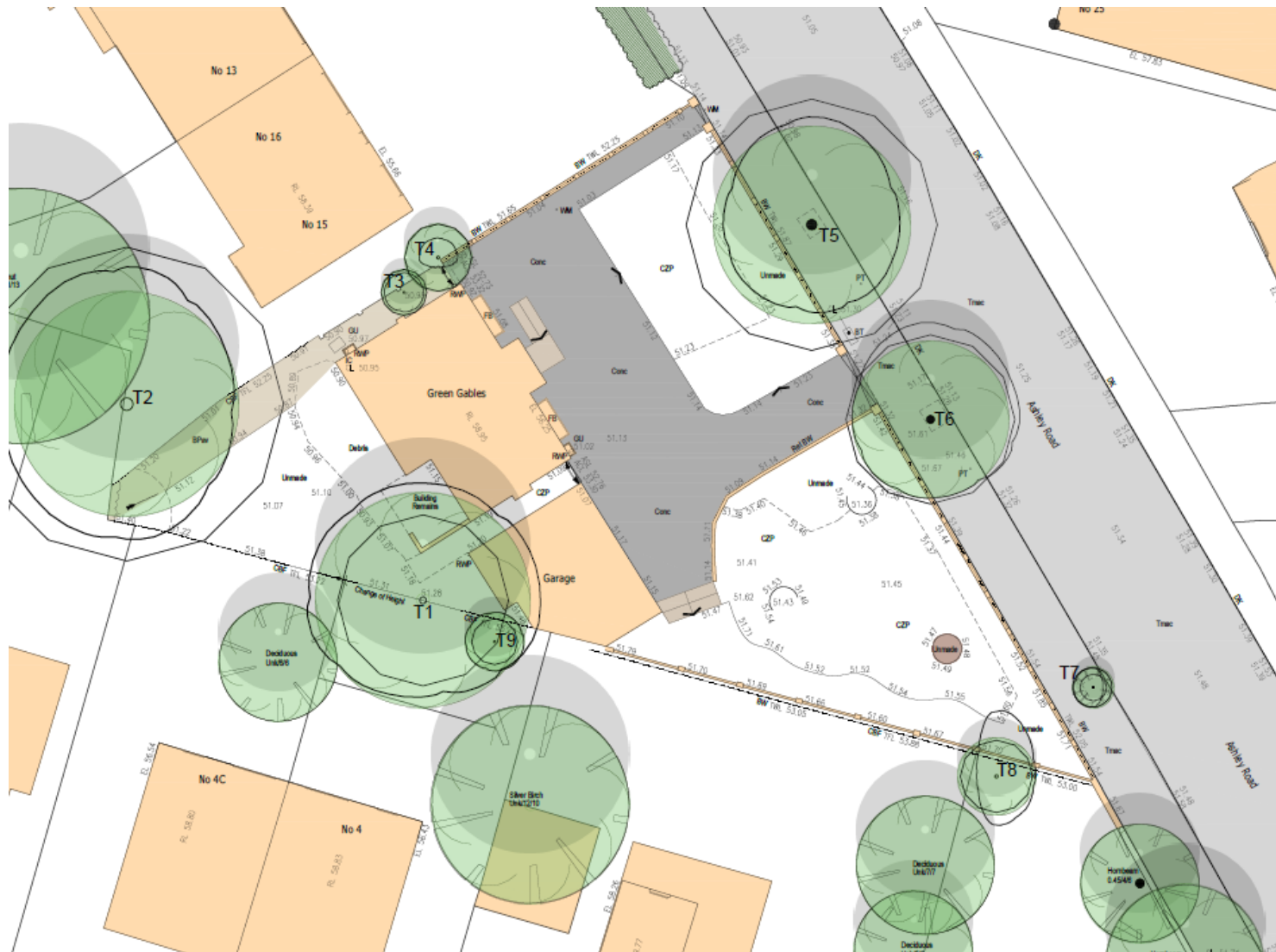


Figure 12: Existing Site Plan (Drawing Number J003968-DD-03)



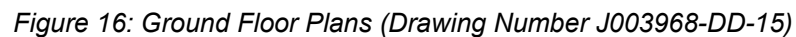
Figure 13: Proposed Site Plan (Drawing Number J003968-DD-13)



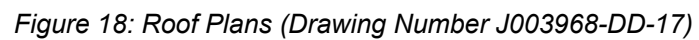
Figure 14: Proposed Site Plan (Drawing Number J003968-DD-14)



Figure 15: Proposed Site Plan (Drawing Number J003968-DD-15)







5.14 Having regard to the proposed internal and external layout of the dwellings, the minimal impact on adjoining properties, the access to sufficient amenity space, storage facilities for refuse and recycling and parking provision, the proposal is compliant with the guidance set out in the NPPF as well as Policy DM10 of the Development Management Policies Document (2015).

5.15 Careful consideration has been given to the layout and placement of windows in the rear elevation to ensure neighbour amenity is protected. While the building proposed is larger than the existing property the design has been carefully considered to ensure it provides the best use of the site without harming neighbour amenity or the character of the adjoining Conservation Area.

Form & Scale

5.16 The form and scale of the proposal has been led by an assessment of the surrounding area. It is noted that neighbouring properties are generally two storeys in height, and many have rooms in the roof.

5.17 Taking into account the height of properties within the immediate vicinity, the proposed development would be two-storeys in height.

5.18 Whilst there are two blocks of apartments, each would have their own character and they would be linked by a glass link.

5.19 The proposed form and scale is therefore appropriate and is in keeping with surrounding dwellings. The existing and proposed street scenes are attached at **Figure 21, Page 30**.

Appearance

5.20 Ashley Road is a key road in the Worple Road Conservation Area made up of detached, semi-detached and terraced properties which are set close to the pavement, creating an urban feel.

5.21 The proposed development has been informed by the character of surrounding properties. Building A is heavily influenced by the architecture of Number 20 Ashley Road, bordering the site to the southwest. Building B has been influenced in part by Malvern Court which borders the site to the north, and the pairs of semi-detached houses at 27 and 29 and 35 and 37 Ashley Road, all of which are positively identified within the Worple Road Conservation Area Character Appraisal and Management Proposals SPD (2010).

5.22 The proposal has ultimately be designed to contribute to the character of the local area, in accordance with Policy DM10 of the Development Management Policies Document (2015).

Materials

5.23 Building A would be constructed of Ibstock Moseley Grey bricks (**Figure 19**), which are an off-white sandy shade, similar but lighter in colour to the brick of neighbouring 20 Ashley Road. The quoins on Building A would be the same Ibstock Moseley Grey, as inspired again by 20 Ashley Road.

5.24 Building B would be constructed of Ibstock Wigston White bricks (**Figure 20**), which are a lighter and brighter off-white shade than the Ibstock Moseley Grey of Building A. The use of a whiter shade for Building B is to be in-keeping with the painted white bricks of Malvern Court to the north. The quoins of Building B will however be of the Ibstock Moseley Grey of Building A, to create a contrast, as inspired by 27 and 29 and 35 and 37 Ashley Road.

5.25 The roof of both buildings would be of slate tiles with lead effect rolled hips, as inspired by the roof of 20 Ashley Road.

5.26 The windows of both buildings will be of uPVC, but of sash style to match those of the positively identified buildings in the Conservation Area.

5.27 The glass link which will connect the two buildings will be constructed of glass with aluminium framing.

Trees & Landscaping

5.28 The proposed development seeks to enhance the visual appearance of the site, by protecting existing trees and landscaping features of value, and incorporating sufficient planting. In turn, the proposal would protect and enhance the sylvan character of the Conservation Area with which it shares a boundary.

- 5.29 In support of this application, an Arboricultural Method Statement and Tree Protection Plan have been prepared by Connick Tree Care in order for this application to be fully analysed and considered.
- 5.30 The findings of the Tree Survey conducted by Connick Tree Care found that there are 9 trees within and adjacent to the site, none of which were 'A' grade trees.
- 5.31 Appendix II of the Arboricultural Impact Statement and Arboricultural Method Statement shows that the only tree that is not a third party tree, which falls within the site is of U grade.

Sustainability

- 5.32 Policy CS6 of the Core Strategy (2007) required proposals to demonstrate how sustainable construction and design can be incorporated to improve the energy efficiency of development.

Community Infrastructure Levy (CIL)

- 5.33 It is understood that the CIL charging rates were adopted by the Council on 29 April 2014. It is noted that CIL will be chargeable on the net additional floorspace of all new development apart from those that are exempt.
- 5.34 The charging rate for student accommodation is £30 per square metre. As can be seen from Figure 11, the total Gross Internal Area of the proposal is 261.90 square metres, amounting to a CIL charge of £7857.



Figure 19: Ibstock Moseley Grey Brick



Figure 20: Ibstock Wigston White Brick



Figure 21: Existing and Proposed Street Scene (Drawing No. J003968-DD-22)



6.0 ACCESS

Vehicular and Transport Links

- 6.1 As previously evidenced in **Section 2**, the application site is located in close proximity to a range of public transport links (see **Figure 23**). Several Railway Stations are located in close proximity to the application site, serving routes to Central London. Epsom Railway Station is located 0.6 miles from the application site, a 12 minute walk. Ewell West Railway Station is located 2.0 miles from the site and Ewell East Railway Station is also located 2.0 miles from the site. Epsom Downs Railway Station is located 1.9 miles away from the application site. The application site is also served by several bus routes. Routes 408, 460 and 480 run along Ashley Road towards Epsom, Woodmansterne, Crawley and Tadworth.
- 6.2 The application site is easily accessible by car. Ashley Road is an important route to and from the town centre of Epsom. 4 car parking spaces have been proposed, equating to one per unit.

Inclusive Access

- 6.3 It is essential that everyone can get to and move through developments on equal terms regardless of age, disability, ethnicity and social grouping.
- 6.4 People are very different in their needs and in the way they use the built environment. An inclusive environment recognises and accommodates these differences in a way that is universal. An inclusive design provides a single solution for everyone.
- 6.5 The proposed development has been designed to fully comply with national and local policies and guidelines in terms of transport and access.

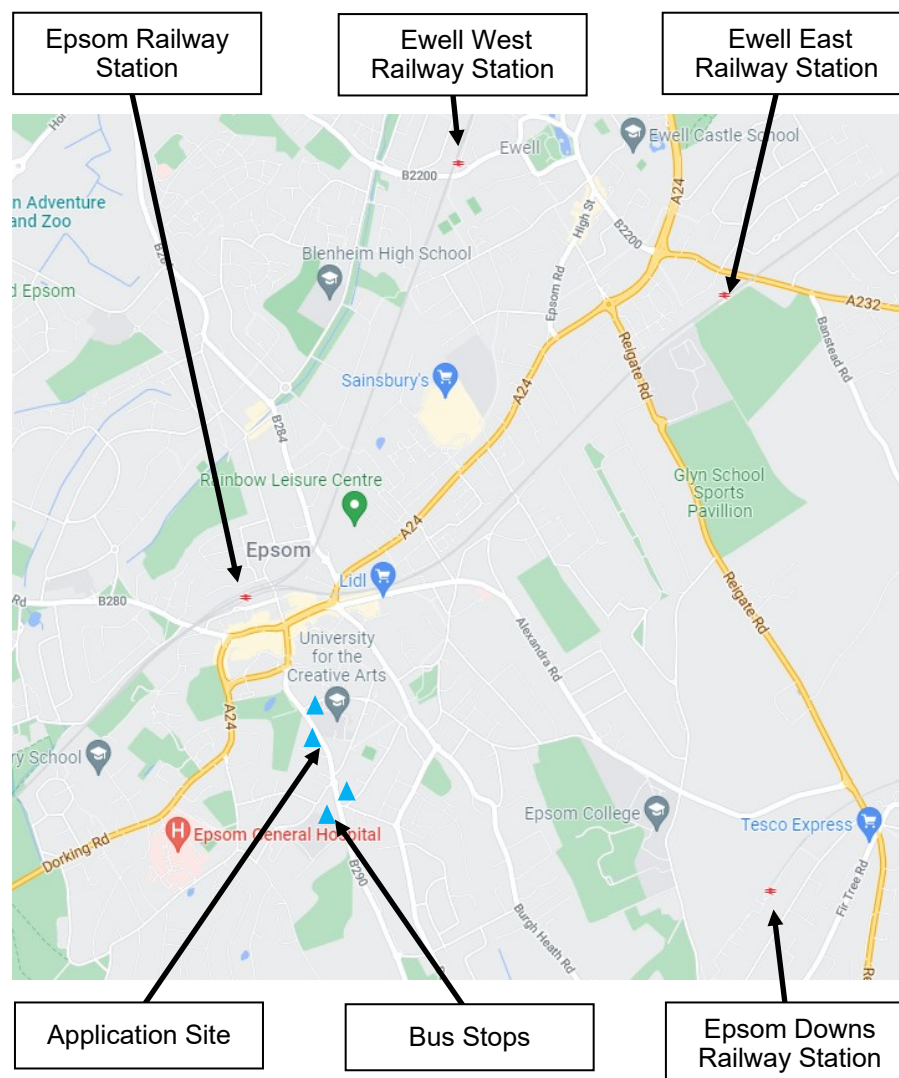


Figure 23: Site location showing proximity to rail and bus links

7.0 CONCLUSION

- 7.1 The proposed development comprises the demolition of an existing dwelling and the erection of student accommodation at Green Gables, Ashley Road, Epsom, KT18 5BB.
- 7.2 The application site is located in a sustainable location, within close proximity to a number of local shops and services as well as a variety of public transport links. The immediate area surrounding the application site is predominantly residential, consisting of a mix of detached, semi-detached and terraced dwellings.
- 7.3 The siting, layout, scale, form, design and appearance of the proposal have been carefully considered to ensure that the development respects the character of the local area and responds to similar developments in the locality. The proposal would create a high standard of accommodation for the future residents and would protect neighbour amenity. In addition, the proposed development would contribute to the specialised housing needs of the Borough.
- 7.4 The proposal fully adheres to the relevant Central Government Guidance contained within the NPPF and the PPG. The proposal is also informed by the Epsom & Ewell Borough Council Core Strategy (2007) and the Epsom & Ewell Borough Council Development Management Policies Document (2015).
- 7.5 For the reasons stated within this statement it is requested that the officer, appointed to determine this application, look upon the proposal favourably.