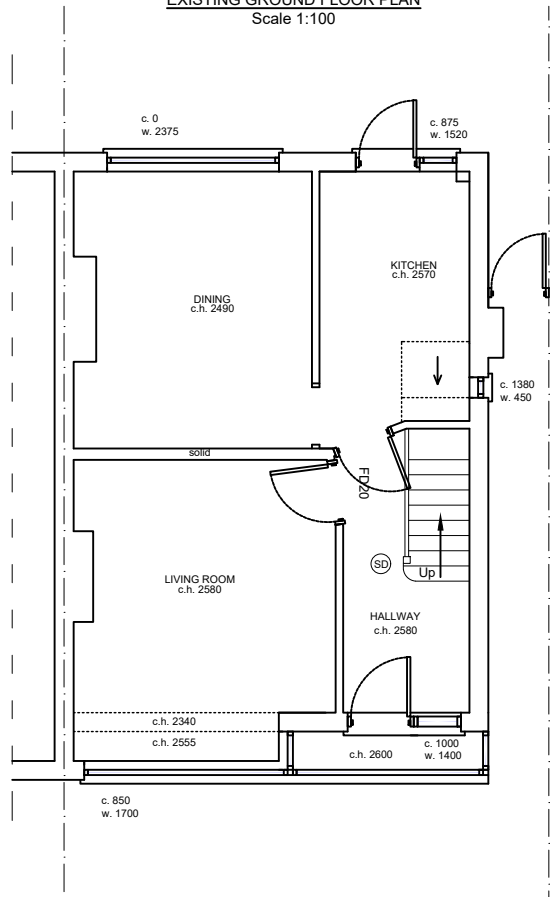
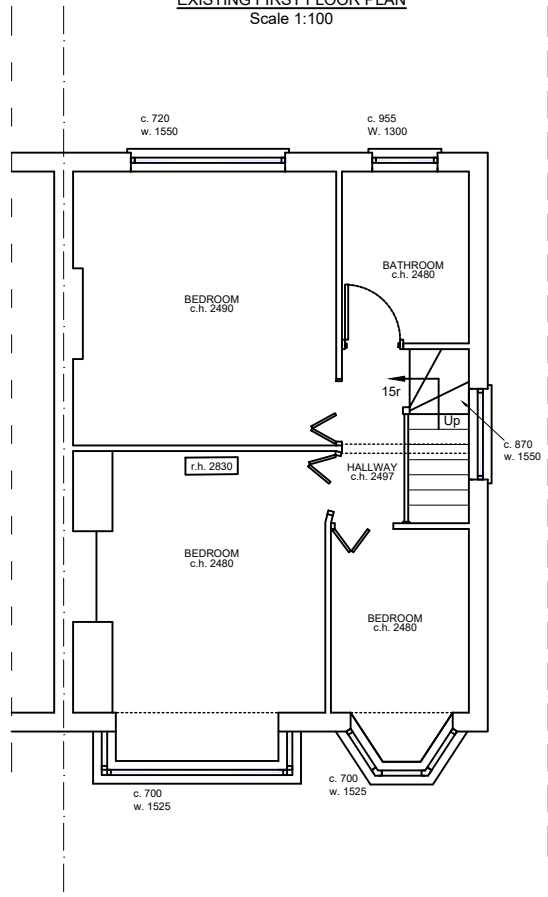


EXISTING GROUND FLOOR PLAN
Scale 1:100



EXISTING FIRST FLOOR PLAN
Scale 1:100



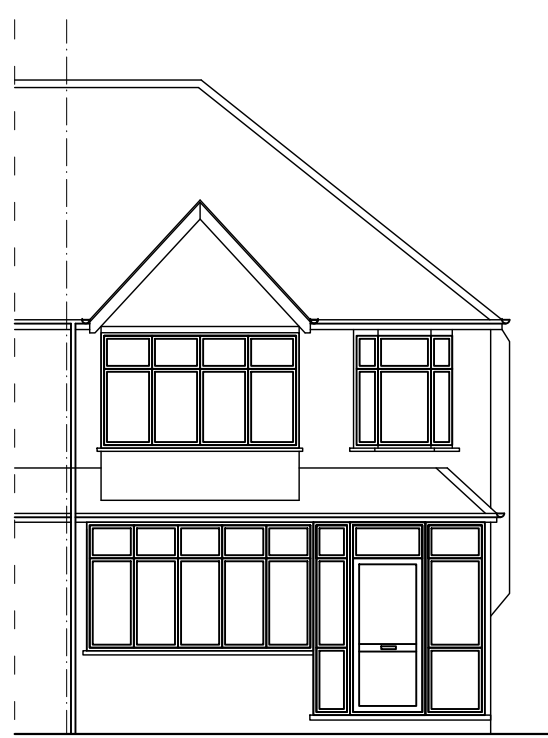
Scale 1:100



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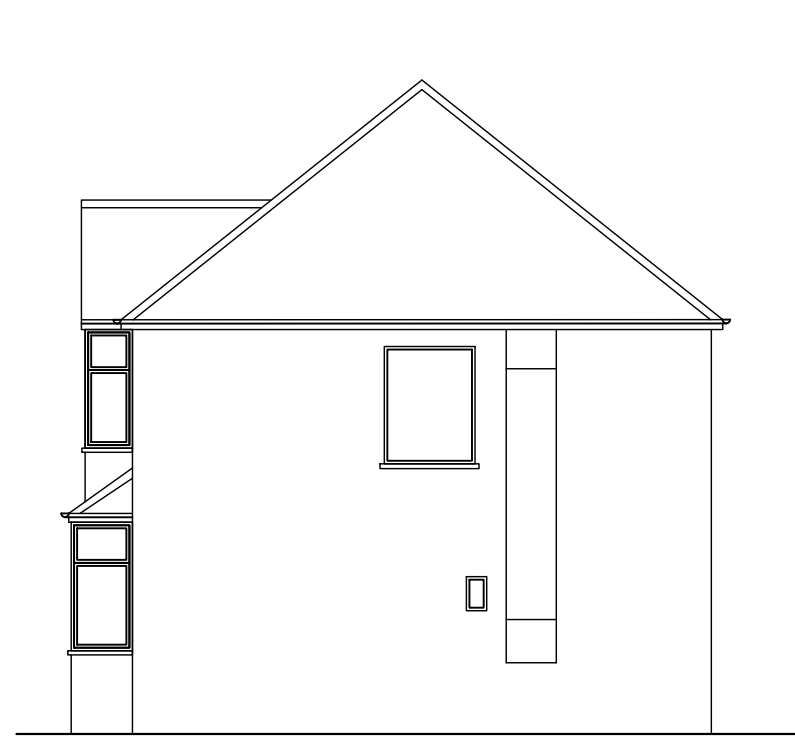
LOFT CONVERSION		
Project 39 Ardrossan Gdns, Worcester Park KT4 7AU		
Client Mrs Saima Khan		
Title Existing floor plans		
Date March 2022	Scale 1:100	Drawn A.P.
Job No. TS2022/08	Dwg No. 01	Checked TS Ltd



EXISTING FRONT ELEVATION
Scale 1:100



EXISTING REAR ELEVATION
Scale 1:100



EXISTING SOUTH SIDE ELEVATION
Scale 1:100

PARTY WALL ETC ACT:
THE BUILDING OWNER IS RESPONSIBLE FOR SERVING ALL NOTICES AND OBTAINING ANY WRITTEN CONSENT WHICH MAY BE REQUIRED UNDER THE ABOVE LEGISLATION BEFORE WORK COMMENCES.

RESTRICTIVE COVENANTS:
THE BUILDING OWNER IS RESPONSIBLE FOR INFORMING FIFTH STUDIO LTD IN WRITING WHETHER THERE ARE ANY RESTRICTIVE COVENANTS ON THIS PROPERTY. IF SO, THE PROPERTY OWNER MAY NEED FURTHER PERMISSION TO DEVELOP THE PROPERTY / LAND. IN SUCH INSTANCES COVENANT APPROVAL IS REQUIRED PRIOR TO WORKS COMMENCING ON SITE. ADHERENCE TO COVENANTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

The total volume of the dormer extension to be less than 40m³.

The edge of any dormer or mansard enlargement is to be a minimum of 20 centimetres from the eaves of the original roof.

Materials to be used for the exterior works to be of a similar appearance to those used in the construction of the exterior to the existing dwellinghouse.

Tiles to be used of similar colour and texture to existing tiles.

Any upper floors side windows to be frosted and openable only above 1.7m from finished floor level.

Rooflight to front plane not to protrude more than 150mm

Volume calculations:

Hip-to-gable = 12.28m² x 3.9m / 3 = 15.96m³

Dormer = 4.24m² x 5.6m = 23.75m³

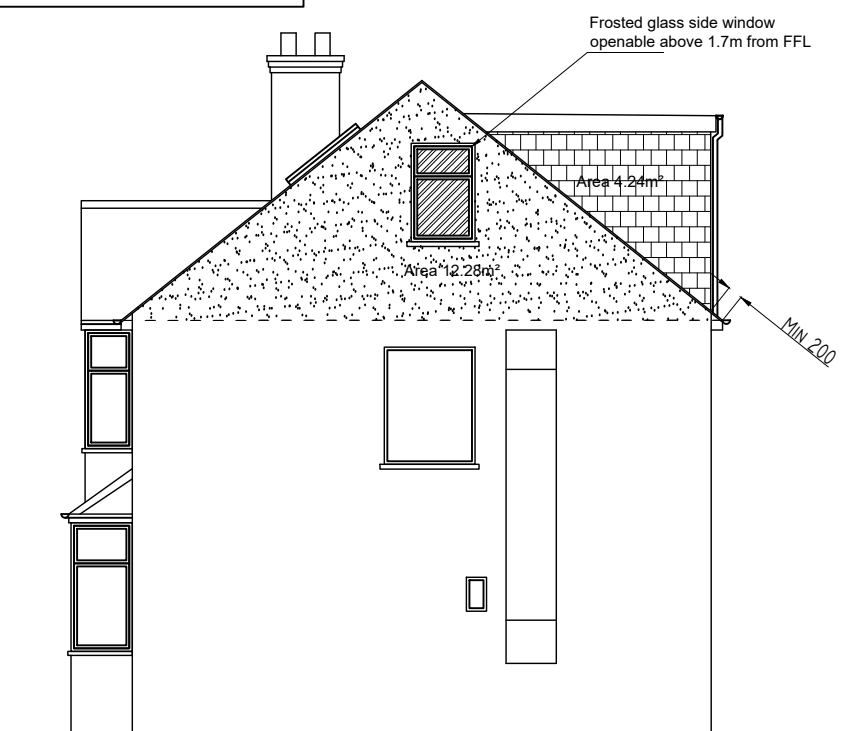
Total 39.71m³ < 40m³ GDO PD allowance.



PROPOSED FRONT ELEVATION
Scale 1:100



PROPOSED REAR ELEVATION
Scale 1:100



PROPOSED SOUTH SIDE ELEVATION
Scale 1:100



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LOFT CONVERSION

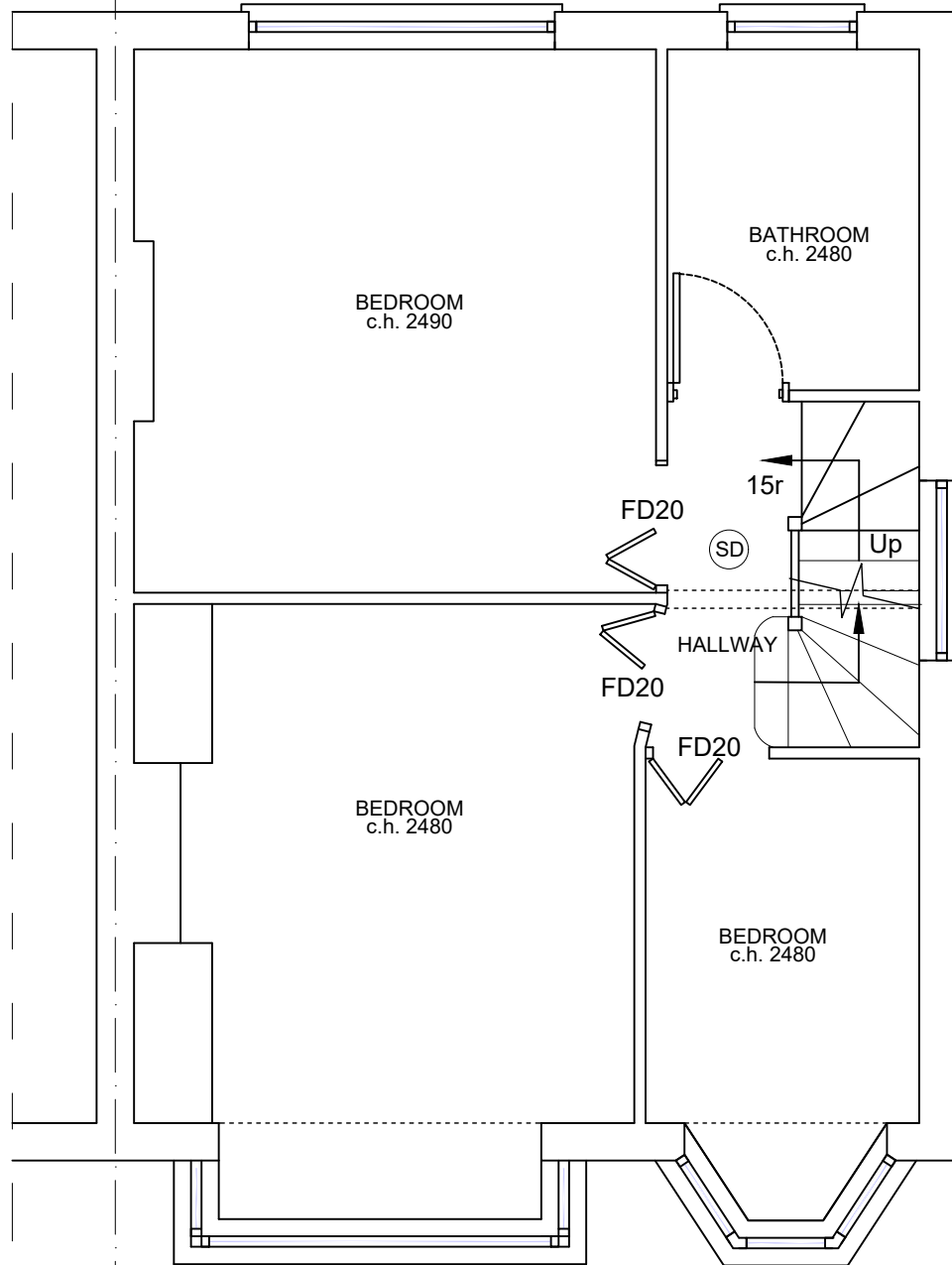
Project
39 Ardrossan Gdns, Worcester Park KT4 7AU

Client
Mrs Saima Khan

Title
Existing and proposed elevations

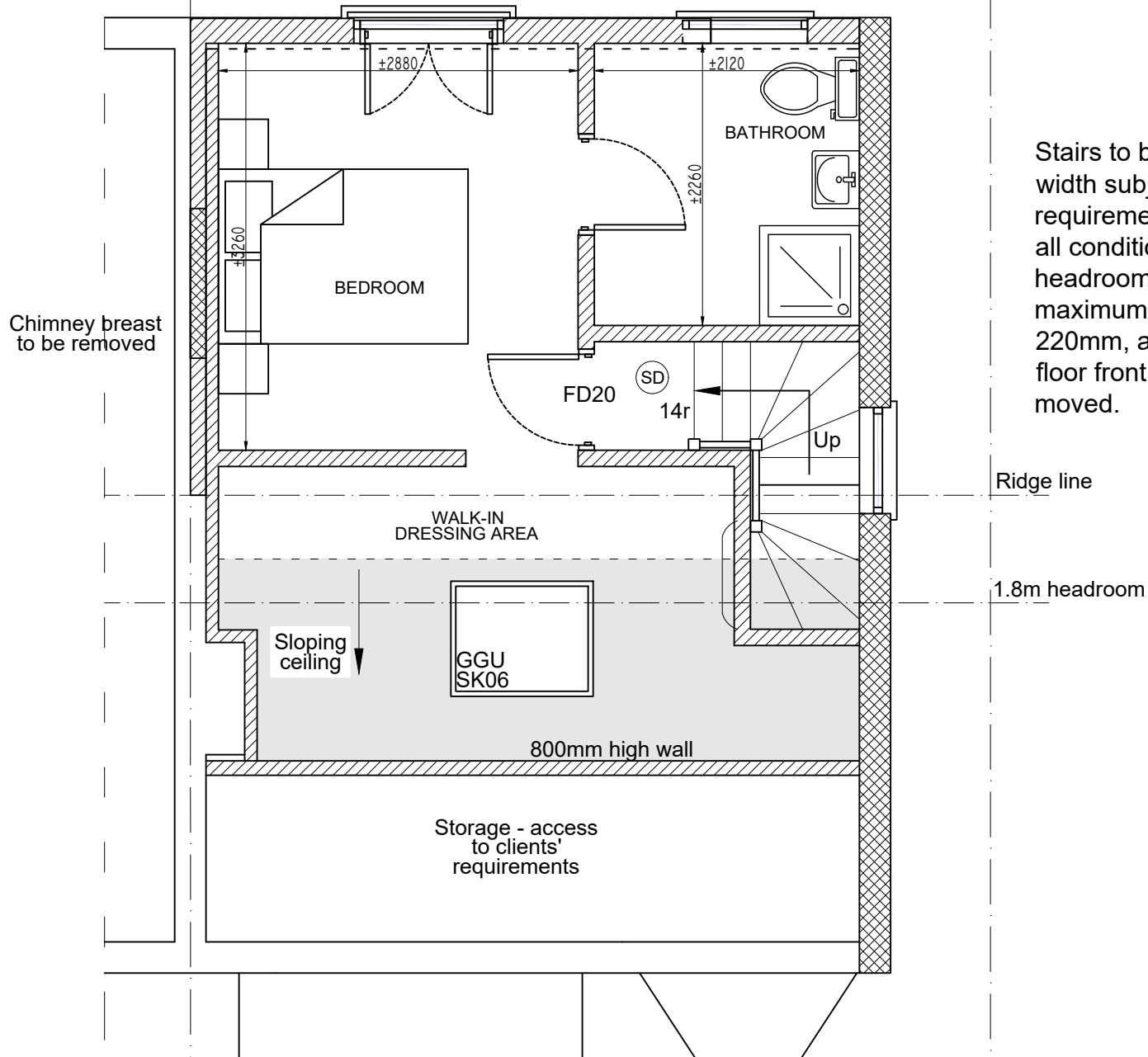
Date March 2022	Scale 1:100	Drawn A.P.
Job No. TS2022/08	Dwg No. 02	Checked TS Ltd

PROPOSED FIRST FLOOR PLAN
Scale 1:50



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LOFT CONVERSION		
<p>Project 39 Ardrossan Gdns, Worcester Park KT4 7AU</p>		
<p>Client Mrs Saima Khan</p>		
<p>Title Proposed first floor plan</p>		
<p>Date March 2022</p>	<p>Scale 1:50</p>	<p>Drawn A.P.</p>
<p>Job No. TS2022/08</p>	<p>Dwg No. 03</p>	<p>Checked TS Ltd</p>

PROPOSED SECOND FLOOR PLAN
Scale 1:50



Stairs to be fitted in current staircase width subject to Building Control requirements. If not enough space for all conditions to be satisfied (min 2.0m headroom between both staircases, maximum rising 220mm, minimum going 220mm, angle < 42 degrees), the first floor front bedroom wall may need to be moved.

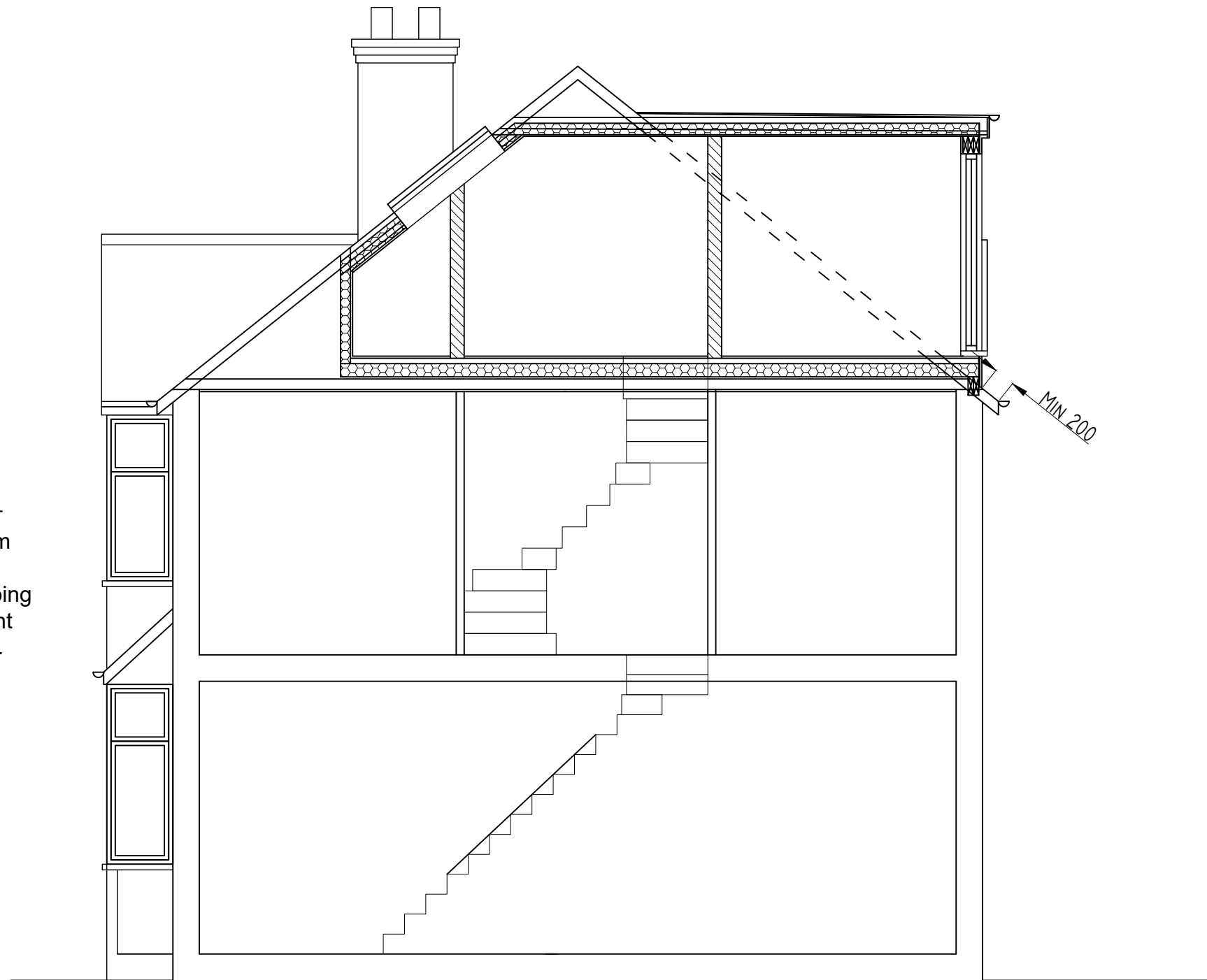
Ridge line

1.8m headroom

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The contractor shall issue all statutory notices to the local Authority during progress & completion of works.		
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LOFT CONVERSION		
Project 39 Ardrossan Gdns, Worcester Park KT4 7AU		
Client Mrs Saima Khan		
Title Proposed roof plan		
Date March 2022	Scale 1:50	Drawn A.P.
Job No. TS2022/08	Dwg No. 05	Checked TS Ltd



Stairs to be fitted in current staircase width subject to Building Control requirements. If not enough space for all conditions to be satisfied (min 2.0m headroom between both staircases, maximum rising 220mm, minimum going 220mm, angle < 42 degrees), the front bedroom wall may need to be moved.



PROPOSED SECTION
Scale 1:50



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LOFT CONVERSION

Project
39 Ardrossan Gdns, Worcester Park KT4 7AU

Client
Mrs Saima Khan

Title
Proposed section

Date March 2022	Scale 1:50	Drawn A.P.
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Job No. TS2022/08	Dwg No. 05	Checked TS Ltd
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