



Scale in metres

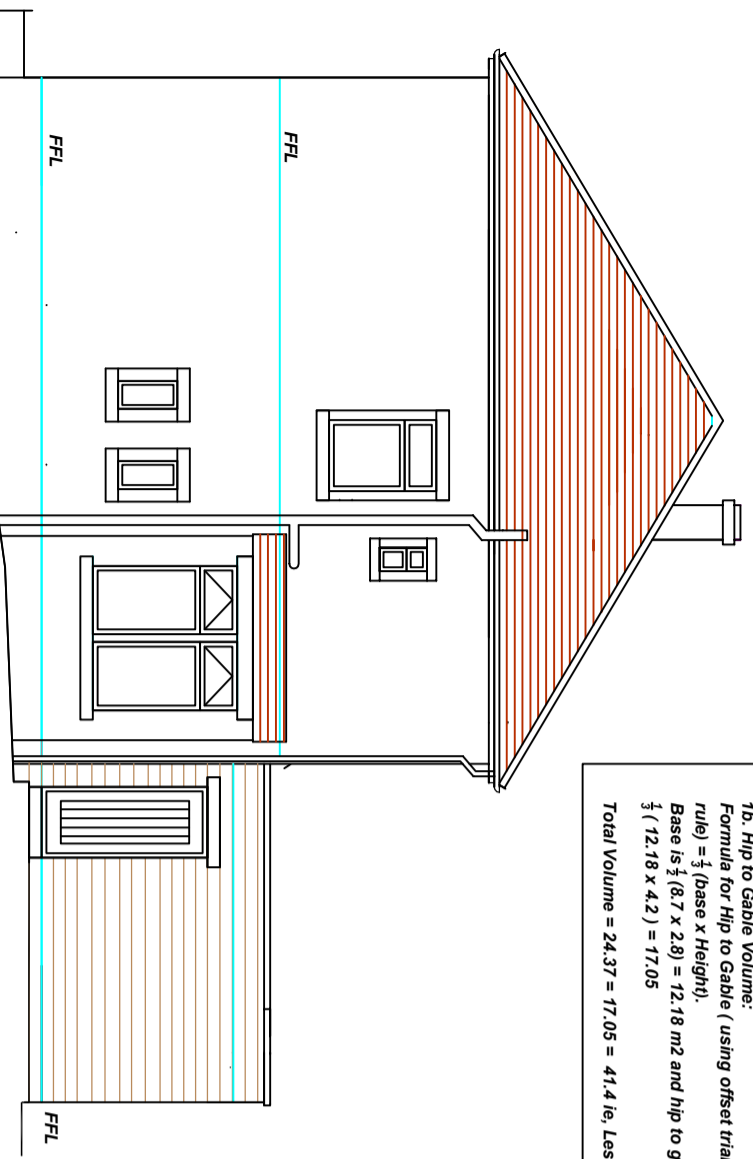
Planning Permitted Development Checks:

1. A volume allowance for less than 50 cubic metres of roof space for a Semi Detached House.

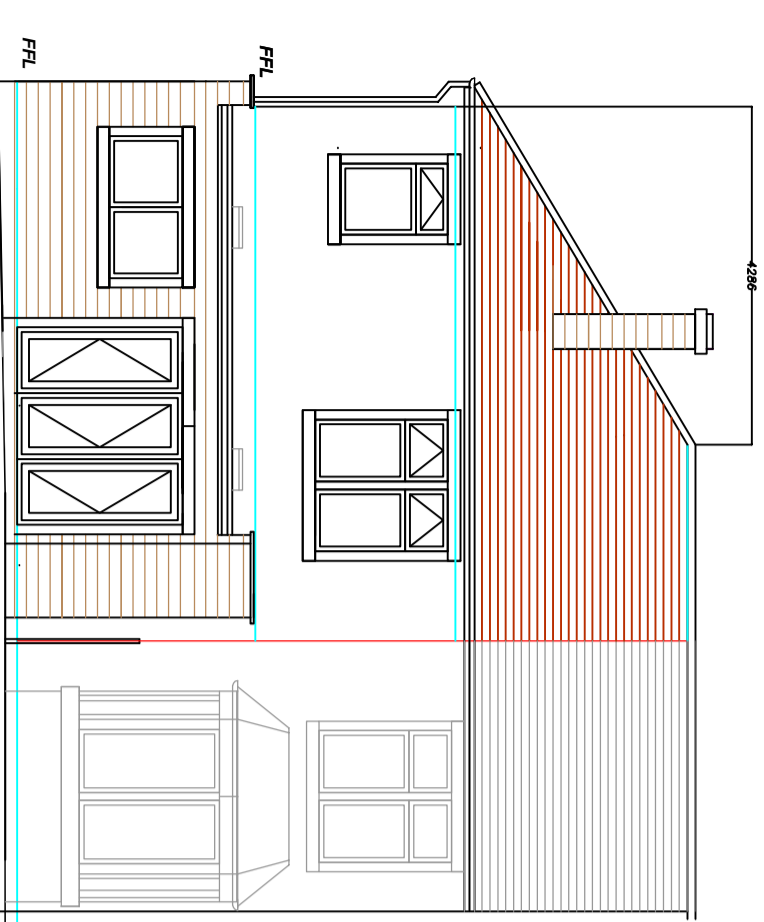
1a. Rear Dormer volume (M) $2.4 \times 5.49 \times 3.7 \times 0.5 = 24.37m^3$

1b. Hip to Gable Volume:
 Formula for Hip to Gable (using offset triangular pyramid rule) $= \frac{1}{3} (\text{base} \times \text{Height})$
 Base is $\frac{1}{2} (2.7 \times 2.8) = 12.18 \text{ m}^2$ and hip to gable is therefore:
 $\frac{1}{3} (12.18 \times 4.2) = 17.05$

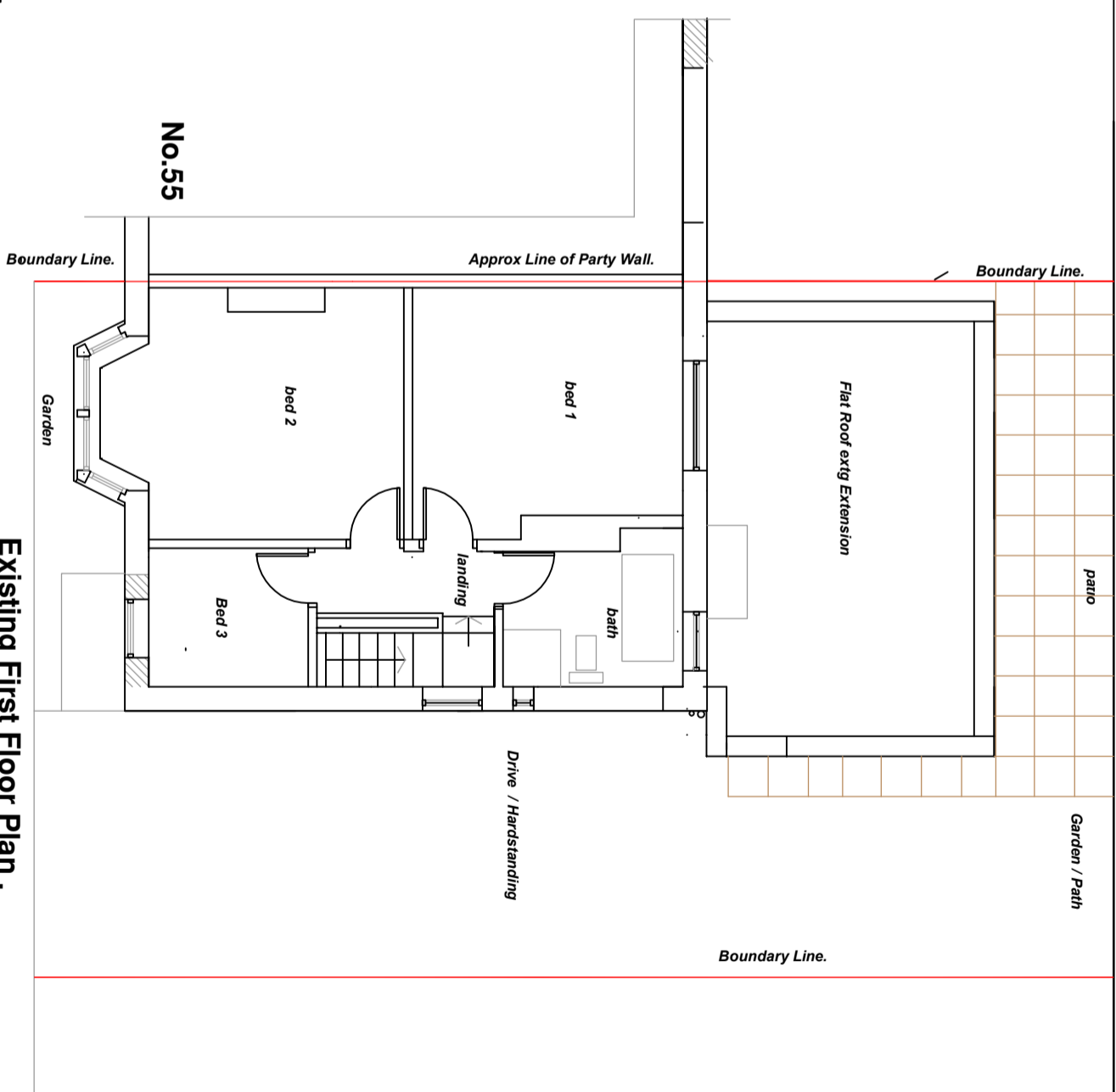
Total Volume = $24.37 + 17.05 = 41.4$ ie. Less than 50m³



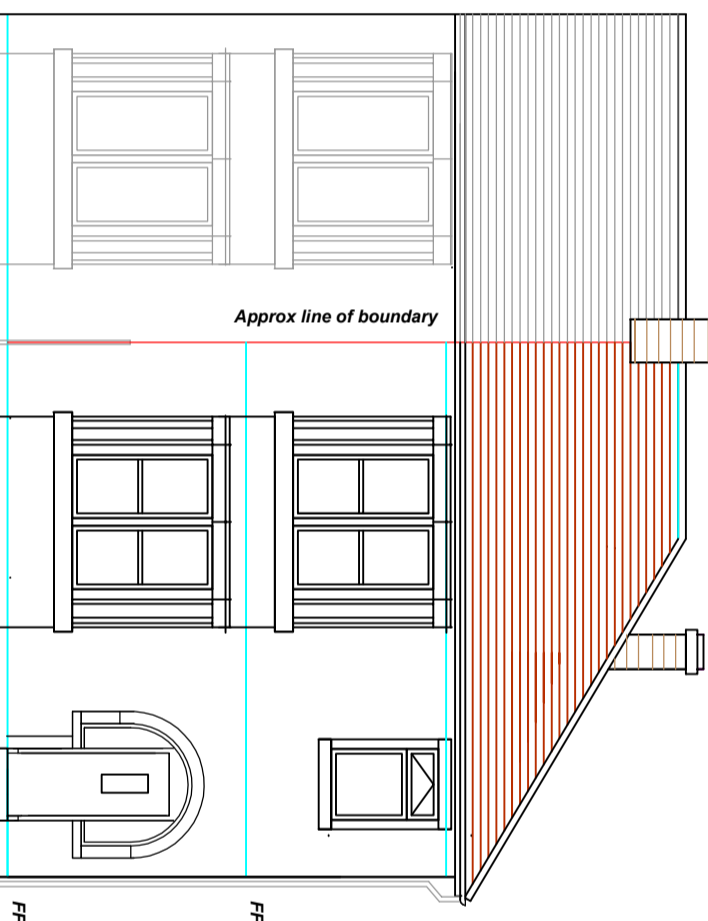
Existing Elevation to West .



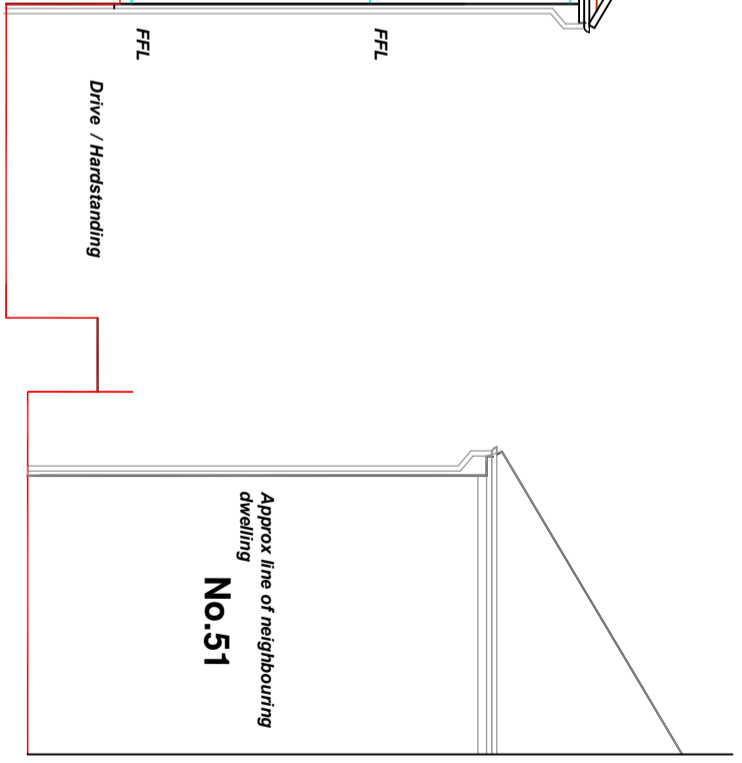
Existing Elevation to South .



Existing First Floor Plan .



Existing Elevation to North .



Approx line of neighbouring dwelling No. 51

Notes:

Do not scale this drawing all measurement to be taken on site and recorded prior to any construction taking place.
 This Drawing is for Planning Application Purposes only. Materials existing and proposed as Application Documents.

existing construction materials:

- Roof : Rosemary Tiles
- Walls: generally coursed stone .
- Windows/Doors : Combination of self colour pvcu / proprietary system with double glazed infill panels./ composite/ Timber
- Fascias and drainage goods generally Blau
- Harstanding: pavings etc As existing.

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**53 Booth Rd.
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 Proposed Adaptations
 to Roof.
 Loft Conversion**

Drawing Plan and Elevations As Existing First Floor	
Jan 2022	Scale 1:100
Drawn by	Rev
Drawing no MB2 / PI Ex 01	