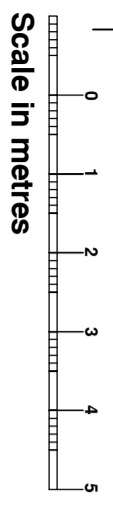


Proposed Elevation to West .

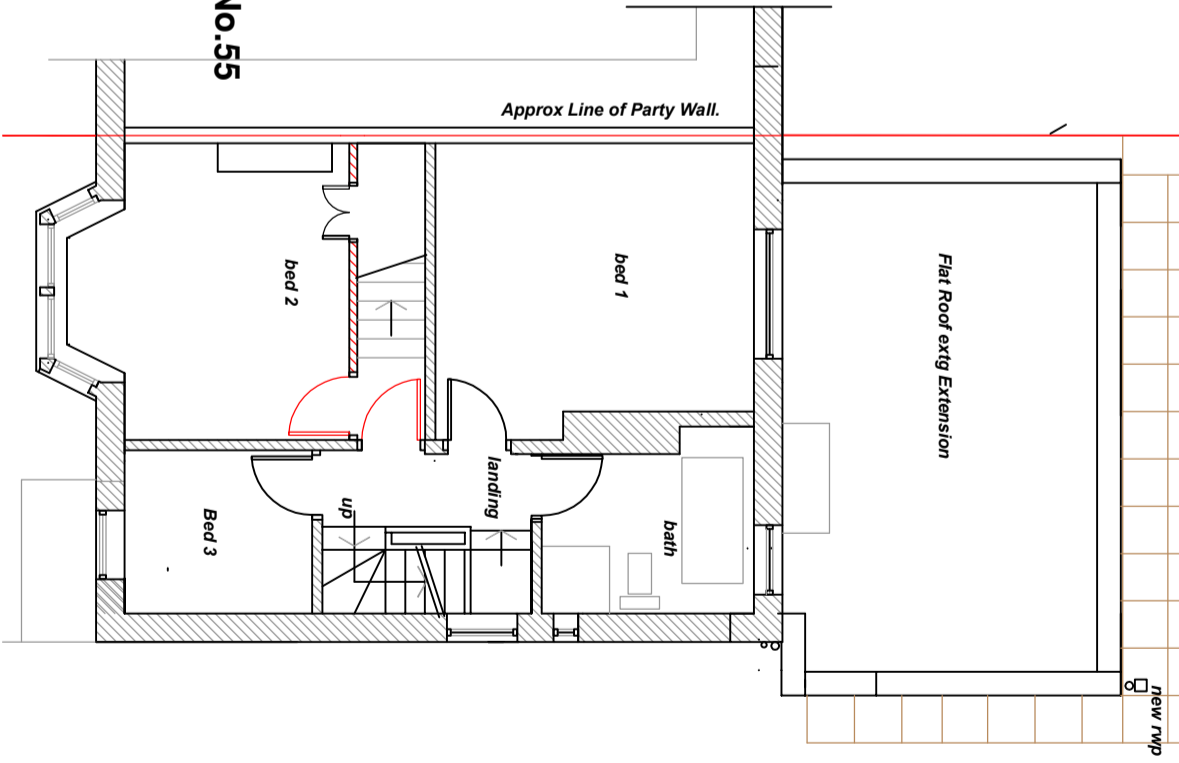
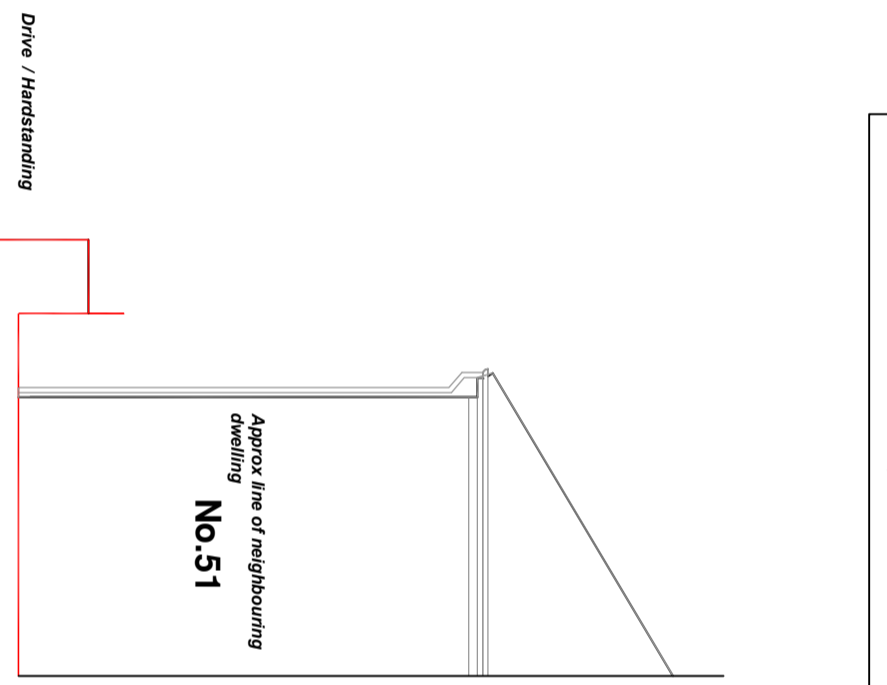


Proposed Elevation to South .

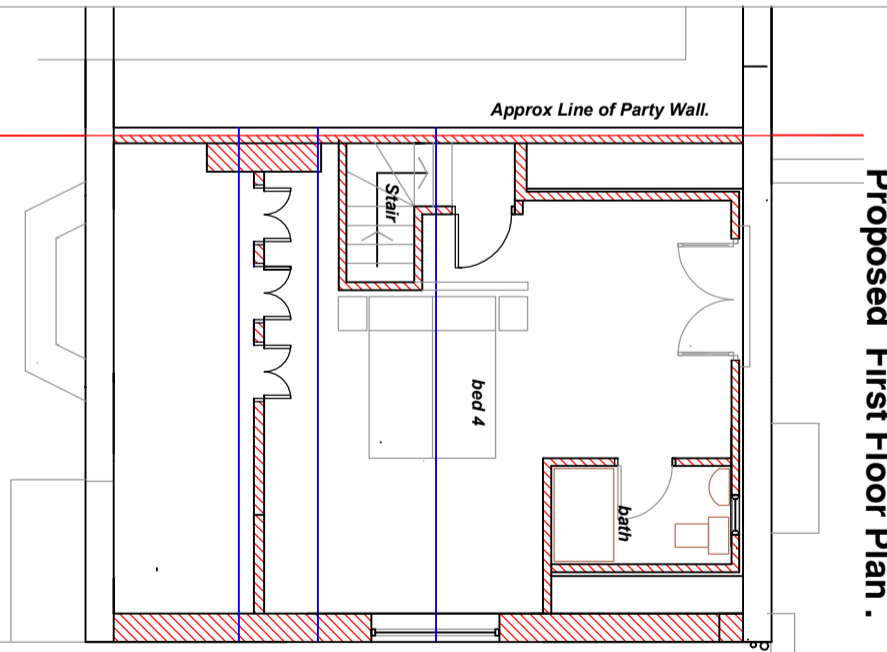
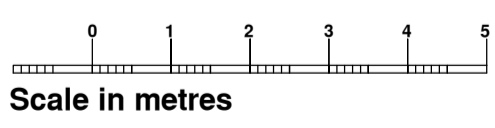
Planning Permitted Development Checks:
 1. A volume allowance for less than 50 cubic metres of roof space for a Semi Detached House.
 1a. Rear Dormer volume (M) $2.4 \times 5.49 \times 3.7$ (x 0.5) = 24.37m³
 1b. Hip to Gable Volume: Formula for Hip to Gable (using offset triangular pyramid rule) = $\frac{1}{3}$ (base x Height).
 Base is $\frac{1}{2}$ (8.7 x 2.8) = 12.18 m² and hip to gable is therefore: $\frac{1}{3}$ (12.18 x 4.2) = 17.05
 Total Volume = 24.37 + 17.05 = 41.42. Less than 50m³



No.55 Proposed Elevation to North .



Proposed First Floor Plan .



Proposed Loft Floor Plan 2 .

Notes:

Do not scale this drawing all measurement to be taken on site and recorded prior to any construction taking place.
 This Drawing is for Planning Application Purposes only. Materials existing and Proposed as Application Documents.

Proposed construction materials:

Extended Roof: Rosemary tiles to match existing.

Roof to dormer: Proprietary rubberised flat roof system Firestone edpm or equal self colour grey/roof to be dressed up to parapet and existing walls with lead flashings and dressed over fascia with specialist flashings to manufacturers specification. Walls to be proprietary cladding colour / tiles to match extg.

Masonry Walls: New wall section (to be to ridge level) in cavity masonry to be faced with reclaimed coursed stone from to match existing.

Windows/Doors : self colour pvcu / aluminium proprietary system with double glazed infill panels.

Fascias and drainage goods to be Black plastics.

NOTE:
 No part of the addition is to extend beyond the height of the main ridge line. The New Dormer is to be set back a minimum of 200 from the existing Eaves.

For example : *580#Represents Approx Dims for planning application purposes on

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53 Booth Rd.
Waterfoot ,
Rossendale BB4 9BP.
Proposed Adaptations
to Roof .
Loft Conversion

Drawing
Plan and Elevations
Proposed 1st Floor
Application for CLD

Jan 2022
 Scale **1:100**
 Drawn by

Drawing no
MB2 / Pl Pr 01
 Rev