

DESIGN & ACCESS STATEMENT



PROPERTY:
12-14, Links Road
Blackpool
Lancs FY1 2SE

SURVEY DESIGN (HARROW) LTD.

Architectural Services

93, ELM DRIVE

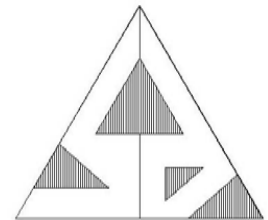
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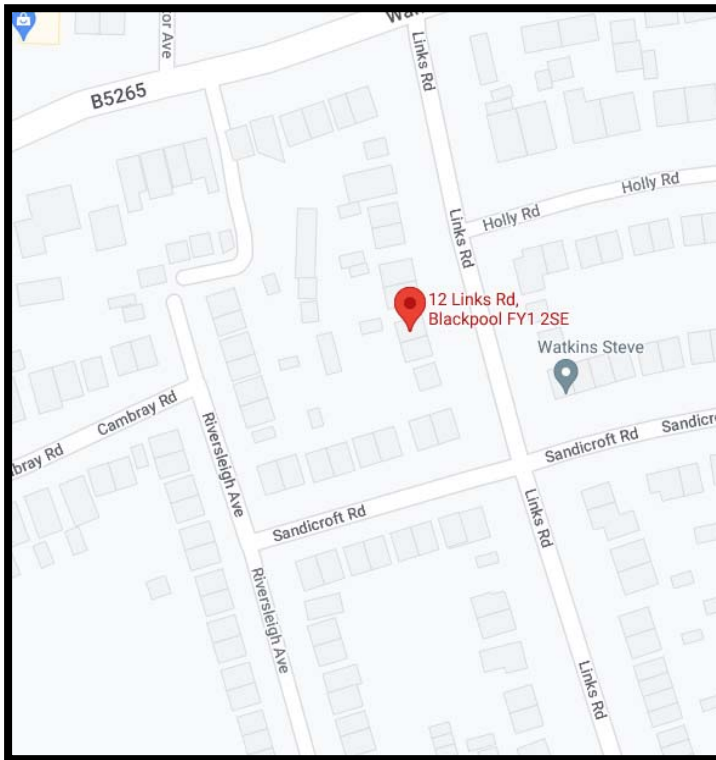
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Conversion and alteration to form a pair of semi-detached property in to one single detached dwelling house.

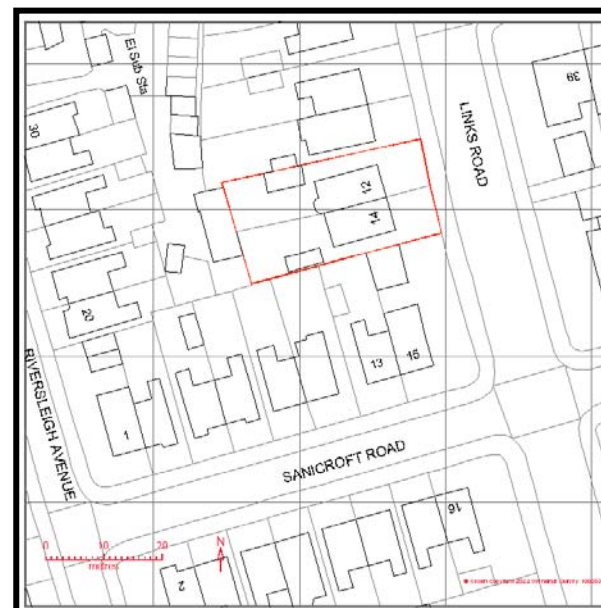
The application site known as 12-14 Links Road and they does not fall within any conservation area however the site falls within the landfill gas consultation area.

The street and the surrounding area is predominantly residential and comprises primarily of two-storey terraced dwellings of a similar to the subject property with vary in appearance due to variations in external finishes (i.e. paint, render and brickwork). The site is not the location of a statutory or locally listed building or within any conservation area.



These images were taken from Google Maps

The street scene is predominantly residential and characterised by similar two storey 1930's semi detached, detached houses. The subject properties are on the western side of Links Road and both properties benefit with side access. These properties also benefit large rear garden and also well set away from the street which provide a decent front parking / garden.



THE PROPOSAL:

The proposal is for front façade alterations, rear single storey and part double storey extension, loft conversion and conversion of the pair of semi-detached houses in to a single detached family dwelling house. The proposal also seek permission to alter the existing two separate entrances in to one centralize main entrance and make the properties in to double bay fronted detached property.

The Brief / amenity / overbearing /setting:

The form of the proposal originated from the need for the applicants to create a larger well laid out detached property.



(Image taken from Google Maps)

The above are from Warbreak Hill Road, Gable ended semi- detached property with double bay and central entrance. The central entrance is set forward to the bay and it is with double storey high.



151 Warbreak Hill Road (Image taken from Google Maps) is a similar design to the current application as double bay fronted with gable detached house. The only difference in the design is that 151 Warbreak Hill benefit with front projected double storey centralize entrance to the application entrance is within the existing building line.

These are few of the examples within the vicinity to match the design of the subject application. These demonstrate the current application design will match and area and keep to the character of the street scene and the area.



FRONT ELEVATION AS EXISTING



FRONT ELEVATION AS PROPOSED

The proposal is for one single centralize main entrance the bay moved towards the side to give proportion and symmetric element to the property.

Properties at current stage benefits with permitted development which would allow their hipped roof to be converted in to a gabled roof. Further insertion of velux roof lights is also permitted under lawfulness therefore the addition of roof lights would form part of the application in order to utilize the loft space into a habitable space.

Hence the proposal is to keep to GPDO policies and made the hipped roofs to gabled roof and included roof lights. As per above and many more examples of this proposed design is in the vicinity and in the surrounding areas.

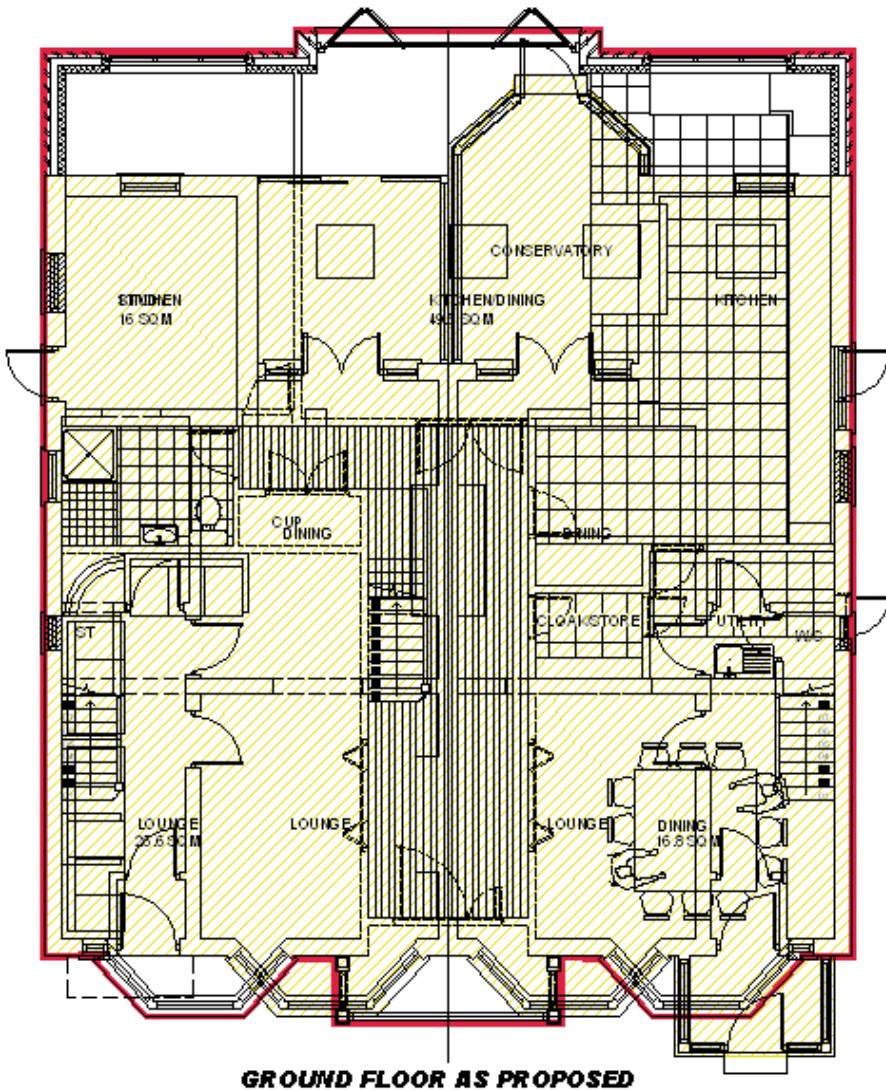
Front façade is kept the design of render and brick Quoins as per existing and the windows are matched to the existing design. The bays are kept matched to the existing size and design for continued outlook.

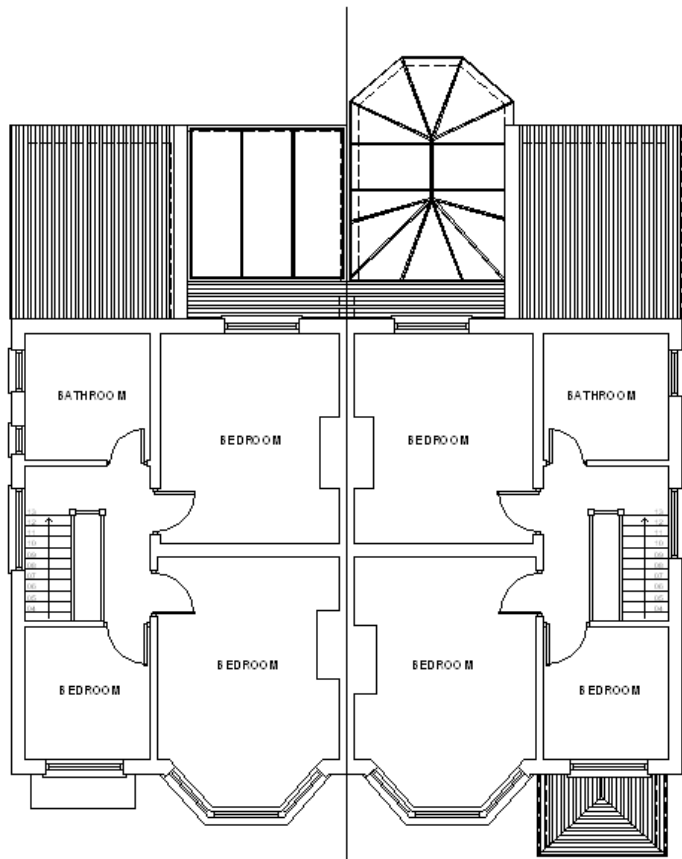
The image on the side is showing the existing property in colour yellow and showing the proposal with the red outline for easy reference.

The proposal towards to front: Taking in to SPD note 8, making sure the changes are modestly sized and proportioned to the main building. The image on the left confirms that the front changes do not exceed the existing building line the repositioning of the bay to provide well-proportioned and centralized main entrance. The design has been proposed to achieve a double bay / double fronted property. Due to the proposal is keeping to the existing building line there is no question of intrusiveness to the street scene. Further design will not affect any amenities for the subject property or the neighbouring properties and matches with properties within the vicinity and keeping to the character of the area.

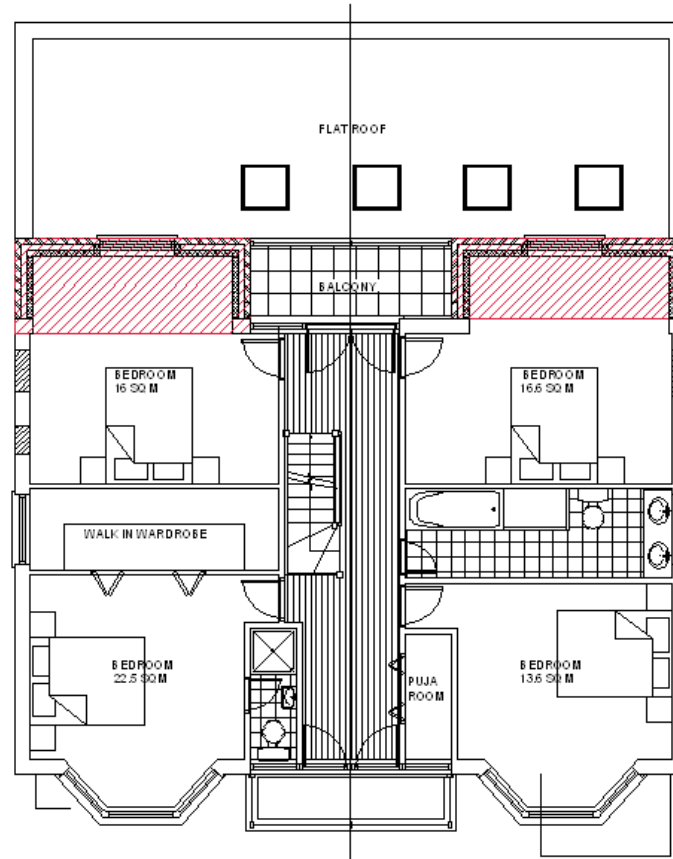
Proposal towards the rear: The existing properties has been benefited with conservatories however the proposal is for single storey and only extending further by 1800mm from the original rear addition and the infill extension is only proposed to extend up to 4800mm which is well within 6M allowed under larger home extension of GPDO. Proposal also keep ample distance from the neighbouring properties hence maintaining with the policy SPD 4 (ii). Therefore the proposal complies with planning policy.

Proposal Part Rear Two storey Extension: It is also proposed two storey part rear extension with pitched roof which complies with SPD note 5. Due to the position of the property within the site, the proposed double storey rear extension will not cause any outlook, overshadowing or overlooking. Due to the size of the projection of this double storey there is not overbearing or oppressive impact.



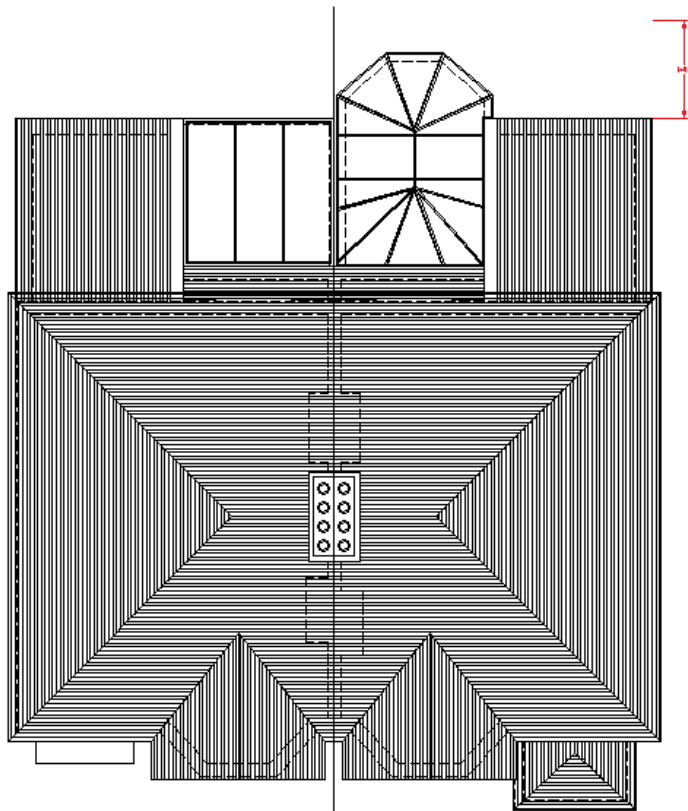


FIRST FLOOR AS EXISTING

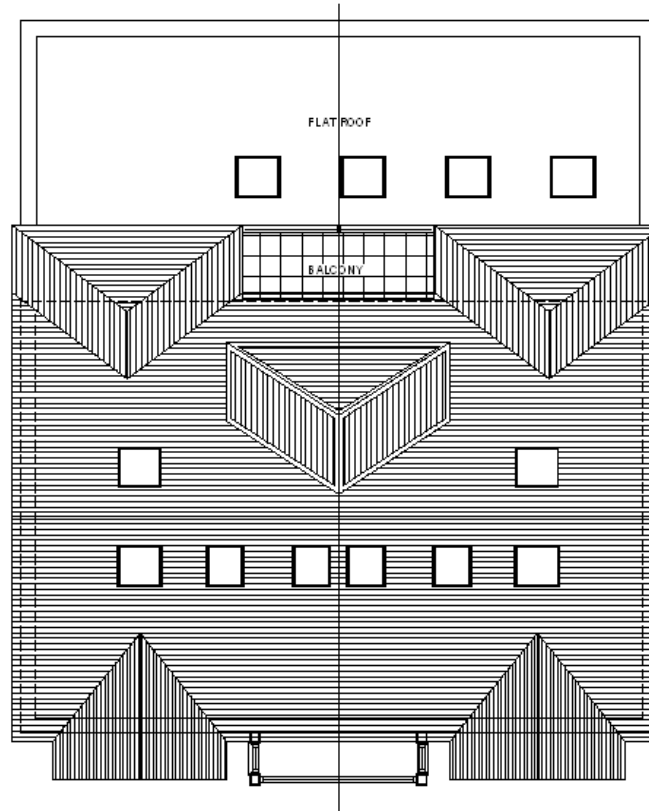


FIRST FLOOR AS PROPOSED

The coloured area shows the extend of the two storey extension. As stated above due to the position of the property within the site this proposal will not harm any neighbouring properties.



ROOF PLAN AS EXISTING



ROOF PLAN AS PROPOSED

Loft conversion: GPDO allows the hipped roof to be converted in to gable under lawfulness and to covert the loft in to habitable space to the maximum of 50cu.m. However the proposed design has been as per to SPD design note 6 and making sure the dormer to be set in and set below the ridge and does not occupy greater than 35% of the roof hence, the proposal complies with the fenestration policy.

The first floor balcony is within the side double storey extension hence will not cause any overlooking or overbearing.

Therefore the entire design complies with SPD design note 2,4,5 &6 and to the GPDO.

Taking into account all the councils policies and lawfulness policies the proposed development has been design. The proposal design is obviously comparable locations in character, period style, density and size of dwellings. The design also keeps in character with its neighbourhood in roofscape, scale and materials.

Design / Materials/ Massing/ Composition:

By alteration to front façade, extending the rear and converting the loft along with internal changes to the existing pair of semi-detached properties in to one single dwelling house is creating an opportunity to improve, upgrade and make more efficient use of the whole property. Further the current form of semi-detached properties are 3 bed room each and the proposal would have a 6 bed rooms house hence the density ratio to the site is kept to the same. The proposal with its matching features of existing style, proportions and materials fully confirms to the predominant style and character of the street

Privacy/ history/ Amenities/ Policy:

This scheme does not disturb the privacy of the immediate resident neighbours in any concern. It respects and responds positively to all the policies of council and enhances its potential use as residential dwellings.

The Architectural response:

Our intension is to alter and extend the dwelling that looks like it belongs to the originally built property and to match with properties within the vicinity. The single dwelling house will respect the architectural style of the existing semi-detached property and maintains the street scene. The construction, external render finish to wall, windows, roof and materials will match existing originals.

Design appraisal:

This development will surely create a good layout, comfortable living and use of the property, but more than that it is creating good habitable and well-spaced accommodation and helping in better living standards for the occupiers. The loft conversion and single storey rear extensions can be built under permitted development in current stage hence conversion combine with alterations to front façade and the part rear two storey extension will comply and fit well within the SPD of council planning policies. The design will surely enhance the character, comfort, use and value of the property internally and externally. It is also helping the client to upgrade the property by better insulation, double-glazing, energy efficient lighting and central heating to required building regulations standards. This will reduce the use of energy, carbon emission and heat loses, which in turn makes the property more sustainable.

Privacy

This site currently has a large garden and an already built ground floor conservatories. So, the proposal is actually improving the layout and the use of habitable spaces. The design has also been deliberately design to avoid any nuisance to neighbours by ensuring the required privacy. The development avoids any proximity with neighbouring property in terms of overlooking or over shadowing towards neighbour's property.

Exterior

The exterior material has been designed to match the existing property. Due to the design well set in to the site there is no question of bulkiness or any over development on site, however these alterations are actually enhancing and repairing the established pattern of development of the street scene and character of the area.

Parking

There is no change in the parking arrangements.

Conclusion

The proposal is design to comply with both the intent and specifications of the SPD and other standards of council. The proposal will be a definition for better standard housing in this area which Council encourages. This site would not result in an unacceptable increased activity as the density to the site is kept to the same. The design made sure to be modestly sized and proportioned to the main building and of a high quality. Design is also proposed to have better insulations, double glazing, energy saving lighting etc in order to provide energy efficient home.