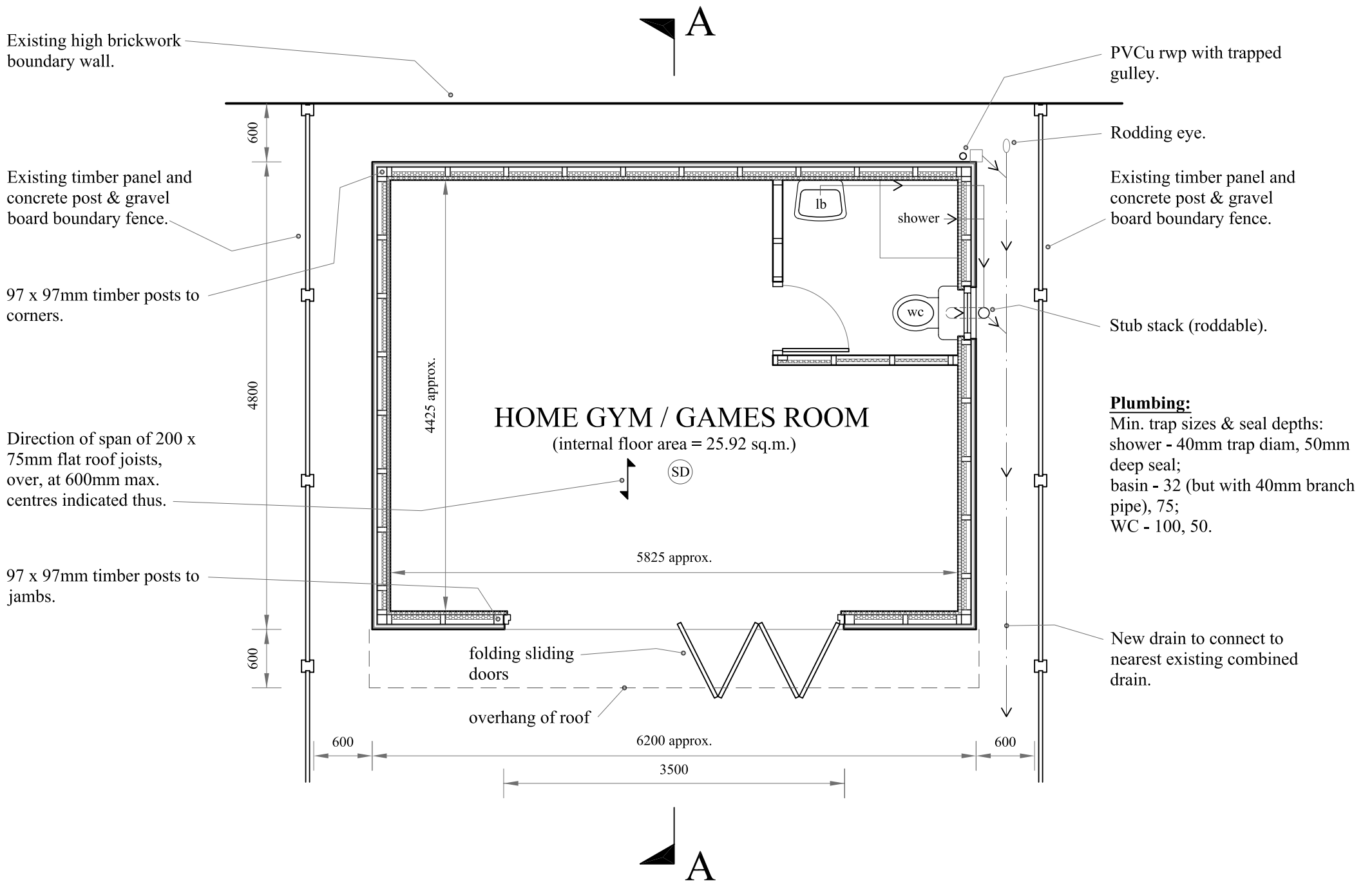


Planning Permission:

Required, as the building is within 2 metres of a boundary and will be higher than 2.5 metres.

Building Regulations Approval:

Only required if the building is used for sleeping accommodation.



External wall construction:

3mm skim coated 32.5mm Kingspan Kooltherm K118 Insulated Plasterboard internally, on 97 x 47mm structural timber frame - timber studs at 600mm max. centres, with 50mm Kingspan Kooltherm K12 Framing Board between studs; 9mm OSB; Kingspan nilvent breathable membrane; timber battens; 10mm non-combustible calcium silicate board; 10mm polymer render. Achieves a 'U' value of 0.26 W/m²K.

Partition to shower room:

12.5mm plasterboard & skim both sides of 75 x 50mm timber studs at 600mm max. centres. To be sound insulated with 25mm minimum thickness Earthwool Acoustic Roll (10 kg/m³) between studs. Or use similar absorbent layer of unfaced mineral wool batts or quilt of min. density of 10 kg/m³. To attain the 40Rw dB sound insulation standard.

Ventilation:

HOME GYM/GAMES ROOM
Openable area of folding sliding doors exceeds 1/20th of the floor area of the room.
5000 sq.mm equivalent area trickle vent within frame head for background ventilation purposes;
SHOWER ROOM
Extract fan capable of min. intermittent extraction of 15 litres/sec, with min. high rate for continuous extraction of 8 l/s. Window to be fitted with 2500 sq.mm equivalent area trickle vent within frame head for background ventilation purposes.

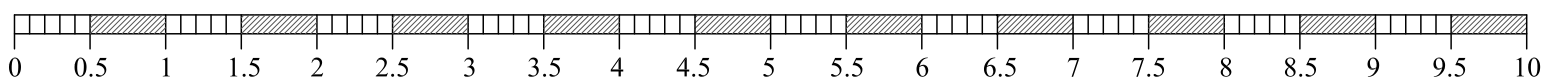
Heating & hot water systems:

Electric. Or alternative to owner's requirements.
Heaters to have thermostatic valves.
To be in accordance with the Domestic Heating Compliance Guide.
New hot water storage & supply systems to be designed & installed in accordance with BS 6700: 2006 or BS EN 12897: 2006. Workmanship in accordance with BS 8000-15: 1990.

Smoke Detectors:

Self-contained smoke detector (SD) to be installed.
Full guidance within BS 5839-6: 2004.
To be mains operated with standby power supply such as a battery.

PROPOSED PLAN



SCALE (metres)

PAPER SIZE: A3

© PHIL WALSH ARCHITECTURAL SERVICES 2022.
THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE).

Project:	PROPOSED DETACHED OUTBUILDING		
Address:	10 KIRKSTALL AVENUE, BLACKPOOL		
Client:	MR. J. PEARSON		
SCALE:	1:50	DRWG NO.	22-1244-1
		DATE:	MAR. '22
PHIL WALSH		<i>Architectural Services</i>	
1 Regent Park, Fulwood, Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. 07974 553991	