



**DESIGN and ACCESS STATEMENT**

**HERITAGE STATEMENT**

**And**

**FLOOD RISK ASSESSMENT**

1 Shepherds Hill Cottages  
Selling  
Faversham  
Kent  
ME13 9RS



## INTRODUCTION

This statement sets out the proposed single-storey rear extension internal alterations at 1 Shepherds Hill Cottages, Selling, Faversham, Kent ME13 9RS

The subject property is a brick built semi-detached dwelling located on the western side of Shepherds Hill in a predominantly rural location. The host dwelling benefits from a double-storey side extension, approved under application ref: SW/08/0529

The neighbouring dwelling being a handed version of the host dwelling is of a similar design; size and scale and benefits from a single-storey pitched roof extension, similar in size and design to that being proposed.

The proposed extension will replace an existing flat-roofed LA grant-funded extension providing bathroom facilities to the property. The extension should not affect either of the neighbouring properties as it is within the boundary site of the property

The property sits on a medium/large sized plot of land with vehicular access and designated parking area to the side elevation. The subject property is arranged over ground and first floor levels and is subject to all standard statutory amenities.

This property is not listed but is contained within a Conservation Area.

## LOCATION

### Site Location



*Existing front elevation*



*Existing rear elevation*

## THE PROPOSAL & DESIGN

The design proposal is to create:

- Demolition of existing flat-roof extension
- Creation of a new single-storey pitched roofed rear extension

The existing dwelling is finished in brickwork with a dual-pitched tiled roof. The proposal is for the extension to be finished in face and feature brickwork, matching the main house with windows and doors formed to match existing sizes; pattern and styles of the original property. The proposed extension roof is to be formed of a pitched roof design mirroring that of the main roof structure.

It is considered that the proposal will complement the existing property and be in keeping with and enhance the character and appearance of the property, together with adhering to the Local Plan policies relevant for such a development.

The design considered the proposed structures and whether this would affect the neighbouring properties, both for privacy and shadowing/loss of light. This property is semi-detached and has 1nr immediate neighbouring properties, which, it is believed that due to the location of the extension this property will not suffer adversely due to this development. Further assessment of shadowing and light is further considered within this report



**Existing Rear Elevation**



**Proposed Rear Elevation**

Planning history indicates that there have been several applications for development works to this property.

### Planning Applications (9)

- [EIA Screening opinion for creation of a new access and gate to existing agricultural land to replace existing entrance](#)  
Ref. No: 16/503145/ENVSCR | Status: No Further Action Required
- [Compliance with condition 2 \(samples of materials\) of approved SW/10/1364](#)  
Ref. No: SW/10/1364/CCA | Status: CONDIS
- [Conservation Area Consent for new detached garage to log store.](#)  
Ref. No: SW/10/1365 | Status: NOTPRO
- [New detached garage & log store.](#)  
Ref. No: SW/10/1364 | Status: GRTCPP
- [Fell Eucalyptus tree and reduce Holly tree by 25-30%.](#)  
Ref. No: TC/09/0012 | Status: No Objection
- [Removal of two leylandi \(merged into one\) trees](#)  
Ref. No: TC/02/0056 | Status: No Objection
- [REBUILDING OF REAR EXTENSIONS](#)  
Ref. No: SW/95/0279 | Status: GRTCPP
- [Conservation area consent for 2 storey side extension & alterations.](#)  
Ref. No: SW/08/0530 | Status: NOTPRO
- [2 storey side extension & alterations.](#)  
Ref. No: SW/08/0529 | Status: GRTCPP

**ACCESS**

The proposal does not affect any existing access to the property. Access to the main house is afforded via the Public highway to the front elevation. There is currently off-street parking available to the north of the property.

The nearest railway station is located approx. 1 mile away at Selling station; providing a regular service to both the South and London via a number of connections. There is also a daily local bus service with the nearest bus stop located a short walking distance

**SUSTAINABLE CONSTRUCTION**

Energy conservation is controlled by Building Regulations. We are very keen for the level of insulation within the design to meet and where possible exceed the current Building Regulations. All internal lighting would be energy efficient fittings.

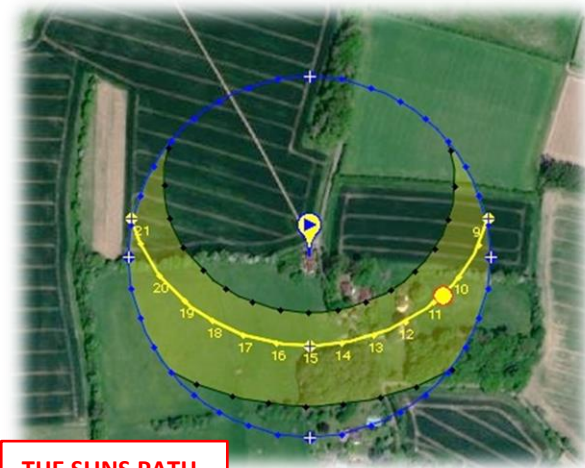
**LANDSCAPING**

The proposed development fall within the existing gardens to the rear, with the main area of development currently occupied by hard-landscaping. The remaining garden is mainly laid to lawn with garden planting. Where disturbed, remodelling works would be completed upon completion of the development. Where possible all remaining/existing hedging and planting will be maintained and managed as required and replaced where necessary.

**VENTILATION/DAYLIGHT**

The designation of the original dwelling is east facing, resulting in the front and rear elevations of the property benefitting from direct sun for periods of the day. The proposed extension will be positioned at the western elevation of the property however due to the designation of the original property the proposed extension should not cause any additional shadowing to the adjoining or local properties.

This image indicates the path of the sun in July 2022, highlighting the arc of natural daylight the original dwelling receives and demonstrating the direction of any shadowing the proposed extension would cast to the adjoining properties, or and above that already experienced.



**THE SUNS PATH**

**SUMMARY**

In summary, it is believed this proposed application offers a modern; well designed and aesthetically pleasing solution to the needs of this family, providing them with the space to continue enjoy the property whilst considering the existing neighbouring properties and current Local Authority Planning policies.

**End of Design & Access Statement**

## HERITAGE STATEMENT

### Statement of Historical Significance

#### 1.0 Introduction

This statement sets out the proposed single storey pitched roof rear extension with concealed flat roof; alterations and modifications at 1 Shepherds Hill Cottages, Selling, Faversham, Kent ME13 9RS to create an enlarged ground floor layout.

The proposals are for the demolition of an existing single-storey flat-pitched rear bathroom extension and formation of new. There is impact expected to the existing rear wall of the main house, however it is expected that any disturbance will be to a minimum and considerably less than that created by the recently formed double-storey side extension.

The subject property is not a Listed Building however is located within the local Conservation Area.

The application property occupies a large sized plot located on the western side of Shepherds Hill with access to local roads and main arterial roads all being a short walk away. It comprises of a double-storey dwelling finished in face brickwork and surmounted by a gable roof arrangement. The property has a single-storey rear extension (c1970's built) and more recent double-storey side extension (approved under application ref: SW/08/0529). The property has off-street parking available with a detached garage positioned to the north.

The property is accessed to the front via a small set of steps leading to the main entrance door. This property sits within a rural location on the outer edge of the Conservation Area.

#### 2.0 Report structure

The report consists of a survey which analyses important areas of historic fabric and setting. This report should be read together with the accompanying Design and Access Statement describing the proposed scheme and processes leading to the inception of the current proposals.

#### 3.0 The existing building & site

The site is situated upon the main Highway with access to the front elevation via a set of steps leading up to the main entrance door. The property forms a part of properties set back from the main highway and with open views of the countryside to the side and rear.

The works to which this application relates are confined to the area of garden to the rear of the host property which is predominantly occupied by the existing out-of-character rear extension and patio area.

#### 4.0 The Proposals

The proposals are detailed in the Design & Access Statement and, as far as having an impact upon the setting of the main buildings amount to;

- The removal of the existing rear extension (fig 1 & 2)
- Creation of a new single-storey structure
- Internal structural alterations through the existing rear wall to create access into the newly created extension

It is proposed that the extension is constructed on a traditional strip foundation (subject to engineering and further exploratory works), which would need excavation works to take place. It is proposed a 'watching brief' be conducted, if deemed appropriate, to address any significant finds should they be found during these stages of the project.

Proposed materials are proposed to mirror those of the host dwelling, with reclaimed facing brickwork and traditional Crittal styled windows/doorsets to match the existing fitted to the recently formed side extension.

The roof finishes are proposed to mirror the existing finishes of the main dwelling; however, this will conceal a flat-green roof behind

The proposed extension will sit within the rear garden and does not have a visual impact upon any heritage assets

The following images show the existing rear extension to be demolished together with internal views of the rear kitchen wall (fig 3)



Fig 1



Fig 2



Fig 3

## **5.0 Heritage significance**

It has been an important element of the brief to ensure that all historical features of the host property were retained and unaffected by the proposed works

## **6.0 Impact of the proposal**

Conceptually, the scheme proposed has been considered in terms of enhancing the original features of the building whilst providing the current owners with additional facilities to further enjoy their living environment

## **7.0 Conclusion**

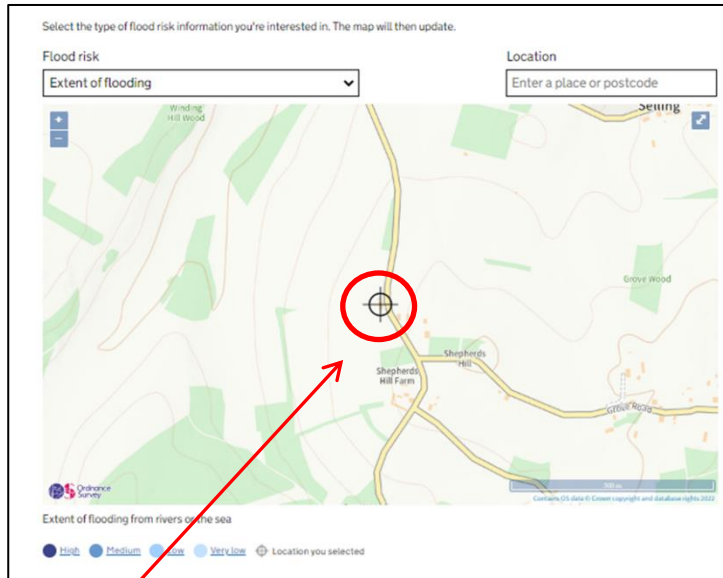
The scheme seeks to enhance the site further so that it can be used and enjoyed in a suitable manner, fitting for the changing needs of the property owners. This will preserve the existing building for future generations by retaining these features.

We feel that this statement justifies the proposal which preserves and enhances the existing historical importance of the site.

**End of Heritage Statement**

## FLOOD RISK ASSESSMENT

This property has been checked against the Environmental Agency Flood Risk Mapping models which confirmed that this property does not fall within any existing Flood Risk area



**THE SITE**

## ENVIRONMENT AGENCY FLOOD RISK MAP

**1 SHEPHERDS HILL COTTAGES, SHEPHERDS HILL, SELLING, FAVERSHAM, ME13 9RS**

**Rivers and the sea**  
Very low risk

[▶ What this information means](#)

The Environment Agency is responsible for managing the flood risk from rivers and the sea.

[View a map of the risk of flooding from rivers and the sea](#)

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**Surface water**  
Very low risk

[▶ What this information means](#)

Surface water flooding, sometimes known as flash flooding:

- happens when heavy rain cannot drain away
- is difficult to predict as it depends on rainfall volume and location
- can happen up hills and away from rivers and other bodies of water
- is more widespread in areas with harder surfaces like concrete

Lead local flood authorities (LLFA) are responsible for managing the flood risk from surface water and may hold more detailed information.

Your LLFA is **Kent council**.

[View a map of the risk of flooding from surface water](#)



SITE IMAGES



Fig 1



Fig 2



Fig 3



Fig 4



Fig 5

IMAGE INDEX

*Fig 1: Front elevation*

*Fig 2: Rear elevation showing neighbouring property & extension*

*Fig 3: Rear elevation showing position in relation to neighbouring property*

*Fig 4: Rear & side elevation showing existing extension*

*Fig 5: Rear elevation and existing extension*