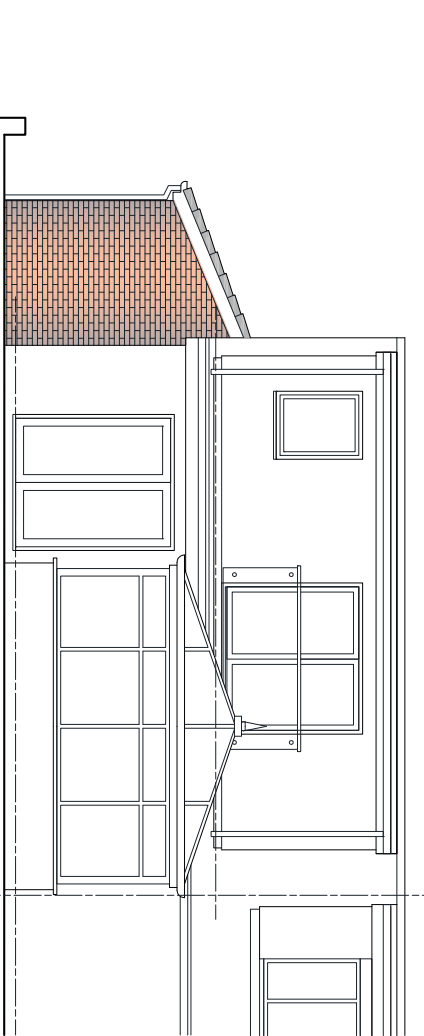
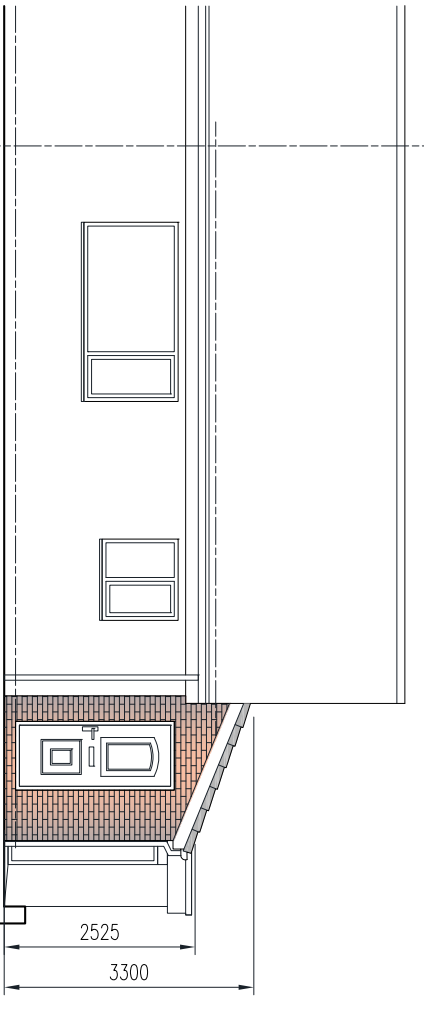


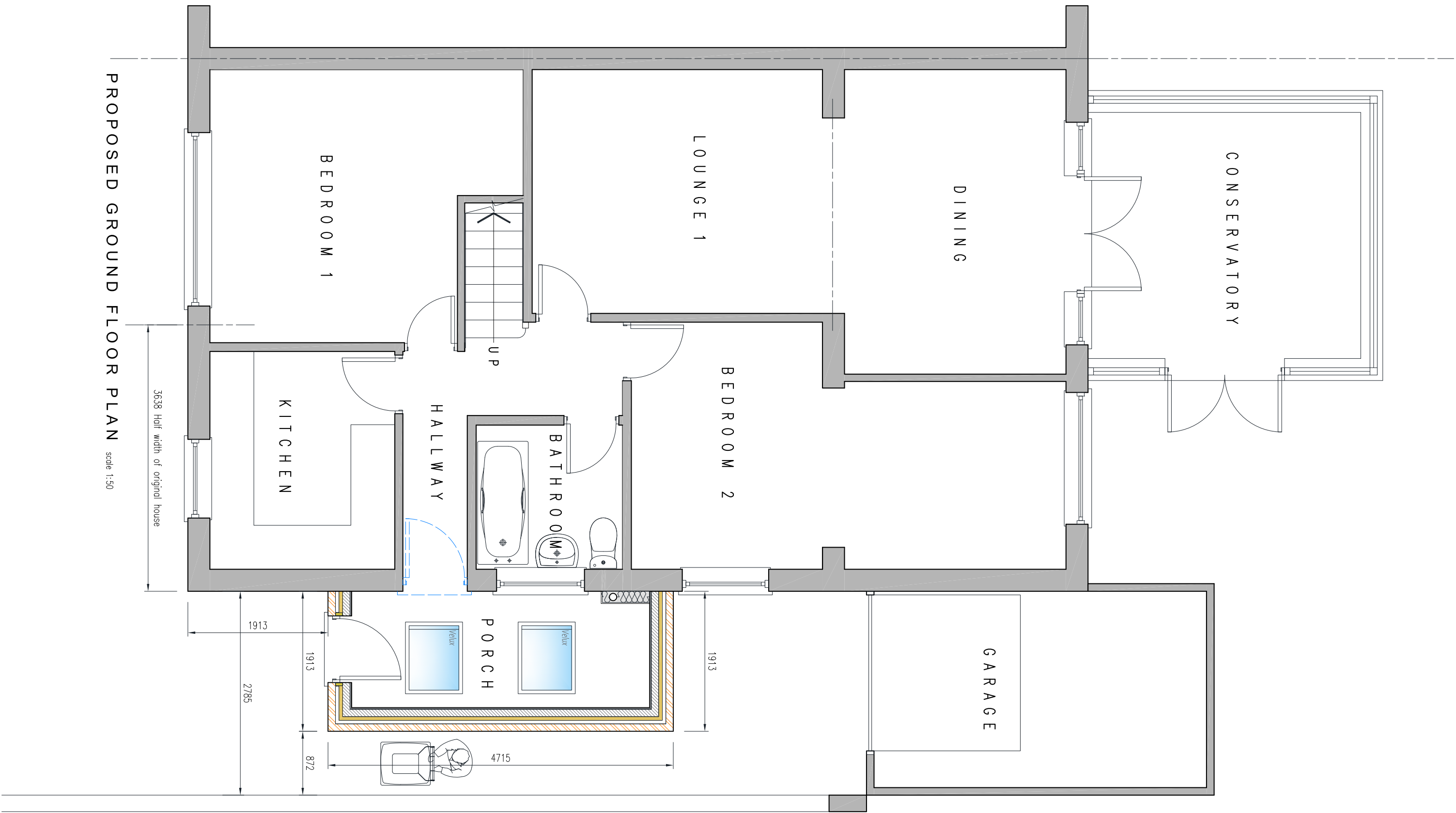
SIDE ELEVATION AS PROPOSED scale 1:100



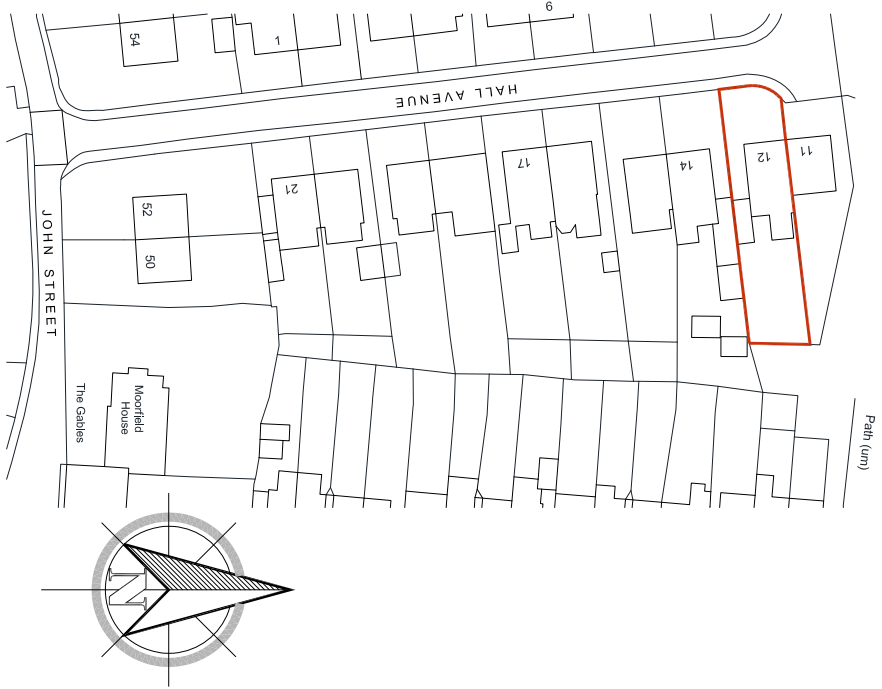
REAR ELEVATION AS PROPOSED scale 1:100



FRONT ELEVATION AS PROPOSED scale 1:100



PROPOSED GROUND FLOOR PLAN scale 1:50



LOCATION PLAN scale 1:1250

Permitted Development compliance:  
Class A – enlargement, improvement or alteration

1. Extensions (including previous extensions) and other buildings must not exceed 50% of the total area of the original house, measured from the original house. The term 'original house' means the house as it was first built or as it stood on 1 July 1948 (if it was built before that date). Although you may not have built the house, if it was built before 1 July 1948, it is treated as if it was built then.

Area of land around original house = 423m<sup>2</sup>  
Extensions & outbuildings = 56m<sup>2</sup>  
Area of land covered = 15%

2. Extensions forward of the principal elevation or side elevation of a house and forming a highway are NOT permitted development.

Proposed Extension does not project forward of the principal elevation.

3. On designated land side extensions are not permitted development.

Proposed Extension is not situated on designated land.

4. Materials used in exterior work to be similar in appearance to those of the existing building.

Proposed Extension will be constructed with materials similar in appearance to the existing.

5. Width of side extension must not have a width greater than half the width of the original house.

Width of Proposed Extension does not exceed half the width of the original house.

6. Side extensions to be single storey with a maximum height of four metres.

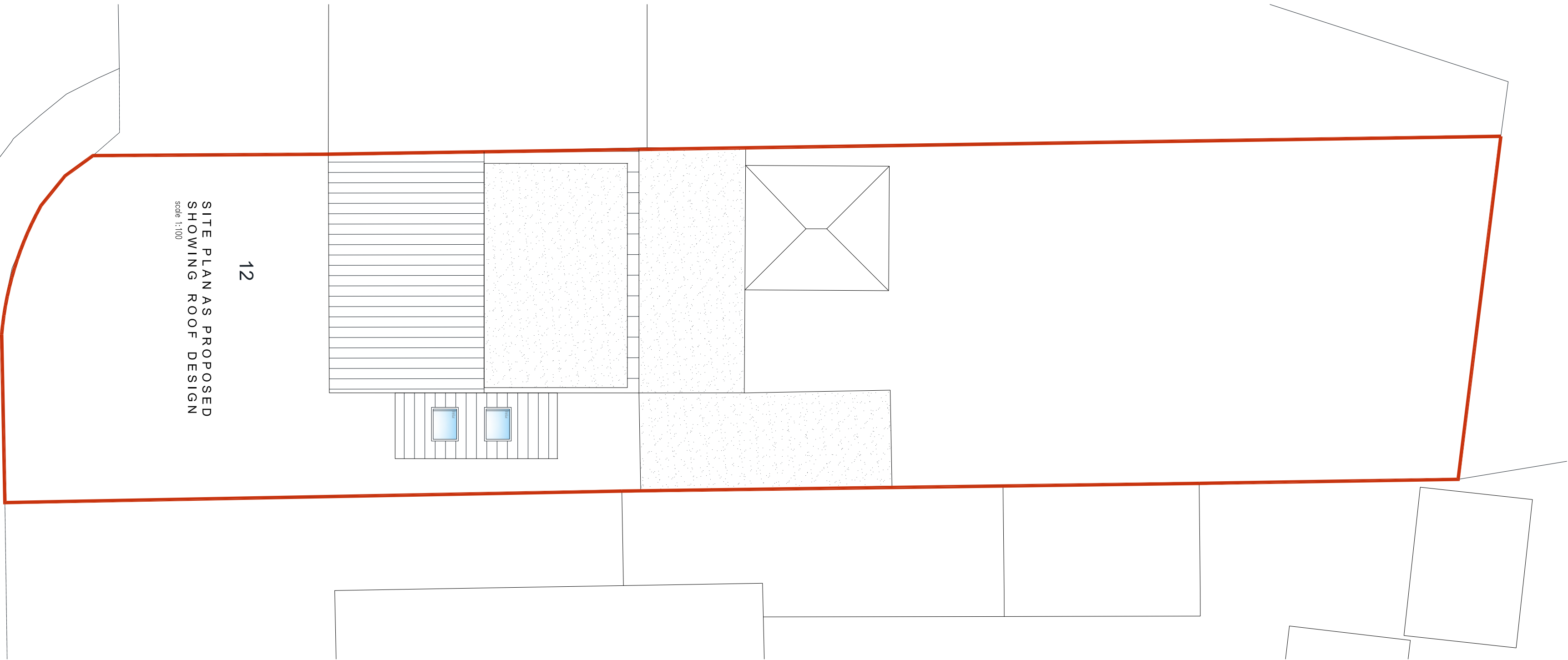
Height of Proposed Extension = 3.900m

7. If the extension is within two metres of a boundary, the maximum height should be no higher than three metres to be permitted development.

Height of Extension Extern = 2.650m



Demarc: Curtilage of Existing dwelling



SITE PLANS PROPOSED  
SHOWING ROOF DESIGN  
scale 1:100

HALL AVENUE