

DEVELOPMENT OF TWO DWELLINGS AT POST OFFICE LANE.
CARNO. SY17 5LW

DESIGN AND ACCESS STATEMENT

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1.INTRODUCTION

This Design and Access Statement forms part of a planning application for the erection of two detached houses on land at Post Office Lane, Carno.

This application replaces a previous planning application 21/1121/FUL, which was validated on 23rd June 2021, initially for four houses, but reduced to three. In December 2021, NRW revised their flood map for the area and a part of the site came within flood zone 3. This meant that the proposed scheme was no longer possible and the application was withdrawn.

The present scheme avoids any development within the flood zone 3 and the application includes a Flood Consequence Assessment.

The applicant is Hutte Haus Ltd , who own the land.

The application is made up as follows :-

Completed application form.

Drawing numbers 1009/21/1A, 2B, 12, 14 and 15

Design and Access Statement.

Flood Consequence Assessment.

Archeaological Survey

Ecology Survey

2.SITE CONTEXT

Setting

The application site covers 665 square metres and is located at the South end of Post office Lane at the point where it is closed off from the A470. The site has previously been used as a garden to Ty Mawr, which is situated on the other side of Post Office Lane. There is no record of any other use of the site in recent years. An archaeological survey has been carried out on the site and the report forms a part of this application.

Movement and Access

The site is within walking distance of the village centre and its amenities. The nearest town is Caersws, which is four miles away.

Access into the site :- Access to plot 1 will be off the south end of Post Office Lane and plot 2 off Maes y Llan.

As there will be only one additional dwelling accessed from Post Office Lane, it is not proposed to extend the existing footpath along the Post Office Lane frontage of the site as shown on the previous application.

Topography

There is a fall across the site of about 1m from south west to north east.

Boundaries

There is a mixed hedge on the boundaries to the north west, south east and south west of the site. A section of the hedge on the western boundary facing Post Office Lane will have to be removed in order to give access to the site. An opening will also be made in the hedge at the end off the access road to Maes y Llan. There is a close boarded fence to the north east between the site and Ty-Pryn.

There is a strip of land approximately 3m wide between the site and Post Office Lane which belongs to The Welsh Government Highways.

Planning History

A Pre Application Enquiry was submitted in 2019 to Powys County Council on the basis of four dwellings and advice received on 3rd June 2019. This was followed up by a full planning application (21/1121/FUL). Objections were raised by residents of Post Office Lane and the number of dwellings proposed was reduced to three. When the NRW flood map was changed, the scheme was no longer possible and the application was withdrawn.

Specific Issues.

Flooding:- Part of the site is within flood zone 3. A flood consequence assessment will be submitted.

Contamination :- As the site has only been used as a garden, contamination is not considered to be a problem

Biodiversity and Ecology :- As the site was previously a garden, it is proposed to attach bird and bat boxes to the new houses (see drawing 1009/21/6). Part of the existing hedge on the road frontage will be removed and compensated with appropriate tree planting on the site (see Landscaping below). A Preliminary Ecological Assessment has been carried out on the site by Star Ecology Ltd and their report forms a part of this application.

Listed Buildings :- It is noted that there is a grade 2 listed milestone built into the wall of Llys-y-Wen on the other side of the A470 and approximately 50m from the nearest corner of the site.

Archaeology :- The site lies within the medieval historic core of the village of Carno. A Written Scheme of Investigation has been carried out by Archaeology Wales and their report is included with this application.

SOCIAL CONTEXT

Justification of house types proposed:- It is believed that small three bedroomed dwellings will be appropriate in this location. They will be available for sale on the open market. The site is located close to the primary school and local facilities and there are bus services for children attending Newtown and Llanidloes High Schools.

ECONOMIC CONTEXT

The development of this site for residential use will benefit the local economy.

PLANNING POLICY

The site lies within the Carno development area (see inset map).

The following Planning Policies are relevant to this application :-

National Policy Wales (Edition 10, 2018)

TAN 5 –Nature Conservation and Planning (2019)

TAN 11 –Noise (1997)

TAN 12 –Design (2016)

Tan 15 - Flooding (2004)

TAN 18 –Transport (2007)

TAN 23 –Economic Development

TAN 24 –The Historic Environment (2017)

Powys LDP (2018)

DM2 –The Natural Environment

DM4 –Landscape

DM7 –Dark Skies and Natural Lighting

DM13 –Design and Resources

H3 –Housing Development Proposals

H4 –Housing Density

SP1 –Housing Growth

SP6 –Distribution of Growth across the Settlement Hierarchy

T1 –Travel, Traffic and Transport Infrastructure

Supplementary Planning Guidance –Biodiversity and Geodiversity

Supplementary Planning Guidance - Landscape

Powys Residential Design Guide (2004)

3.DESIGN PROCESS

Scheme Development

The applicant has taken advise on the type of properties that are in demand in the area and which would be suitable in the local village street scene .

Context Assessment

The context of the site has been assessed in relation to the neighbouring properties in Post Office Lane and Maes y Llan.

Post Office Lane was formerly accessed from the A470, but this has been closed off at the junction and is now a cul de sac. The narrowness of the lane is a particular feature of the lane, with houses in a random linear fashion close to the road on either side.

Maes y Llan is a modern residential development to the east of the site.

Physical Assessment

The site area measures 665 sq.m. An area of approximately 200 sq.m. of the site lies within the zone 3 flood zone which will exclude any development. The remaining area will provide ample space for the two dwellings proposed and on site parking.

An assessment of the existing buildings and structural features in the area has been made with a view to reflecting the local vernacular architecture in terms of materials used, scale and building form.

Properties in the Lane are small scale terraced houses, typical of the area, with slate roofs generally running parallel with the road and having a similar pitch of about 35 degrees. External walls are of stone or painted render. Eaves heights are generally low, but dormer windows are not a feature. Houses generally date from the nineteenth century or possibly earlier. Ty Pryn, which is next to the site is modern as is the Maes y Llan development to the east.

Social Assessment

The site is well suited for housing, within an existing residential area at the heart of the village. It is believed that the provision of small homes on this site will provide appropriate accommodation for this area of Carno.

Design Parameters

In designing the scheme, the following design parameters influenced the design process:

- i. The shape and size of the site that is available to develop.
- ii. The height and proximity of neighbouring buildings –avoidance of overlooking.
- iii. The use of materials indigenous to the area.
- iv. The provision of sufficient on site parking

Layout

It is proposed to provide two detached houses, with parking for three cars to each.

Access:- Access to Plot 1 will be from Post Office Lane and Plot 2 from Meas y Llan. Separate access points have been proposed in order to avoid entering the flood zone within the site.

Overlooking:- The layout of the houses has been designed to minimise overlooking of other properties.

Scale

Plots 1 and 2 have three bedrooms and a floor area of 106 sq.m.

Appearance

It is proposed that materials should reflect those used on neighbouring properties and respect the street scene of Post Office Lane and Maes y Llan in terms of materials and scale.

Roofs will be slate with a pitch of 35 degrees to match the general roof pitch in the area.

External walls will be a light cream self coloured render. This will fit in with the local stone and also the buildings that have been painted.

Security

The guidance of Secured by Design has been taken into account in the design of the housing layout. All properties will be fitted with high security locks.

Existing Features :- The hedges to the south west and south east of the site will be retained.

Soft Landscaping :- A section of the hedge on the Post Office Lane frontage will have to be removed. This is a mixed hedge of mainly Sycamore and Hawthorne. The hedge will be replaced with soft landscaping and tree planting.

It is proposed to plant trees native to the area –Rowan, Holly and Apple (see site plan).

Hard landscaping :- Private driveways will be in self draining gravel with an area of permeable brick paving for parking and access to the front door. An area of concrete paving will be provided to the rear of each property.

External Lighting :-

Light fittings will be located in the porches over the front doors and pointing downwards. 1 luxon PIR fittings will be used. This will provide minimal disturbance to wildlife and not contribute to light pollution.

4. SUSTAINABILITY AND ENVIRONMENTAL ISSUES

Energy Efficiency and carbon reduction

Standards :- The houses will be designed to meet the current Building Regulations standards.

Orientation :- The rear slopes of the roofs face South West. This will be suitable for the installation of solar panels if required.

Services :- Water, gas and electricity are available on the site.

Heating :- Each dwelling will be heated by high efficiency gas fired boilers.

Waste :- Each house will be provided with an area for recycling and refuse bins for collection by the Council.

DRAINAGE

Surface Water Drainage :- All surface water drainage from roofs will be taken to drainage ponds, driveways will be self draining, all to SAB approval.

Foul Water Drainage :- Foul water drainage will be taken to the existing foul sewer in Post Office Lane

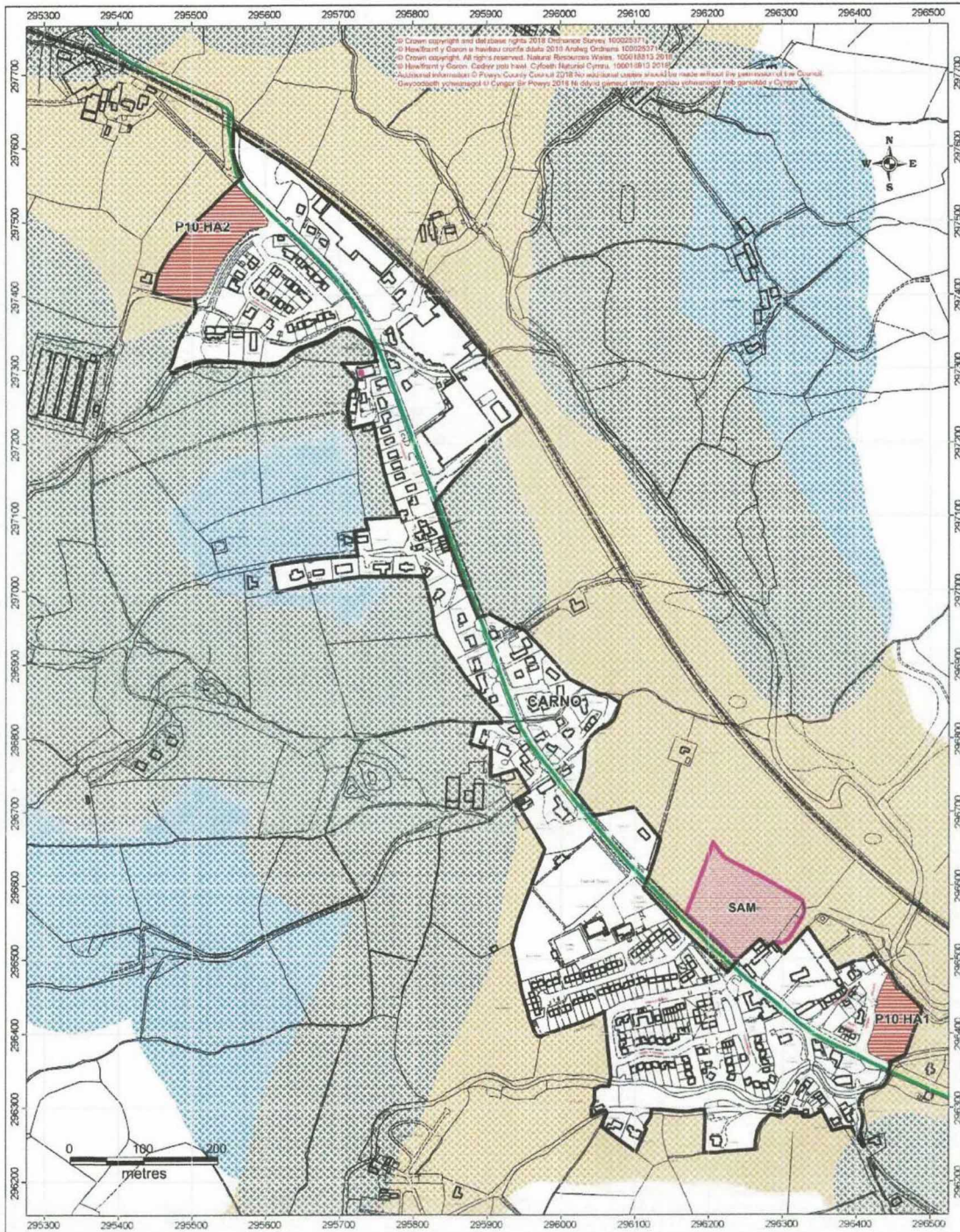
5 ACCESS AND MOVEMENT

Access within the site :- Vehicular access to Plot 1 will be off Post Office Lane and Plot 2 off Maes y Llan. Each property will have hard paved parking areas and level access to the front doors.

Access into the dwelling :- There will be a ramped approach to each property with a level threshold at the front door.

Access within the dwelling :- All dwellings will have a level access throughout the ground floor and doors will be of adequate width to take a wheelchair. An ambulant disabled w.c. will be provided close to the front door. Light switches and power sockets will be at a suitable height for someone with a disability.

6. CARNO INSET MAP



7.PHOTOGRAPHS OF SITE



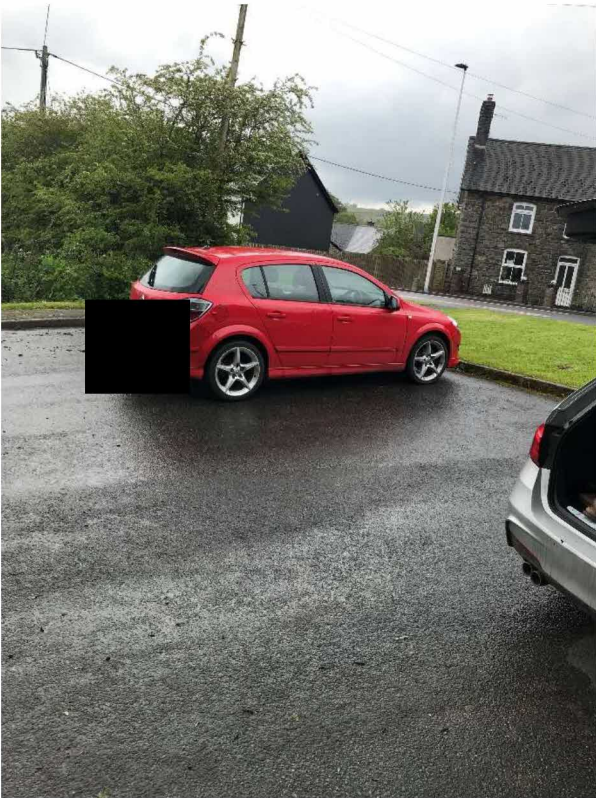
Site looking North



East corner of site



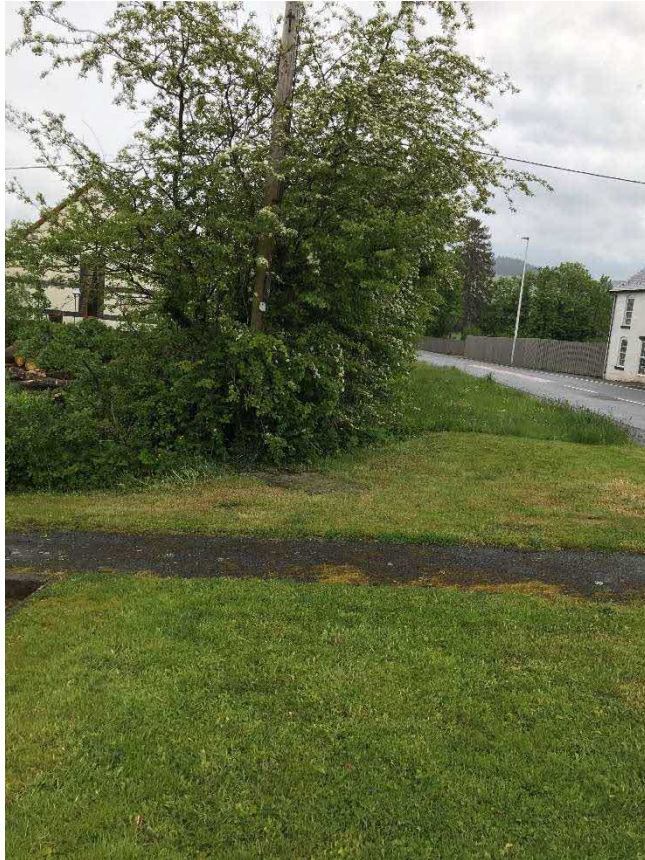
Post Office Lane frontage. Hedge to remain



Cull de sac at end of Post Office Lane



North corner of site



South west boundary with A470