

In addition to the above, allowances should be made for the following new building elements:-

- i. Mechanical, electrical and plumbing services
- ii. Joinery
- iii. Plastering
- iv. Replacement windows and doors
- v. Decoration.
- vi. External works.

Conclusion

As the building has not been watertight for a long time and some of the damaged external walls have not been laterally restrained, these walls may have a reduced capacity to support the proposed loadings. It is also envisaged that the existing foundations would have to be enhanced to eliminate any further settlement of the building.

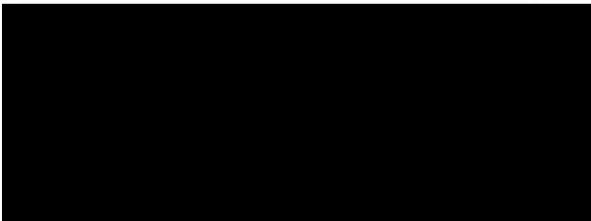
Given the age and condition of the building, the amount of required demolition, replacement of the defective building elements and the potential for hidden defects in the foundations and walls, it is envisaged that most of the building would have to be demolished and re built.

It is therefore concluded that it would be more economical and energy efficient to demolish the building and provide a new build replica building.

We have included some photographs which illustrate some of these defects for your records.

We trust you find the above in order but if you should have any queries or require additional information, please contact the undersigned.

Yours sincerely



P. Seastram
Director
For and on behalf of
MMP Design Ltd



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