

2 XWII 36GG

' DMW W HFPHE HU

O UODVK ,
: - OODVK LPL WHG
7 RUUQV RQDUP
* URYH/DQH
& KHMKD
%XFNQJ KDP VKLUH + 3 4-

' HDUJU OOK

5 (50% R YLQJ GRQ&RQWIR O7 RZUJHV KDFR DG/RYL QI GRQ&I 3

: HZULW RQDZ Q.RXLWHF QWYL VLWRWIDERYHL WADQZRXGDL NHMRF RQILURKDWXRU
LQMKFWRQZD WRFDUU RWDYL VDOLQSHFWRQRI WFRQWIRORZHDQJSRUWRQWKH
OHOKRGRGMWDWHDPLQ VVXFLUDQDCHPQWR I WEXLOQ QJFDQHFRQPL FDOQ LHSNL WGRU
WCDWU SODFHPHQ WEXOGQZXC EHUHTXLUG

: KHQHQ DJ HGWSURGFHVFKUHSRUWZHDUHUT XLUGH RXUSRI HWLRQDQHPLW
LQXUHWLQRUPAR XWDW

x2 QOWKEDUDGHVULEH DERYHZDVLQNS HFMSVRLVW/QRSRWEHWRUWSRUWWDQ
RVKHQDUWRI W\$URSHUV DUH UHH URGH HFW
xQ RZRRGZRUNRURWKHUSDUWRI WHWXFKAKUHZLFDUHFRYHUGXOH SRVHGRU
LQDFFHWEQIZH UHLQSHFWHGQGLW VWHUH RUHORSRVLEOWRUHSRUWWDQ VXF
SDUW W\$URSHUV LV UHH URPHIFW
xQ RLQ YMWJWLRQDV P DGH L QARWIKIQG HUO LQJ URCFR QG WL RQ VGRUW
VHULFHDELQMR WH RXQQKUI DFHDWUGJDLQDHV WHPV
xW K VHSRUWWDQXFKUDQQLGHU WHSRUWWDGRHGRWGHDOZLWVWVH/HPDMWVWFK
DVDGHTXDF RI VHULFHQJUHWRI GDSZRGUR WAF ZKLFDUQRPDDO\ WH
SURYQFH RDXLOGQKUH\ RUJ FHSVQRI DWWKHHD/SHWVDI HFVWKHWWXKUD
WDELOMR WEXLOGQRI RQBWLRQV
xW K VHSRUWWDQWVH HUO LWR- OOD VK LPL WQV WKHQWDFWLQJ & HQV

7 KHLVZD/YLVWBCWHPQQL RI WRYHPE HUDDWKHHDWKFUFRQGLWROZHUH
FRQDQGU \$OMRKQRLQHMM DMLRQI WIXOHO LQJURXQFRQGWWRQWDOEHDUWHG
RXWVHUVQFHMRWVWV/KHRQJL FDQXYHUVFRUGVIRWKHDUH DQFDMMWKHQNOLKRRGR
FOA Z WQWVH HUO LQWHEGURENPDWUJD OR &DOI

±5\$) %W QJ GRQ&WURORZHDH

,QWRGXFWRQ

2 EVHUYDMRQV

) Ø WRRWRVWUHQFORXH

7KH DVSHQWURRHYHUQ DQG BRIGHF NHJHGH FVFLYHWKFRPSRLWWMHQDLOCHUHVW
VHFWRQMOYHCOPIOOIFRURVLRQDXVQJ FUFBNLQMRWKFREUWHURRI VRILWHLQOQJ
VRWHRMVLQUDHHFORVXUH7KHMSWKUHFRLQHVR EULFNZRUNDHGHI HFVWYH

) Ø WURDUHDYHUI LUWGORJ

7KH DVSKOOLURRFRYHUQJ DQGRRI DUHJLJHGI HFVLYHWHFRPSRLWVWVHLOCHURJW
VHFWRQMDYHOPHOODFRURVLRQDXVQJ FUENLQMRVVFIREUWHURJ VDZKWR
IRXURXUNHRIEUFNRUNDUHLVWKHURPVVLQJ RUGHHFVLYH7KHURJFREUHWVODZEV
VXSSRUWQWVHJMUDZDOYZLMLQWURQEDM LQMLQDVSRSRUWQWVHMSIDQHV
RJHJSRVHGVMODERBVHF WRQZKLFRHEHDQVRPDIRQVZDODVDOERJPLRQJ
SLHU7KHVHWVHGEHBVKDYHOPHOODFRURVLRQZLFRKDFDXHG/RPHUGXFWRQ
LQWHLWVWVXUDOFISFLWVODJLHGI HFVLYH

) ⊕ WURDJHDYHUVLQJ\H\W\RH\J\URXQG\ ORRUHD

71K DVSKDOUURRFYHUIQJ LVGH HRWYMKHURR GHINDSSDUWREHDUHLQJ RUFG
FRQFUHMMI DQVDEZL VK LQWPHGLD WHBZQWDQGHQJLQJ RUFGFRQFUHWIEHDPUWSRUWH G
RQPD VRQUZDQDQBRUPDQUS LHV

WWW.WORLW.WP

7KH I ORRSHUDWREHDFQFHUHMLOCHURVWWHPXSRWGRQWKHJ WHQDO
P DVRQU ZDQZLWKQJNUPHG DWLQWDOVSRRUWRQMHRSI DQHRI VWHOEHP
VHFVRQVZL FKDUHHJ SRHG7KHVWHHOEHDP/KDHDOP HDODUFRUR VRLQDUH
GHIHFVYH7KHII ORRKDVRQUWGLQDQWIDVYHVFUDFLQJVRKHSRSDERVWR
VXUDFHVR WWDQD7KHORRUGFLVGHHFVYH

71K UHLV DGSQDUHDI SJYHL RVO WPHUMLVWIS I ORZIK FKSURG GHG[VHJOO
EDGRQH MAWAVL GHQNDV RQDVA LUWBRQDQ

QWIDODOQ

7KHQWHDQZDODWV HHSWURQHFLFNKLFNRLQJDFEFLNWLFLQJDFHIELFZRNRQ
DUHSUWVQHCHUGKHTHDUQPHURXVF UDFNLQJHDPVRQUDQ LQJLQZLQWKI URP
KDQDQHMPPLGH

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7KHVHDQDOOUDUHPRCHEULFNWKLFNLZGLIRPHGQQQVKERQZLWKDQ
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EHOBZWHZLQGRZDQGRRURSHQQV7KHMFDUDFNUDUHSVRPPZLGH7KH
HJWQMQLQDQDQYXUHRVKHJDUDFLNQJLQGFDMWVWDVDFRELQWVQRQIWHUDPDRYHFWQ
DQGHVWDPHQWRWHIRXCGWLRCQMVPRMSUREDQDFFFXUHG

7KHEULFNRINMRV LQLQDNWRH HJWQLRQ VGH HFWL YDOL SODFHVPL WLQI \$
RUU LQDGD VRQU SLU VPAL QDCWHEHDOLQHOR YWHSQJ QJ LGH HFWLYH
7KLVEHDPK DVEHQSURSSHG KHOLOHOMHRVWAL GHODWLRQV VGH HFWYHDQG
KDVEHHQSURSSHG

7KHEULFNRINFORVHMRKHJ UBXOEHYQ VGH HFWL YLQPRV SODFHVK VK DVFRW
SUREDEOEHHQFDXVHGEI TURVWVW

5 HFRP P HQGDMRQV

* LYHQMHFRQGLWRRV WHELGQ QJDELFKHI RQBL QJPHGLDORUN VDQBY ZRUNZLOEH
UHTXWGHGRUWWRUHMKHLQCLQ DEULEFWFXUQWAXLQCLQ HJODVL RQV6WQDQGV

D&DUU RAVDQQLQWL YLQHMM DWLRQI WHXOHD LQI RXQGQ VWDWDDQFDURXW
QERUDRU VRLOWLQARFRQJLUPWHE HDLQ FDSFLWMDQGXWELCLW RWKXOHDOLQJ
JURXQGHT RUGMKAWSHOGHWHQRI WKH RQBL RQMRWKHLQBLQJ

E\$OORZ R UHPLDQ DQ RQBL RQMLQKH RRR XQHUS LQQQVWRMHH LVWQIRXQDMRQV

FH PROLWKKHQWWRH HJWQLRQGHPRYH RQG DWLRQV

GHE XLOQHHW QMRLQZLKF YWEORFZRUNH VH UQZDORQBL WILS RXQDWRSV

HJURYLGHWRU DUZRUN SURSSQ DQGDGHQWHDUDQHAWL QURSSQ RQWKH
HJWQDQDOV

I5H PRY HDOOHVWQDQGQHUVQDQHUVZDOOV

J'HPROLWKLQWWRVQDFQWROHGATXOFHDQGUHPRYHWHQDX SSRUWHDPRV

K5HSODHPLQ PXPWRS IRKURKUAVRI EULFNZRMHH WHQDQDOOV

L8D UU RAVDULNZNHSDUWWRH MHDQDZDOOLQKHIRPR EULFNWVWPLQI EULFNZRN
UHSDFHP HQMCEHLO RUJHPHQWDQBQWWDVWQPRYHPQVMRLQVW, WIVHWVWDNG
WDMFMZH HQWRI WKH WHU QDZDOOLQHUTXUHUPHGLQDSLW

MQ WDOQHURRICHNFNVXVSHQHGSURPHQDGW/OHI LQJ VSHLPMWIKDQDUD
JXDQBLQZWHHSURI FRYHULQJ LOXOVRQDSUHGRIDOOVSIFDVWREUWHSSDN
VWMP RWVWHSUR LOHRSRVL WHFRQWVWVWVWDX/X\$HQBFHLCLQJ

NH PROLWKLQWWRV WMPDQGHFRYHVMH CEHDPRV QMDOOQ HZVWHEHD
VXSSRUWWMHSUR LOHRSRVL WHFRQWVWII ORPMDLQDGHFRSHLPHMIVVSSRV
WHQDQJ CHWROFRVQDEI HQGDVROAZ DOO6XIS HQDHLCLQJ

OH PROLWKLQWWRVQDFQWROHGATXOFHDQGUHPRYHWHQDX SSRUWHDPRV

P5-HXFHLQWUDQJURQGQHYHODGLQWDOORZLJQCI ORRU ORRUQDEVWAP
VXVSHQHGSUHFDWRFUHMEDPDQG EORFN ORUWHRQHZQWLUQDO
IRXQGDMRQV

Q5H QHZDOOXQWURXQGUDLQJHQGVHULFW

R5HSRLQWWRVWQDQDOV LTHWQZDOLQXOWRQDSDQDUHQHJLQVK

In addition to the above, allowances should be made for the following new building elements:-

- i. Mechanical, electrical and plumbing services
- ii. Joinery
- iii. Plastering
- iv. Replacement windows and doors
- v. Decoration.
- vi. External works.

Conclusion

As the building has not been watertight for a long time and some of the damaged external walls have not been laterally restrained, these walls may have a reduced capacity to support the proposed loadings. It is also envisaged that the existing foundations would have to be enhanced to eliminate any further settlement of the building.

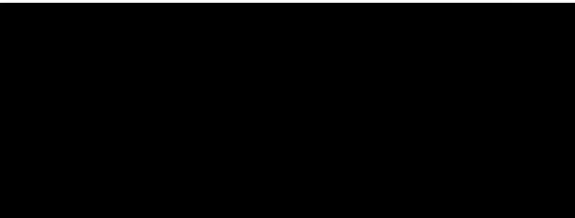
Given the age and condition of the building, the amount of required demolition, replacement of the defective building elements and the potential for hidden defects in the foundations and walls, it is envisaged that most of the building would have to be demolished and re built.

It is therefore concluded that it would be more economical and energy efficient to demolish the building and provide a new build replica building.

We have included some photographs which illustrate some of these defects for your records.

We trust you find the above in order but if you should have any queries or require additional information, please contact the undersigned.

Yours sincerely



P. Seastram
Director
For and on behalf of
MMP Design Ltd



) IJXUH ±GRITLWRIDQUR VRIWILWHRORXUH



) IJXUH ±0 DLQIDQUR VRI LW ± GHIHFVWHWWHOHWLWDQQPLV\



) IJXUH ± 0 DLOQONUR VRI LW ± GHHFWMHURI GFNDQFRUURGI

VWHD



) IJXUH ± & UDFNWR ILWWDRU ORRUODE

± 5 \$) %YLQGRQ&RQWUDRHU

3DJH



) LJXUH ±) LJMORU GRVRI LW ± GH HFVW HVWHC BDPVH RWLRQ



) LJXUH &DFN GDP DJ HWHVWLOOZIO) LJMORU OHO



) LJXUH 5 HDUOHYDWLRQRIH\WQQLRQ P LVIQJ PD VRQUSIH



) LJXUH ' HIFWYHEULNR UNV\ WQQLRQ



) LJXUH ' HI HFWYH EUFNZ RUNN\GHQHYDLRQ



) LJXUH ' HI HFWYH EUFNZ RUNN\GHQHYDLRQ



) LJXUH ' HIFWYH0ZOHHEUFNRQ



) LJXUH ' HIFWYH0ZOHHEUFNRQ