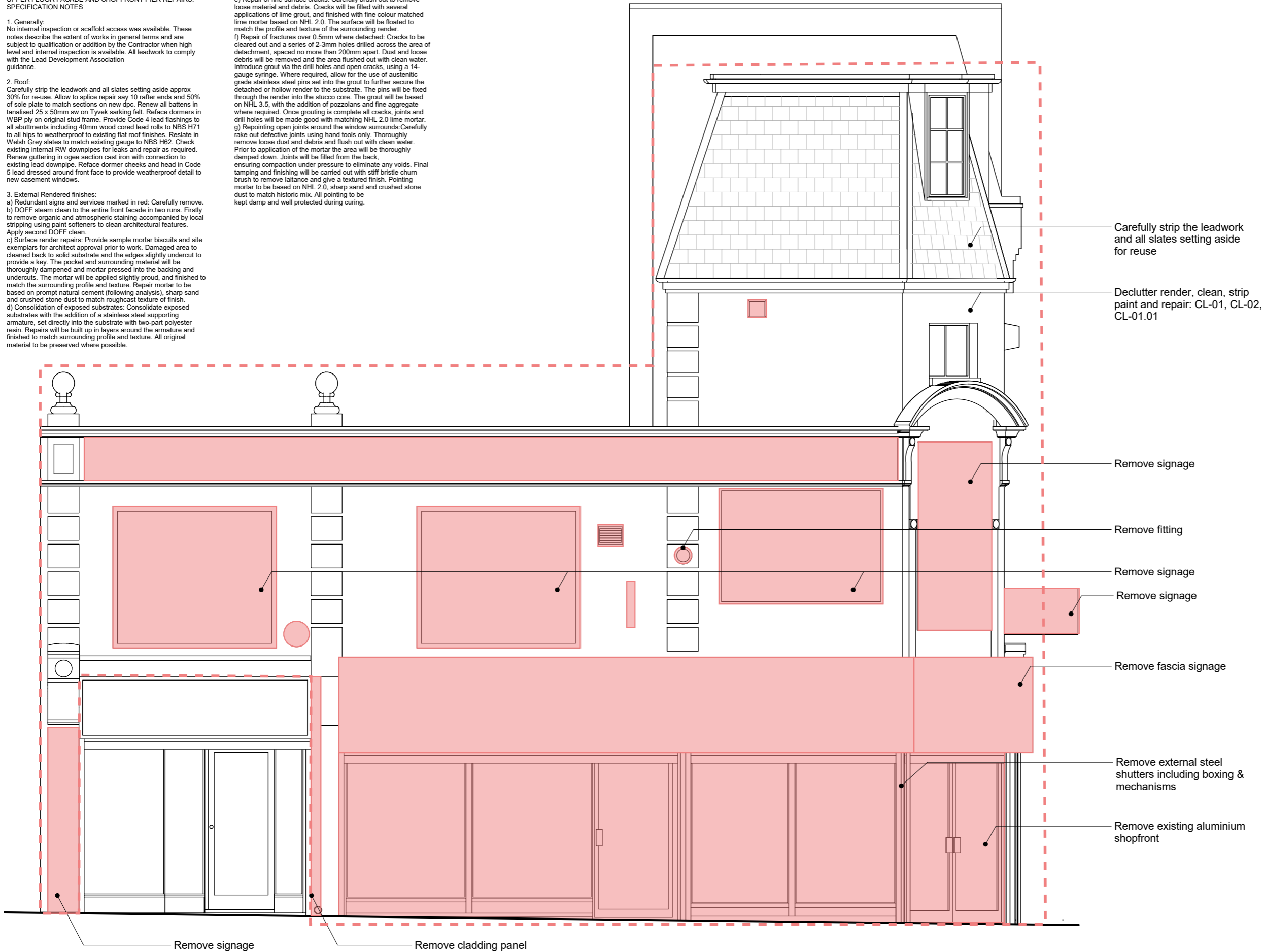


UPPER FLOOR FACADE AND SHOPFRONT PIER REPAIRS:
SPECIFICATION NOTES

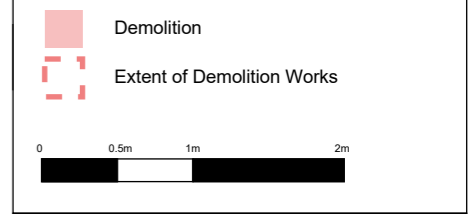
1. Generally:
No internal inspection or scaffold access was available. These notes describe the extent of works in general terms and are subject to qualification or addition by the Contractor when high level and internal inspection is available. All leadwork to comply with the Lead Department Association guidance.
2. Roof:
Carefully strip the leadwork and all slates setting aside approx 30% for re-use. Allow to splice repair say 10 rafter ends and 50% of sole plate to match sections on new dpc. Renew all battens in tanalised 25 x 50mm sw on Tyvek sarking felt. Reface dormers in WBP ply on original stud frame. Provide Code 4 lead flashings to all abutments including 40mm wood cored lead rolls to NBS H71 to all hips to weatherproof to existing flat roof finishes. Reslate in Welsh Grey slates to match existing gauge to NBS H62. Check existing internal RW downpipes for leaks and repair as required. Renew guttering in ogee section cast iron with connection to existing lead downpipe. Reface dormer cheeks and head in Code 5 lead dressed around front face to provide weatherproof detail to new casement windows.
3. External Rendered finishes:
a) Redundant signs and services marked in red: Carefully remove.
b) DOFF steam clean to the entire front facade in two runs. Firstly to remove organic and atmospheric staining accompanied by local stripping using paint softeners to clean architectural features. Apply second DOFF clean.
c) Surface render repairs: Provide sample mortar biscuits and site exemplars for architect approval prior to work. Damaged area to be cleaned back to solid substrate and the edges slightly undercut to provide a key. The pocket and surrounding material will be thoroughly dampened and mortar pressed into the backing and undercuts. The mortar will be applied slightly proud, and finished to match the surrounding profile and texture. Repair mortar to be based on prompt natural cement (following analysis), sharp sand and crushed stone dust to match roughcast texture of finish.
d) Consolidation of exposed substrates: Consolidate exposed substrates with the addition of a stainless steel supporting armature, set directly into the substrate with two-part polyester resin. Repairs will be built up in layers around the armature and finished to match surrounding profile and texture. All original material to be preserved where possible.

- e) Repair of fine surface cracks: Carefully brush out to remove loose material and debris. Cracks will be filled with several applications of lime grout, and finished with fine colour matched lime mortar based on NHL 2.0. The surface will be floated to match the profile and texture of the surrounding render.
- f) Repair of fractures over 0.5mm where detached: Cracks to be cleared out and a series of 2-3mm holes drilled across the area of detachment, spaced no more than 200mm apart. Dust and loose debris will be removed and the area flushed out with clean water. Introduce grout via the drill holes and open cracks, using a 14-gauge syringe. Where required, allow for the use of austenitic grade stainless steel pins set into the grout to further secure the detached or hollow render to the substrate. The pins will be fixed through the render into the stucco core. The grout will be based on NHL 3.5, with the addition of pozzolans and fine aggregate where required. Once grouting is complete all cracks, joints and drill holes will be made good with matching NHL 2.0 lime mortar.
- g) Repointing open joints around the window surrounds: Carefully rake out defective joints using hand tools only. Thoroughly remove loose dust and debris and flush out with clean water. Prior to application of the mortar the area will be thoroughly dampened down. Joints will be filled from the back, ensuring compaction under pressure to eliminate any voids. Final tamping and finishing will be carried out with stiff bristle chum brush to remove laitance and give a textured finish. Pointing mortar to be based on NHL 2.0, sharp sand and crushed stone dust to match historic mix. All pointing to be kept damp and well protected during curing.



Notes

1. Dimensions - This drawing provides indicative dimensions only. Do not scale from this drawing. All dimensions to be checked / measured on site. All dimensions in millimetres unless otherwise stated
2. All demolition works to be undertaken in accordance with the National Building Specification (NBS). Refer to section C20 - Demolition and Site Clearance for details.
3. All existing removed fixtures and fittings to be retained and handed back to owner unless consent given for disposal
4. This drawing is copyright
5. Drawings prepared in collaboration with The Regeneration Practice (Registered Conservation Architects)



Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project
Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client
London Borough of Tower Hamlets

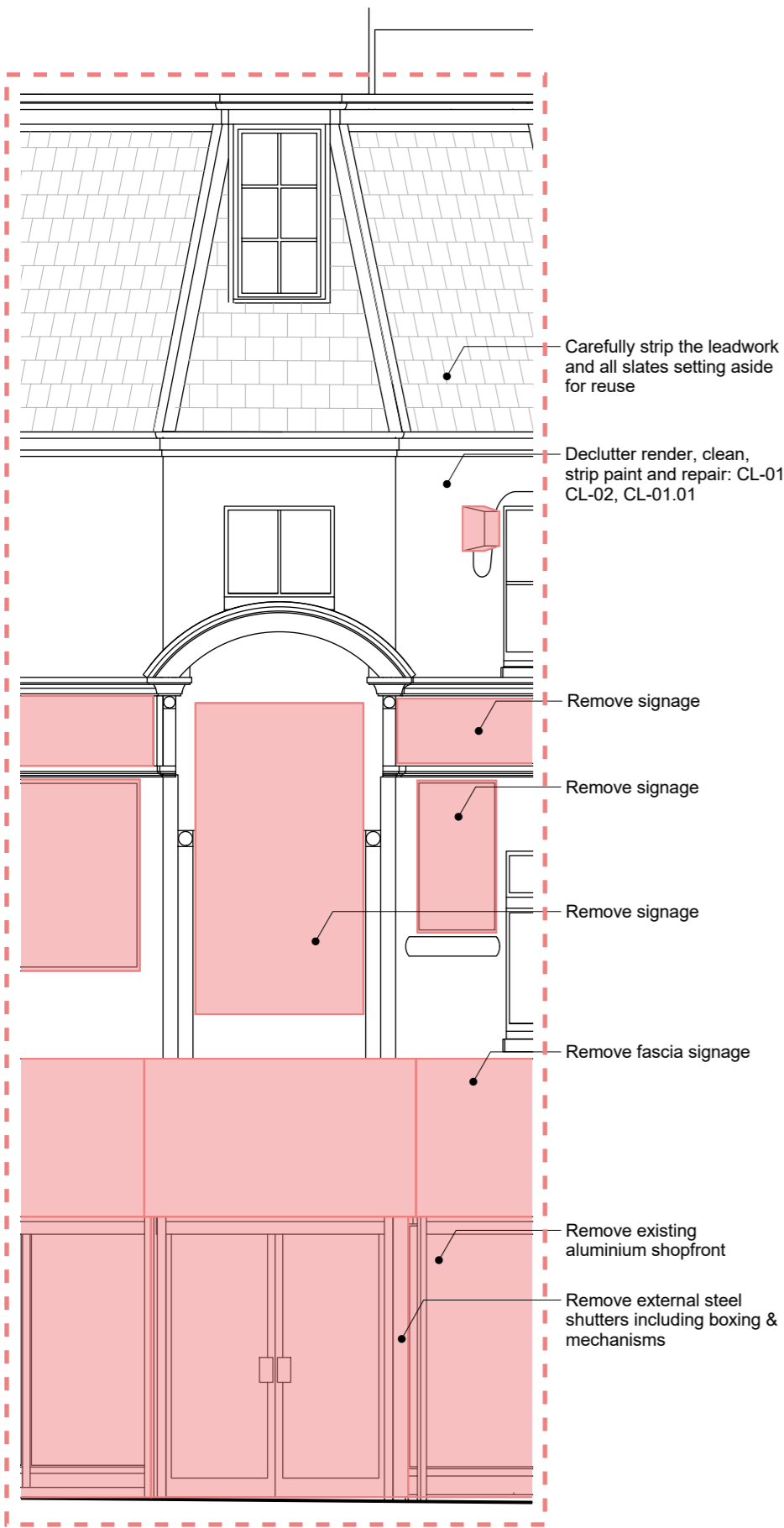
Sheet
Existing & Demolition
Elevation 1

Drawing status
PLANNING

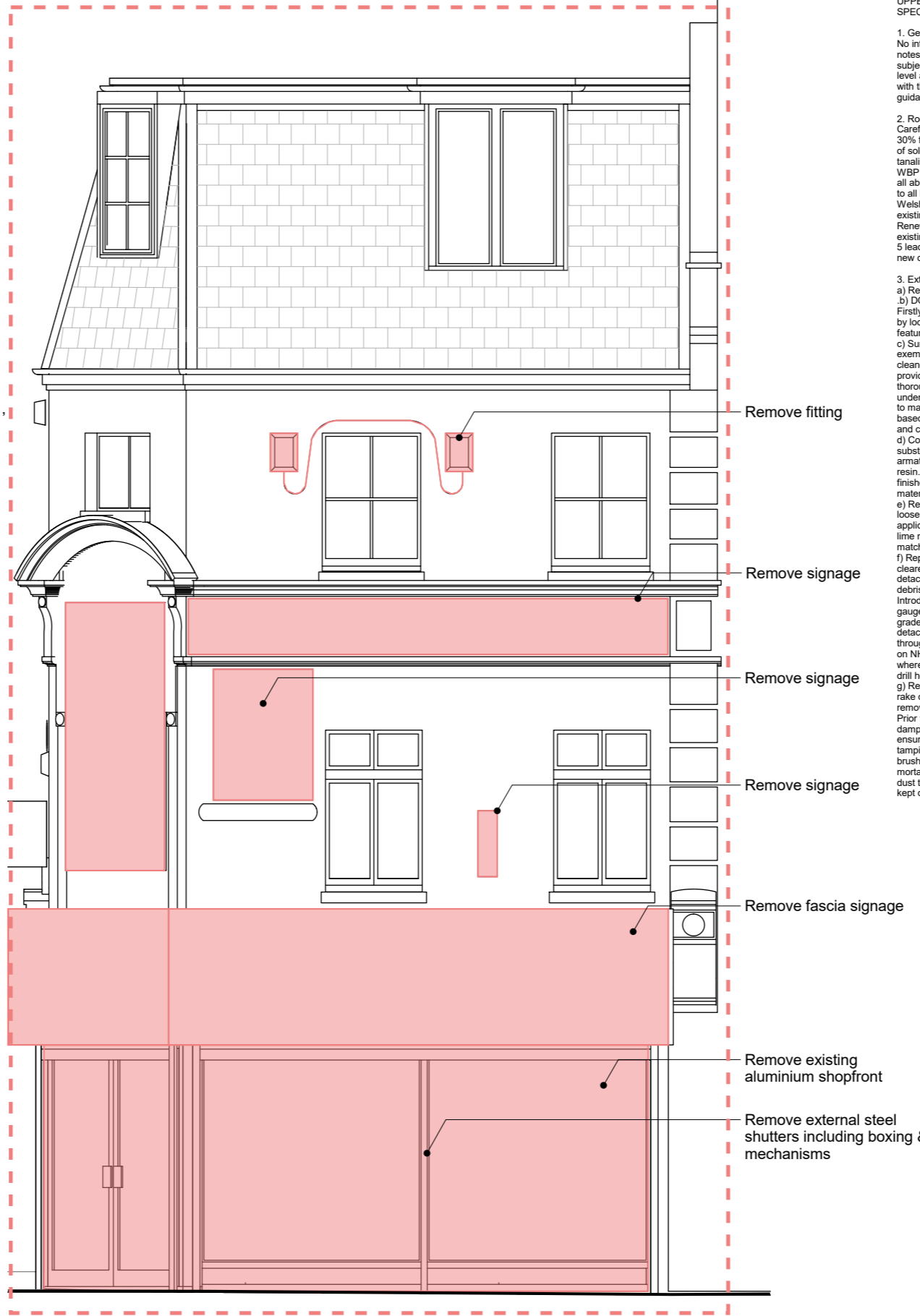
Scale (A3) 1:50 Date 22.02.22

Project Number 050MSS	Drawing Number 18_EX200	Rev. C
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Royffe . Flynn
www.royffeflynn.com



01 Existing Elevation 2 - Demolition
Scale: 1:50



02 Existing Elevation 3 - Demolition
Scale: 1:50

UPPER FLOOR FACADE AND SHOPFRONT PIER REPAIRS: SPECIFICATION NOTES

1. Generally:
No internal inspection or scaffold access was available. These notes describe the extent of works in general terms and are subject to qualification or addition by the Contractor when high level and internal inspection is available. All leadwork to comply with the Lead Development Association guidance.

2. Roof:
Carefully strip the leadwork and all slates setting aside approx. 30% for re-use. Allow to splice repair say 10 rafter ends and 50% of sole plate to match sections on new dpc. Renew all battens in tanalised 25 x 50mm sw on Tyvek sarking felt. Reface dormers in WBP ply on original stud frame. Provide Code 4 lead flashings to all abutments including 40mm wood cored lead rolls to NBS H71 to all hips to weatherproof to existing flat roof finishes. Reslate in Welsh Grey slates to match existing gauge to NBS H62. Check existing internal RW downpipes for leaks and repair as required. Renew guttering in ogee section cast iron with connection to existing lead downpipe. Reface dormer cheeks and head in Code 5 lead dressed around front face to provide weatherproof detail to new casement windows.

3. External Rendered finishes:
a) Redundant signs and services marked in red: Carefully remove
b) DOFF steam clean to the entire front facade in two runs. Firstly to remove organic and atmospheric staining accompanied by local stripping using paint softeners to clean architectural features. Apply second DOFF clean.
c) Surface render repairs: Provide sample mortar biscuits and site exemplars for architect approval prior to work. Damaged area to be cleaned back to solid substrate and the edges slightly undercut to provide a key. The pocket and surrounding material will be thoroughly dampened and mortar pressed into the backing and undercuts. The mortar will be applied slightly proud, and finished to match the surrounding profile and texture. Repair mortar to be based on prompt natural cement (following analysis), sharp sand and crushed stone dust to match roughcast texture of finish.
d) Consolidation of exposed substrates: Consolidate exposed substrates with the addition of a stainless steel supporting armature, set directly into the substrate with two-part polyester resin. Repairs will be built up in layers around the armature and finished to match surrounding profile and texture. All original material to be preserved where possible.
e) Repair of fine surface cracks: Carefully brush out to remove loose material and debris. Cracks will be filled with several applications of lime grout, and finished with fine colour matched lime mortar based on NHL 2.0. The surface will be floated to match the profile and texture of the surrounding render.
f) Repair of fractures over 0.5mm where detached: Cracks to be cleared out and a series of 2-3mm holes drilled across the area of detachment, spaced no more than 200mm apart. Dust and loose debris will be removed and the area flushed out with clean water. Introduce grout via the drill holes and open cracks, using a 14-gauge syringe. Where required, allow for the use of austenitic grade stainless steel pins set into the grout to further secure the detached or hollow render to the substrate. The pins will be fixed through the render into the stucco core. The grout will be based on NHL 3.5, with the addition of pozzolans and fine aggregate where required. Once grouting is complete all cracks, joints and drill holes will be made good with matching NHL 2.0 lime mortar.
g) Repointing open joints around the window surrounds: Carefully rake out defective joints using hand tools only. Thoroughly remove loose dust and debris and flush out with clean water. Prior to application of the mortar the area will be thoroughly dampened down. Joints will be filled from the back, ensuring compaction under pressure to eliminate any voids. Final tamping and finishing will be carried out with stiff bristle churn brush to remove laitance and give a textured finish. Pointing mortar to be based on NHL 2.0, sharp sand and crushed stone dust to match historic mix. All pointing to be kept damp and well protected during curing.

Notes

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- All demolition works to be undertaken in accordance with the National Building Specification (NBS). Refer to section C20 - Demolition and Site Clearance for details.
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- This drawing is copyright
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Demolition
Extent of Demolition Works

0 0.5m 1m 2m

Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project
**Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET**

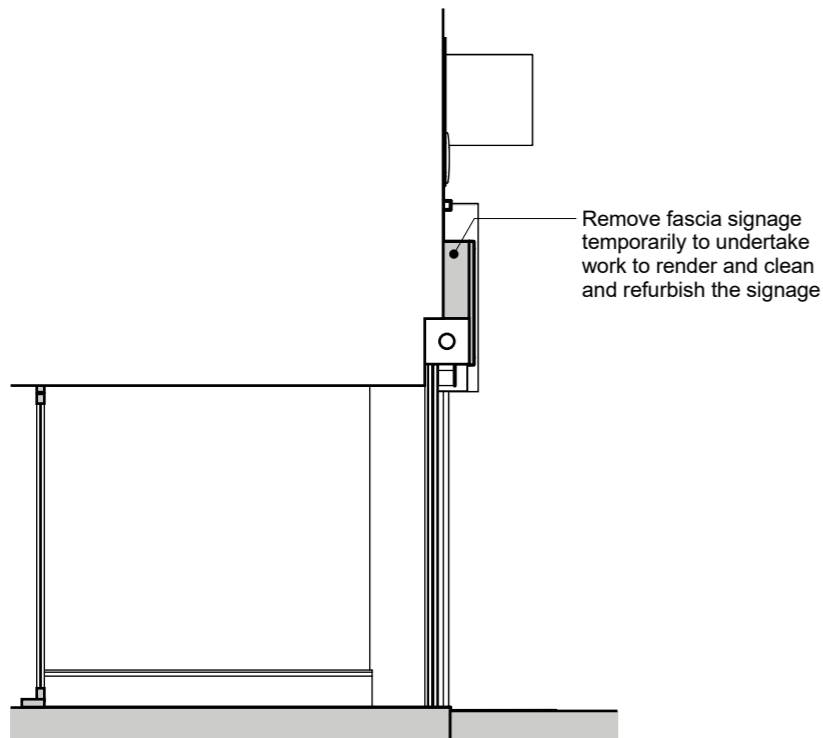
Client
London Borough of Tower Hamlets

Sheet
**Existing & Demolition
Elevations 2 & 3**

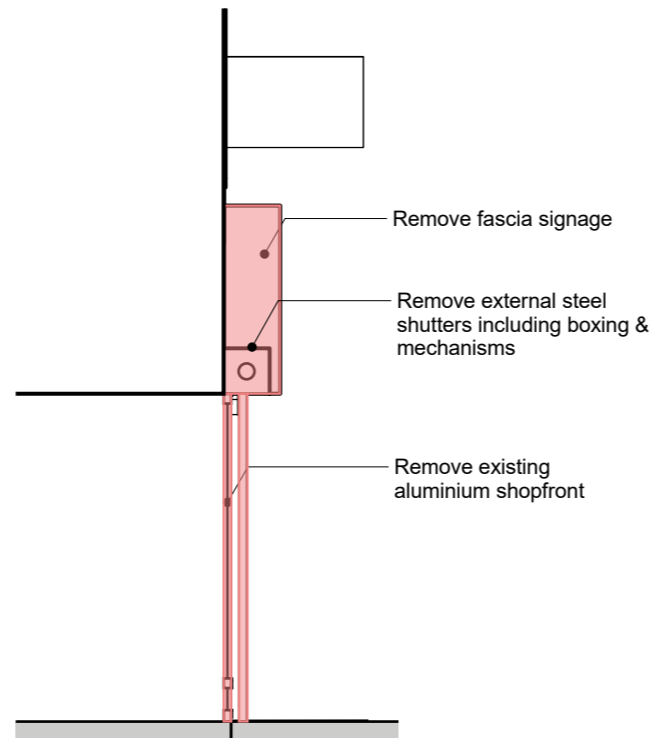
Drawing status
PLANNING

Scale (A3) 1:50 Date 22.02.22

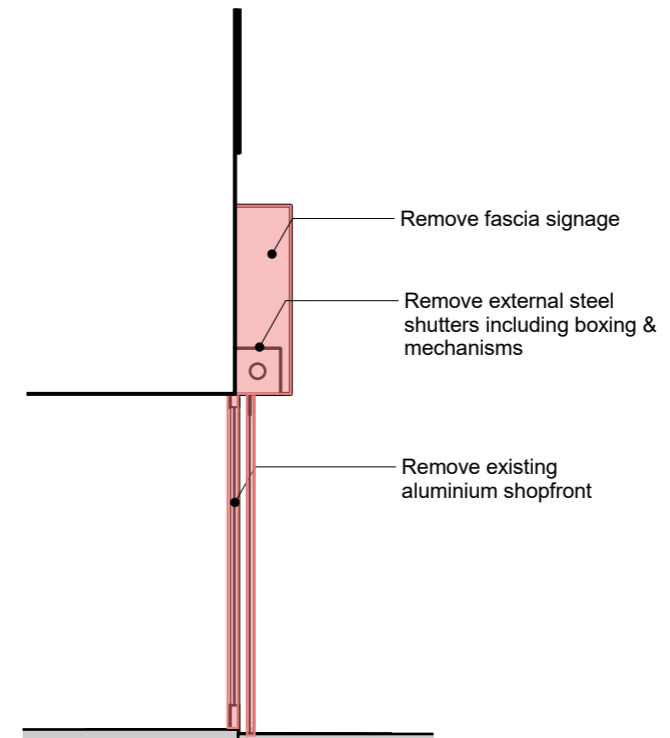
Project Number 050MSS	Drawing Number 18_EX201	Rev. C
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01 Existing Section 1
Scale: 1:50

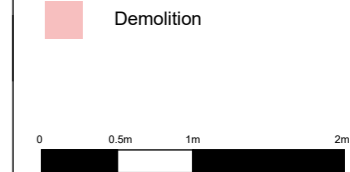


02 Existing Section 2 - Demolition
Scale: 1:50



03 Existing Elevation 3 - Demolition
Scale: 1:50

- Notes
1. Dimensions - This drawing provides indicative dimensions only. Do not scale from this drawing. All dimensions to be checked / measured on site. All dimensions in millimetres unless otherwise stated
 2. All demolition works to be undertaken in accordance with the National Building Specification (NBS). Refer to section C20 - Demolition and Site Clearance for details.
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Revisions

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A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF



04 Photograph of Existing Facade
Scale: nts



05 Photograph of Existing Facade
Scale: nts



06 Photograph of Existing Facade
Scale: nts

Project
Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client
London Borough of Tower Hamlets

Sheet
Existing & Demolition
Sections

Drawing status
PLANNING

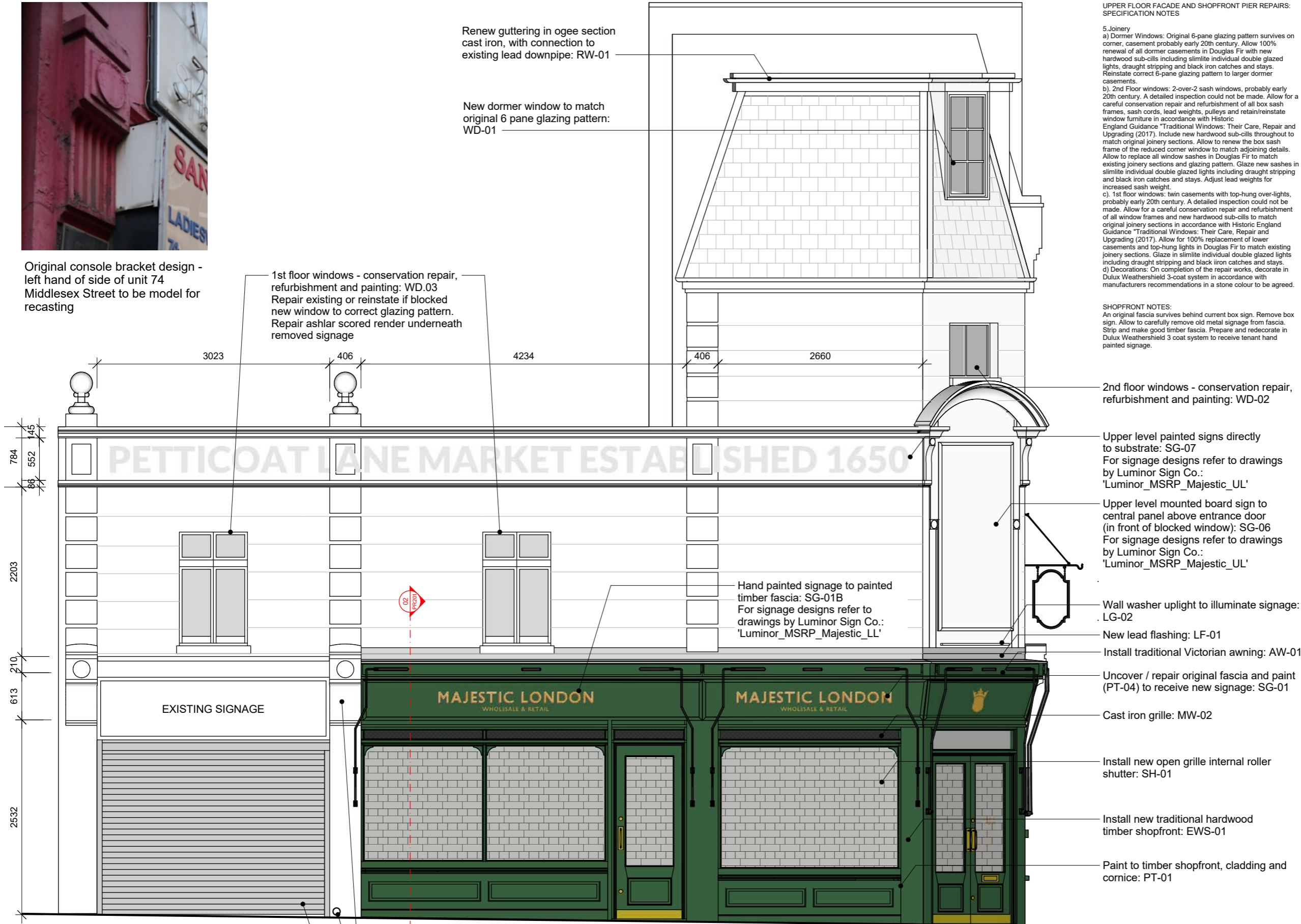
Scale (A3) Varies Date 22.02.22

Project Number 050MSS	Drawing Number 18_EX202	Rev. C
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Royffe . Flynn



Original console bracket design - left hand of side of unit 74 Middlesex Street to be model for recasting



UPPER FLOOR FACADE AND SHOPFRONT PIER REPAIRS: SPECIFICATION NOTES

5. Joinery
 a) Dormer Windows: Original 6-pane glazing pattern survives on corner, casement probably early 20th century. Allow 100% renewal of all dormer casements in Douglas Fir with new hardwood sub-cills including slimline individual double glazed lights, draught stripping and black iron catches and stays. Reinstate correct 6-pane glazing pattern to larger dormer casements.
 b) 2nd Floor windows: 2-over-2 sash windows, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all box sash frames, sash cords, lead weights, pulleys and retain/reinstate window furniture in accordance with Historic England Guidance "Traditional Windows: Their Care, Repair and Upgrading (2017)". Include new hardwood sub-cills throughout to match original joinery sections. Allow to renew the box sash frame of the reduced corner window to match adjoining details. Allow to replace all window sashes in Douglas Fir to match existing joinery sections and glazing pattern. Glaze new sashes in slimline individual double glazed lights including draught stripping and black iron catches and stays. Adjust lead weights for increased sash weight.
 c) 1st floor windows: twin casements with top-hung over-lights, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all window frames and new hardwood sub-cills to match original joinery sections in accordance with Historic England Guidance "Traditional Windows: Their Care, Repair and Upgrading (2017)". Allow for 100% replacement of lower casements and top-hung lights in Douglas Fir to match existing joinery sections. Glaze in slimline individual double glazed lights including draught stripping and black iron catches and stays.
 d) Decorations: On completion of the repair works, decorate in Dulux Weathershield 3-coat system in accordance with manufacturers recommendations in a stone colour to be agreed.

SHOPFRONT NOTES:
 An original fascia survives behind current box sign. Remove box sign. Allow to carefully remove old metal signage from fascia. Strip and make good timber fascia. Prepare and redecorate in Dulux Weathershield 3 coat system to receive tenant hand painted signage.

Notes

- Dimensions - This drawing provides indicative dimensions only. Do not scale from this drawing. All dimensions to be checked / measured on site. All dimensions in millimetres unless otherwise stated
- All existing removed fixtures and fittings to be retained and handed back to owner unless consent given for disposal
- Projection dims / fascia depth to be verified on site with Architect/EA to suit the console size and shape. Console brackets are to remain prominent, cornice detail should not protrude beyond the console
- Awnings - Maximum height of top of slider bracket is 2100mm. Minimum height of lath from pavement: 2300mm. Minimum setback from curb 500mm. First awning pitch angle and projection is to be reviewed and signed off by Architect/EA - additional chain and fabric to be provided to allow for adjustments
- All leadwork to be in accordance with Lead Sheet Association recommended details
- All joinery are model sections detailed by Conservation Architects, hence no storm grooves, draught strips, seals, beading and EPDM strips are shown etc. These are to be included as required. Shop drawings are to be produced by the Contractor for review and sign off by the EA
- Plywood fascia to be formed from one sheet of plywood where possible, two sheets maximum. Any junctions between boards to be centralised and should not be visible
- All beading to be mitred in corners
- All plywood to be external grade marine ply WBP
- Min 10mm HWD drips and lippings to exposed edges of plywood boards
- Any external boxings to be constructed from external grade marine ply WBP with hardwood lippings to corners
- Glazing to be 10mm laminated glass (6mm to clerestory lights) fixed with timber beads and wash leather between glass and timber
- Doors to be fitted with weather seals and door contacts for security alarm if indicated. Provide wiring inside shopfront frame
- Rebate any conduit for electrical services; shutter, lighting and security alarm. To be concealed
- This drawing is copyright
- Drawings prepared in collaboration with The Regeneration Practice (Registered Conservation Architects)



Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project

Middlesex Street
 Regeneration Programme:
 MAJESTIC LONDON & SANGER -
 1 WENTWORTH STREET

Client

London Borough of Tower Hamlets

Sheet

Proposed Elevation 1

Drawing status

PLANNING

Scale (A3) 1:50 Date 22.02.22

Project Number 050MSS	Drawing Number 18_PR200	Rev. C
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Royffe . Flynn



UPPER FLOOR FACADE AND SHOPFRONT PIER REPAIRS:
SPECIFICATION NOTES

5. Joinery
- a) Dormer Windows: Original 6-pane glazing pattern survives on corner, casement probably early 20th century. Allow 100% renewal of all dormer casements in Douglas Fir with new hardwood sub-cills including slimline individual double glazed lights, draught stripping and black iron catches and stays. Reinstate correct 6-pane glazing pattern to larger dormer casements.
- b) 2nd Floor windows: 2-over-2 sash windows, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all box sash frames, sash cords, lead weights, pulleys and retain/reinstate window furniture in accordance with Historic England Guidance "Traditional Windows: Their Care, Repair and Upgrading (2017). Include new hardwood sub-cills throughout to match original joinery sections. Allow to renew the box sash frame of the reduced corner window to match adjoining details. Allow to replace all window sashes in Douglas Fir to match existing joinery sections and glazing pattern. Glaze new sashes in slimline individual double glazed lights including draught stripping and black iron catches and stays. Adjust lead weights for increased sash weight.
- c) 1st floor windows: twin casements with top-hung over-lights, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all window frames and new hardwood sub-cills to match original joinery sections in accordance with Historic England Guidance "Traditional Windows: Their Care, Repair and Upgrading (2017). Allow for 100% replacement of lower casements and top-hung lights in Douglas Fir to match existing joinery sections. Glaze in slimline individual double glazed lights including draught stripping and black iron catches and stays.
- d) Decorations: On completion of the repair works, decorate in Dulux Weathershield 3-coat system in accordance with manufacturers recommendations in a stone colour to be agreed.

SHOPFRONT NOTES:

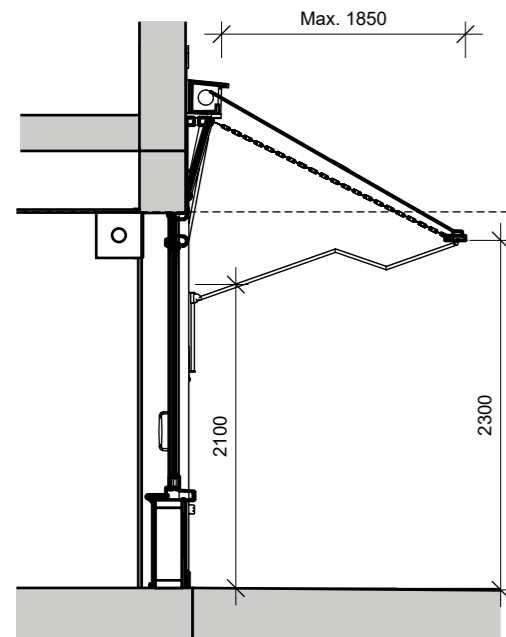
An original fascia survives behind current box sign. Remove box sign. Allow to carefully remove old metal signage from fascia. Strip and make good timber fascia. Prepare and redecorate in Dulux Weathershield 3 coat system to receive tenant hand painted signage.

Notes

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- All leadwork to be in accordance with Lead Sheet Association recommended details
- All joinery are model sections detailed by Conservation Architects, hence no storm grooves, draught strips, seals, beading and EPDM strips are shown etc. These are to be included as required. Shop drawings are to be produced by the Contractor for review and sign off by the EA
- Plywood fascia to be formed from one sheet of plywood where possible, two sheets maximum. Any junctions between boards to be centralised and should not be visible
- All beading to be mitred in corners
- All plywood to be external grade marine ply WBP
- Min 10mm HWD drips and lippings to exposed edges of plywood boards
- Any external boxings to be constructed from external grade marine ply WBP with hardwood lippings to corners
- Glazing to be 10mm laminated glass (6mm to clerestory lights) fixed with timber beads and wash leather between glass and timber
- Doors to be fitted with weather seals and door contacts for security alarm if indicated. Provide wiring inside shopfront frame
- Rebate any conduit for electrical services; shutter, lighting and security alarm. To be concealed
- This drawing is copyright
- Drawings prepared in collaboration with The Regeneration Practice (Registered Conservation Architects)

01 Proposed Elevation - Shutter & Awning Open

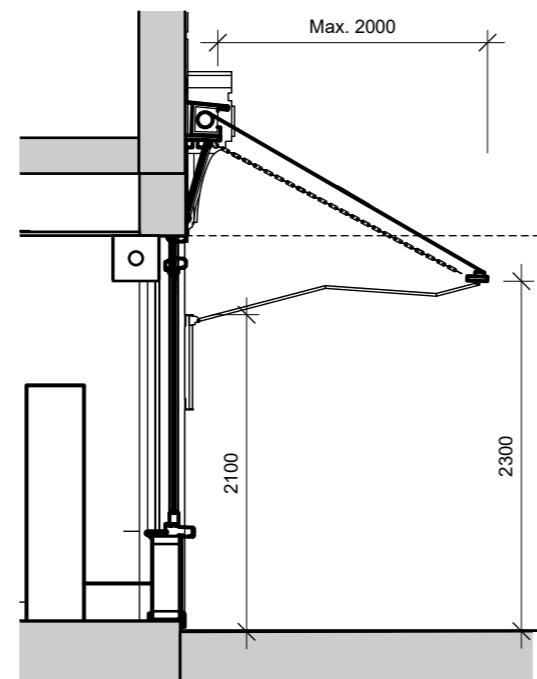
Scale: 1:50



Existing ceiling height

Note: Top of all sliders on shopfront to be aligned. Maximum height of sliders to be 2100mm. Assumed slider height shown only, to be checked and verified by supplier prior to installation.

Note: Distance from existing shopfront to edge of pavement is 2.38m. When open, awning should be 500mm or more back from pavement kerb



Existing ceiling height

Note: Top of all sliders on shopfront to be aligned. Maximum height of sliders to be 2100mm. Assumed slider height shown only, to be checked and verified by supplier prior to installation.

Note: Distance from existing shopfront to edge of pavement is 2.68m. When open, awning should be 500mm or more back from pavement kerb

02 Proposed Section - Middlesex Street

Scale: 1:50

03 Proposed Section - Wentworth Street

Scale: 1:50

Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project

Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client

London Borough of Tower Hamlets

Sheet

Proposed Elevation 1

Drawing status

PLANNING

Scale (A3) 1:50

Date 22.02.22

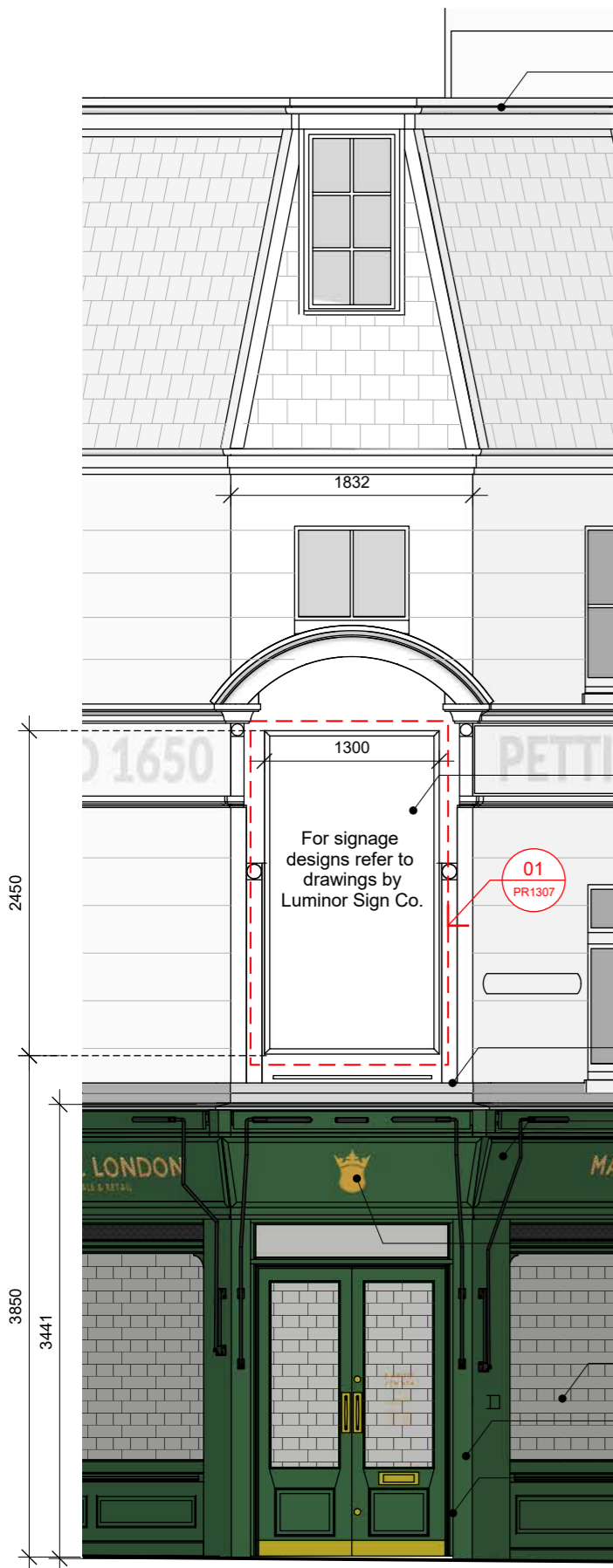
Project Number
050MSS

Drawing Number
18_PR201

Rev.
C

Royffe . Flynn

www.royffeflynn.com



Renew guttering in ogee section cast iron, with connection to existing lead downpipe: RW-01

Upper level mounted board sign to central panel above entrance door (in front of blocked window): SG-06
For signage designs refer to drawings by Luminor Sign Co.: 'Luminor_MSRRP_Majestic_UL'

New lead flashing: LF-01

Uncover / repair original fascia and paint (PT-04) to receive new signage: SG-01

Hand painted signage to painted timber fascia: SG-01B
For signage designs refer to drawings by Luminor Sign Co.: 'Luminor_MSRRP_Majestic_LL'

Install new open grille internal roller shutter: SH-01

Install new traditional hardwood timber shopfront: EWS-01

Paint to timber shopfront, cladding and cornice: PT-01

01 Proposed Elevation - Shutter & Awning Closed
Scale: 1:50



Wall washer uplight to illuminate signage: LG-02

Incorporate hardwood infills to complete and seal gaps between awnings

Install traditional Victorian awning: AW-01
Architect to provide vector drawings prior to fabrication

02 Proposed Elevation - Shutter & Awning Open
Scale: 1:50

UPPER FLOOR FACADE AND SHOPFRONT PIER REPAIRS: SPECIFICATION NOTES

5. Joinery
- a) Dormer Windows: Original 6-pane glazing pattern survives on corner, casement probably early 20th century. Allow 100% renewal of all dormer casements in Douglas Fir with new hardwood sub-cills including slimline individual double glazed lights, draught stripping and black iron catches and stays. Reinstate correct 6-pane glazing pattern to larger dormer casements.
- b) 2nd Floor windows: 2-over-2 sash windows, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all box sash frames, sash cords, lead weights, pulleys and retain/reinstate window furniture in accordance with Historic England Guidance 'Traditional Windows: Their Care, Repair and Upgrading (2017)'. Include new hardwood sub-cills throughout to match original joinery sections. Allow to renew the box sash frame of the reduced corner window to match adjoining details. Allow to replace all window sashes in Douglas Fir to match existing joinery sections and glazing pattern. Glaze new sashes in slimline individual double glazed lights including draught stripping and black iron catches and stays. Adjust lead weights for increased sash weight.
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- d) Decorations: On completion of the repair works, decorate in Dulux Weathershield 3-coat system in accordance with manufacturers recommendations in a stone colour to be agreed.

SHOPFRONT NOTES:

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5.	All leadwork to be in accordance with Lead Sheet Association recommended details
6.	All joinery are model sections detailed by Conservation Architects, hence no storm grooves, draught strips, seals, beading and EPDM strips are shown etc. These are to be included as required. Shop drawings are to be produced by the Contractor for review and sign off by the EA
7.	Plywood fascia to be formed from one sheet of plywood where possible, two sheets maximum. Any junctions between boards to be centralised and should not be visible
8.	All beading to be mitred in corners
9.	All plywood to be external grade marine ply WBP
10.	Min 10mm HWD drips and lippings to exposed edges of plywood boards
11.	Any external boxings to be constructed from external grade marine ply WBP with hardwood lippings to corners
12.	Glazing to be 10mm laminated glass (6mm to clerestory lights) fixed with timber beads and wash leather between glass and timber
13.	Doors to be fitted with weather seals and door contacts for security alarm if indicated. Provide wiring inside shopfront frame
14.	Rebate any conduit for electrical services; shutter, lighting and security alarm. To be concealed
15.	This drawing is copyright
16.	Drawings prepared in collaboration with The Regeneration Practice (Registered Conservation Architects)



Revisions			
Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project
**Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET**

Client
London Borough of Tower Hamlets

Sheet
Proposed Elevation 2

Drawing status
PLANNING

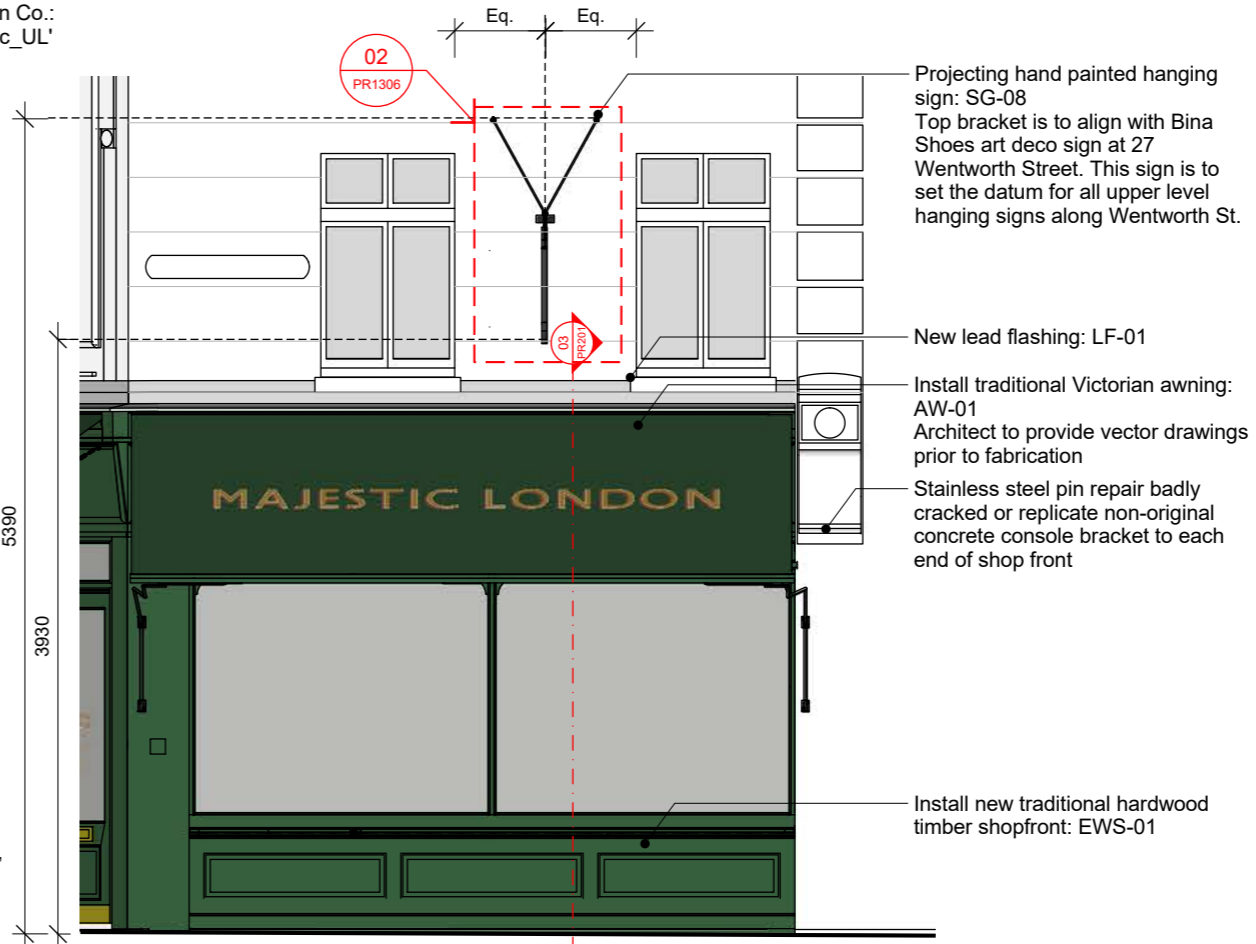
Scale (A3) 1:50 Date 22.02.22

Project Number 050MSS	Drawing Number 18_PR202	Rev. C
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Royffe . Flynn
www.royffeflynn.com



01 Proposed Elevation - Shutter & Awning Closed
Scale: 1:50



02 Proposed Elevation - Shutter & Awning Open
Scale: 1:50

UPPER FLOOR FACADE AND SHOPFRONT PIER REPAIRS: SPECIFICATION NOTES

5. Joinery
 a) Dormer Windows: Original 6-pane glazing pattern survives on corner, casement probably early 20th century. Allow 100% renewal of all dormer casements in Douglas Fir with new hardwood sub-cills including slimline individual double glazed lights, draught stripping and black iron catches and stays. Reinstate correct 6-pane glazing pattern to larger dormer casements.
 b) 2nd Floor windows: 2-over-2 sash windows, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all box sash frames, sash cords, lead weights, pulleys and retain/reinstate window furniture in accordance with Historic England Guidance 'Traditional Windows: Their Care, Repair and Upgrading (2017)'. Include new hardwood sub-cills throughout to match original joinery sections. Allow to renew the box sash frame of the reduced corner window to match adjoining details. Allow to replace all window sashes in Douglas Fir to match existing joinery sections and glazing pattern. Glaze new sashes in slimline individual double glazed lights including draught stripping and black iron catches and stays. Adjust lead weights for increased sash weight.
 c) 1st floor windows: twin casements with top-hung over-lights, probably early 20th century. A detailed inspection could not be made. Allow for a careful conservation repair and refurbishment of all window frames and new hardwood sub-cills to match original joinery sections in accordance with Historic England Guidance 'Traditional Windows: Their Care, Repair and Upgrading (2017)'. Allow for 100% replacement of lower casements and top-hung lights in Douglas Fir to match existing joinery sections. Glaze in slimline individual double glazed lights including draught stripping and black iron catches and stays.
 d) Decorations: On completion of the repair works, decorate in Dulux Weathershield 3-coat system in accordance with manufacturers recommendations in a stone colour to be agreed.

SHOPFRONT NOTES:
 An original fascia survives behind current box sign. Remove box sign. Allow to carefully remove old metal signage from fascia. Strip and make good timber fascia. Prepare and redecorate in Dulux Weathershield 3 coat system to receive tenant hand painted signage.

Notes

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- Rebate any conduit for electrical services; shutter, lighting and security alarm. To be concealed
- This drawing is copyright
- Drawings prepared in collaboration with The Regeneration Practice (Registered Conservation Architects)



Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project
 Middlesex Street
 Regeneration Programme:
 MAJESTIC LONDON & SANGER -
 1 WENTWORTH STREET

Client
 London Borough of Tower Hamlets

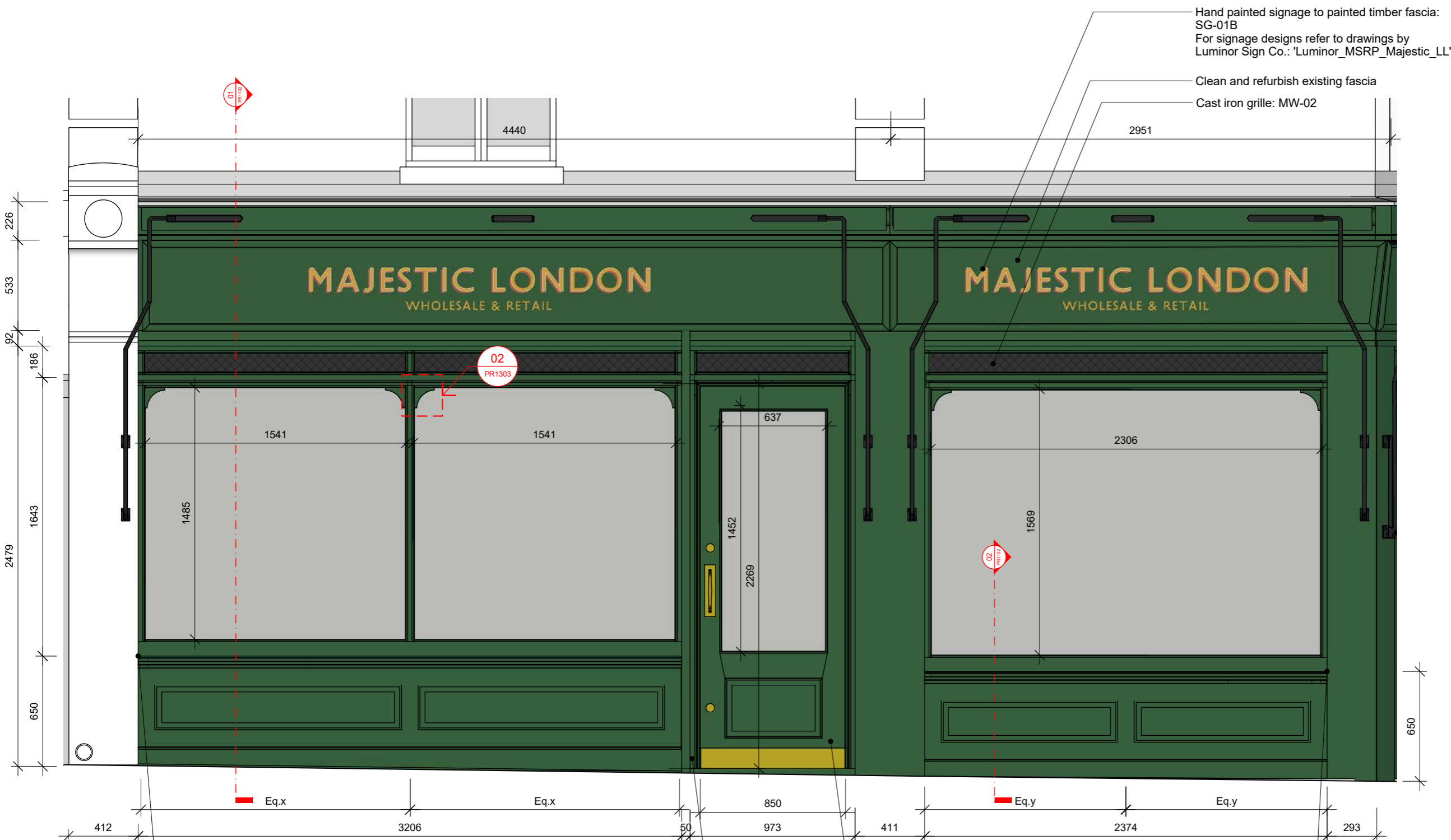
Sheet
 Proposed Elevation 3

Drawing status
PLANNING

Scale (A3) 1:50 Date 22.02.22

Project Number 050MSS	Drawing Number 18_PR203	Rev. C
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Royffe . Flynn



01 Proposed Shop Front Elevation
Scale: 1:25

Average stallriser height to be 650mm from ground to top of cill. Cill height for this section of glazing to be set out from left hand side adjacent to 74 Middlesex Street

Single glazed hardwood timber door: DR-01
Install new traditional hardwood timber shopfront: EWS-01

Average stallriser height to be 650mm from ground to top of cill. Sill heights for this section of glazing and elevation facing Wentworth Street to be same level and set out from this point immediately left of main entrance on Middlesex Street

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C	27.04.22	PLANNING	EF

Project
Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

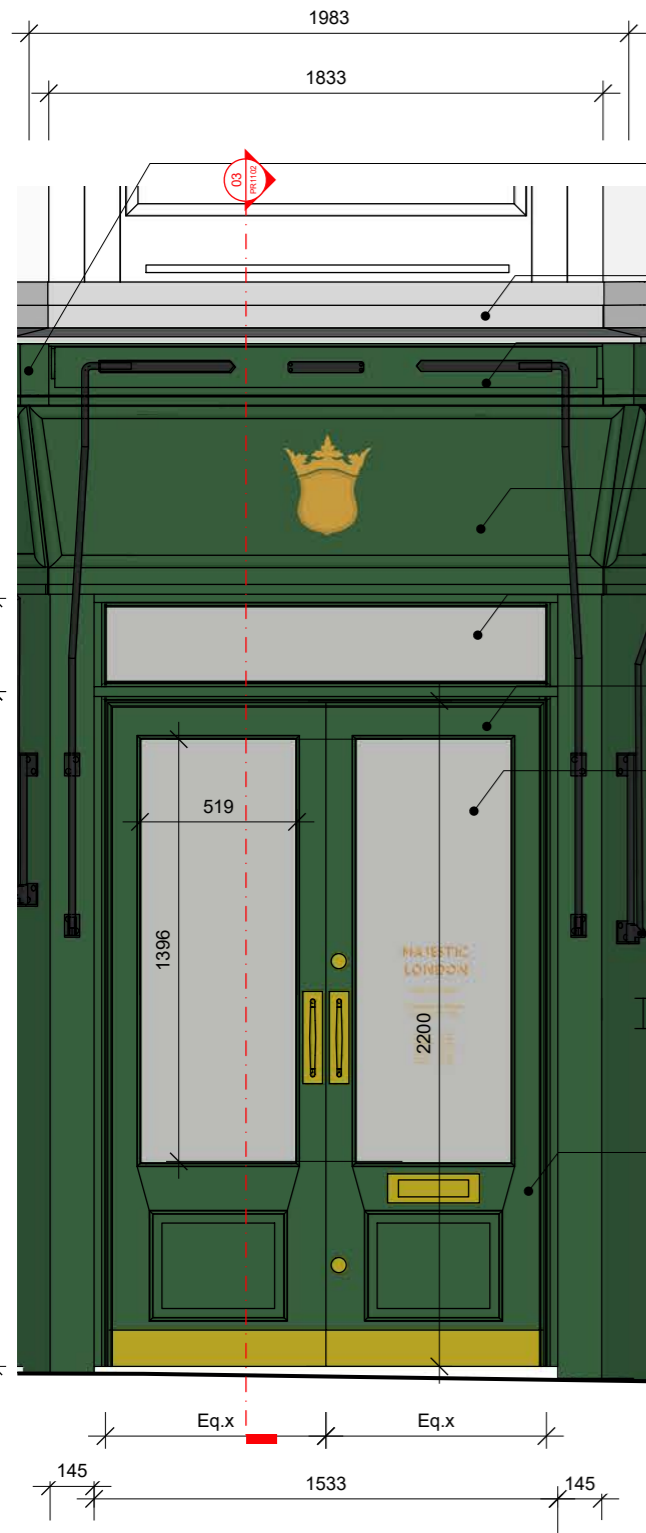
Client
London Borough of Tower Hamlets

Sheet
Proposed Elevation 1 Detail

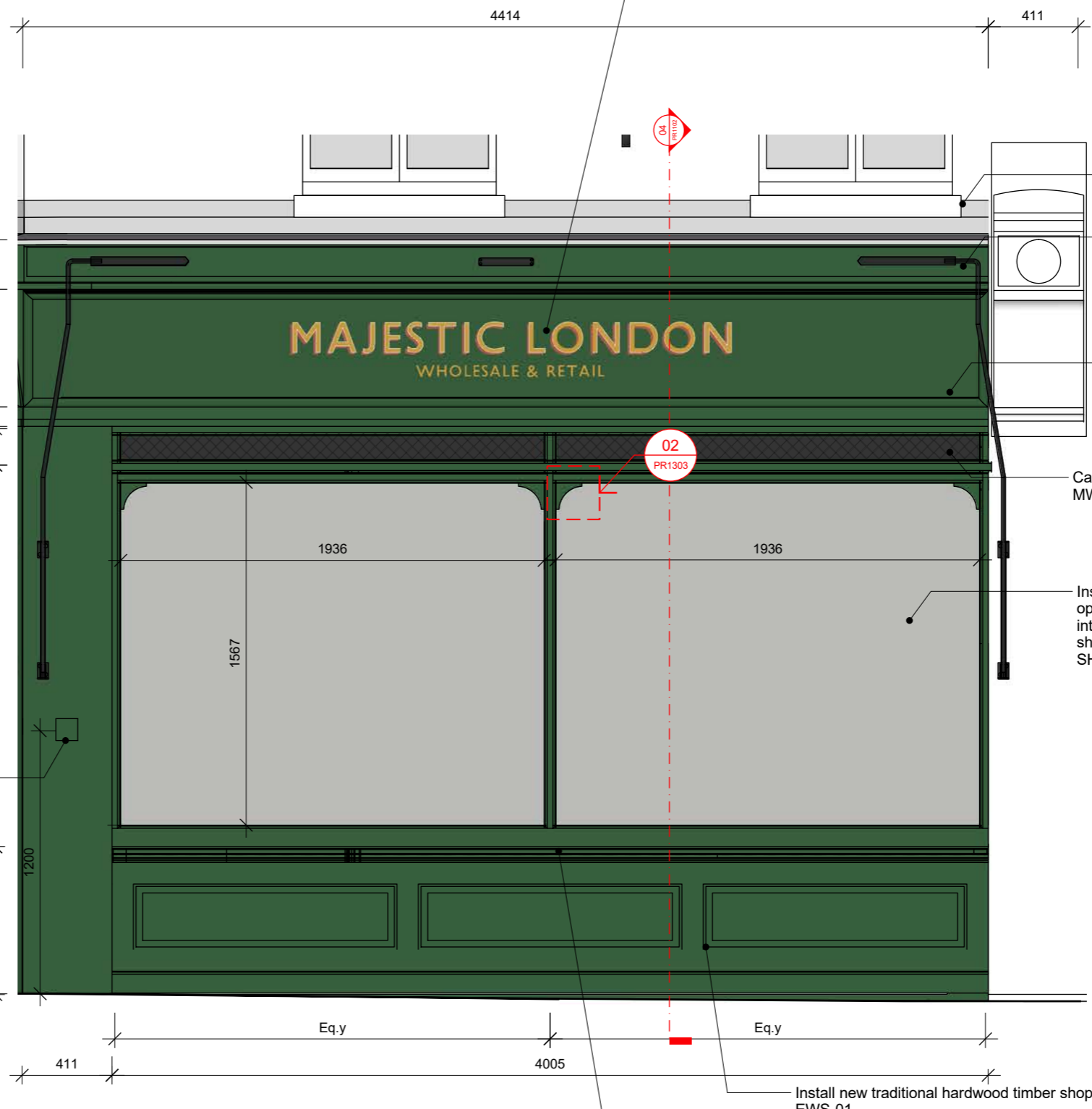
Drawing status
PLANNING

Scale (A3) 1:25 Date 22.02.22

Project Number 050MSS	Drawing Number 18_PR1100	Rev. C
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01 Proposed Shop Front Elevation
Scale: 1:25



02 Proposed Shop Front Elevation
Scale: 1:25

Hand painted signage to painted timber fascia:
SG-01B
For signage designs refer to drawings by
Luminor Sign Co.: 'Luminor_MS RP_Majestic_LL'

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Revisions

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C	27.04.22	PLANNING	EF

Project

Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client

London Borough of Tower Hamlets

Sheet

Proposed Elevation 2 & 3 Detail

Drawing status

PLANNING

Scale (A3) 1:25 Date 22.02.22

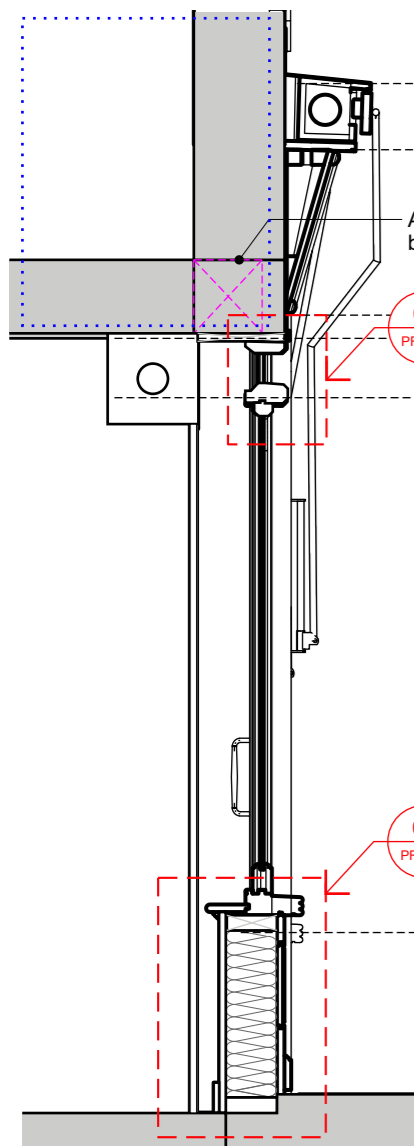
Project Number 050MSS	Drawing Number 18_PR1101	Rev. C
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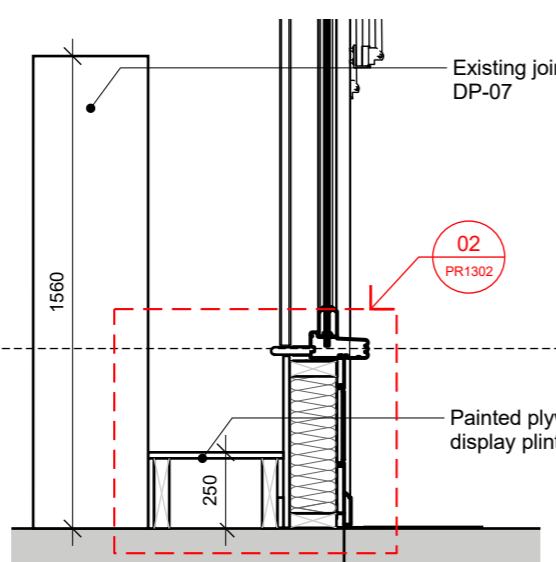
www.royffeflynn.com

Install new traditional hardwood timber shopfront:
EWS-01

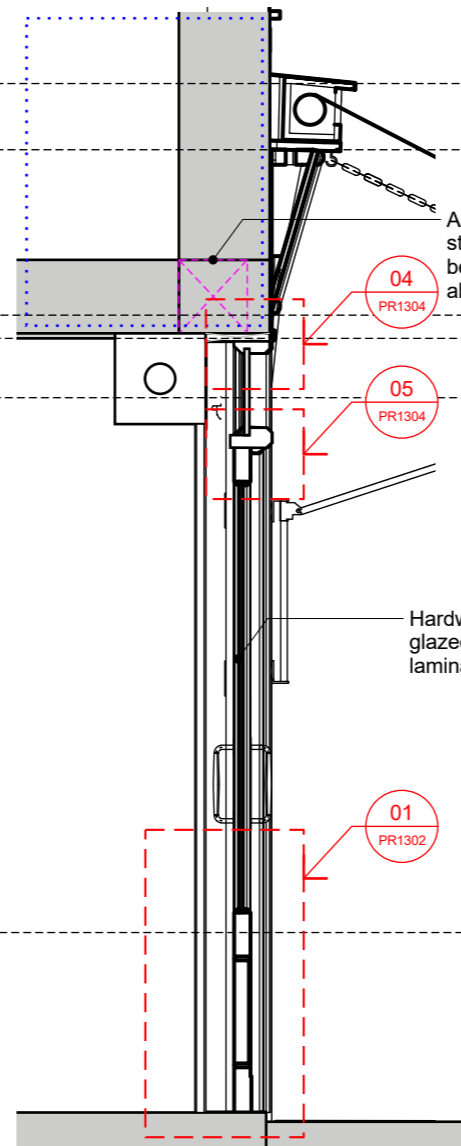
Average stallriser height to be 650mm
from ground to top of cill. Sill heights for this
elevation and section of glazing immediately
left of main entrance are to be same level and
set out from the left of main entrance



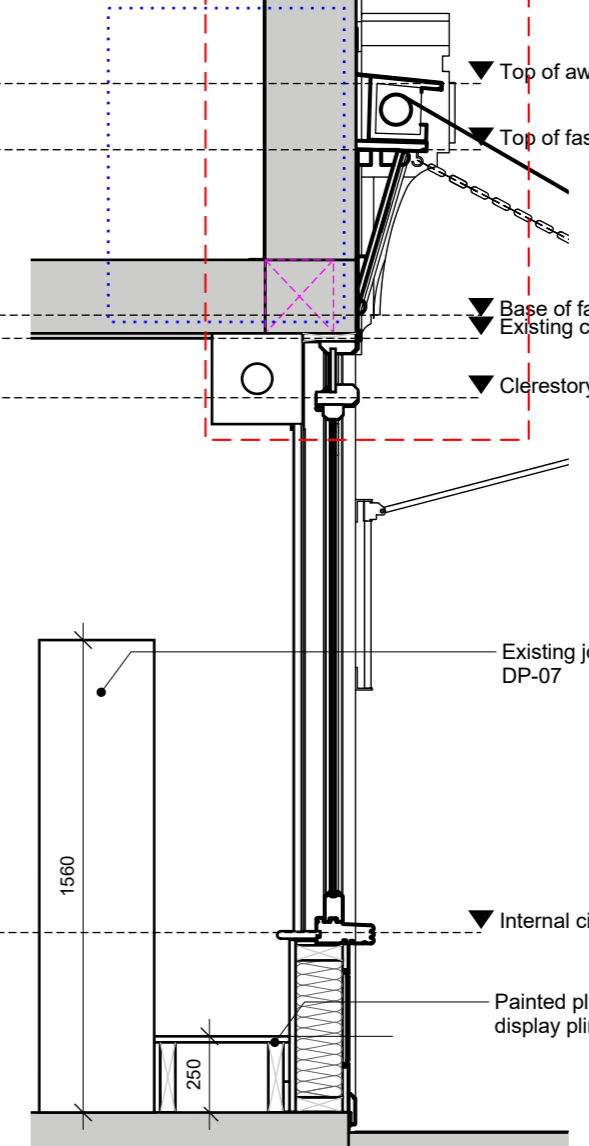
01 Proposed Section - Set Back Roller Shutter (Middlesex Street)
Scale: 1:25



02 Proposed Section - Display Storage
Scale: 1:25



03 Proposed Section - Entrance Door
Scale: 1:25



04 Proposed Section - Display Storage (Wentworth Street)
Scale: 1:25

Notes

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Area in abeyance
 Breather membrane lapped and fixed to studwork on outside face

0 0.25m 0.5m 1m

Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project
**Middlesex Street
 Regeneration Programme:
 MAJESTIC LONDON & SANGER -
 1 WENTWORTH STREET**

Client
London Borough of Tower Hamlets

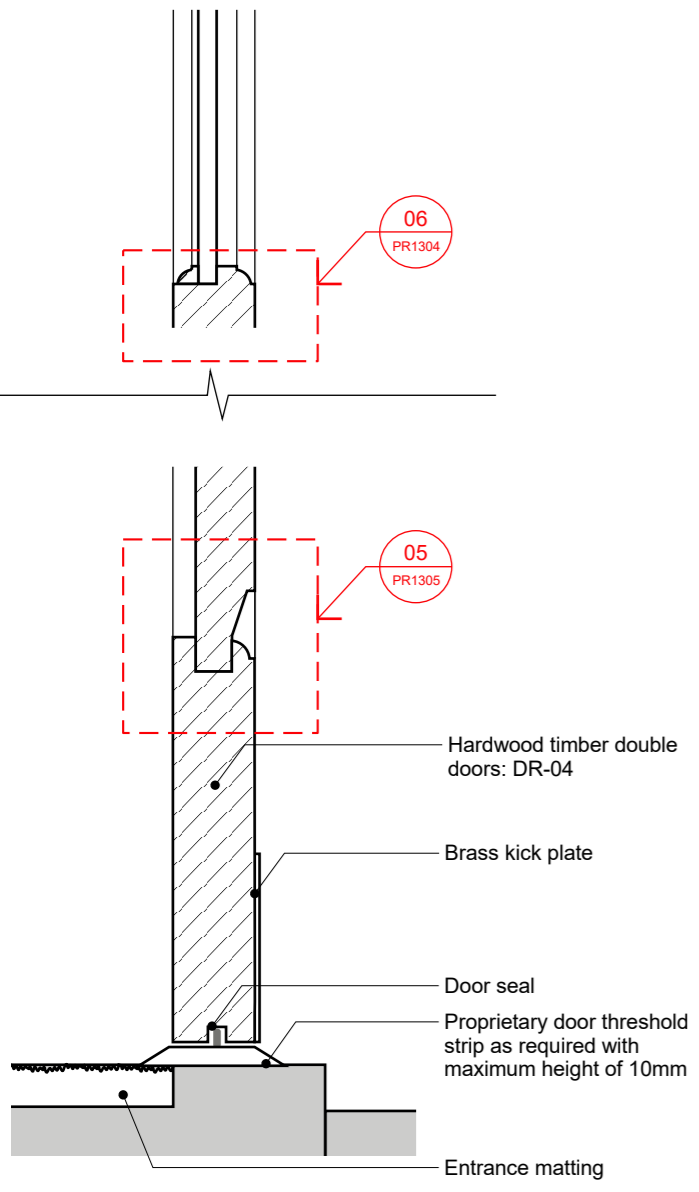
Sheet
Proposed Section Details

Drawing status
PLANNING

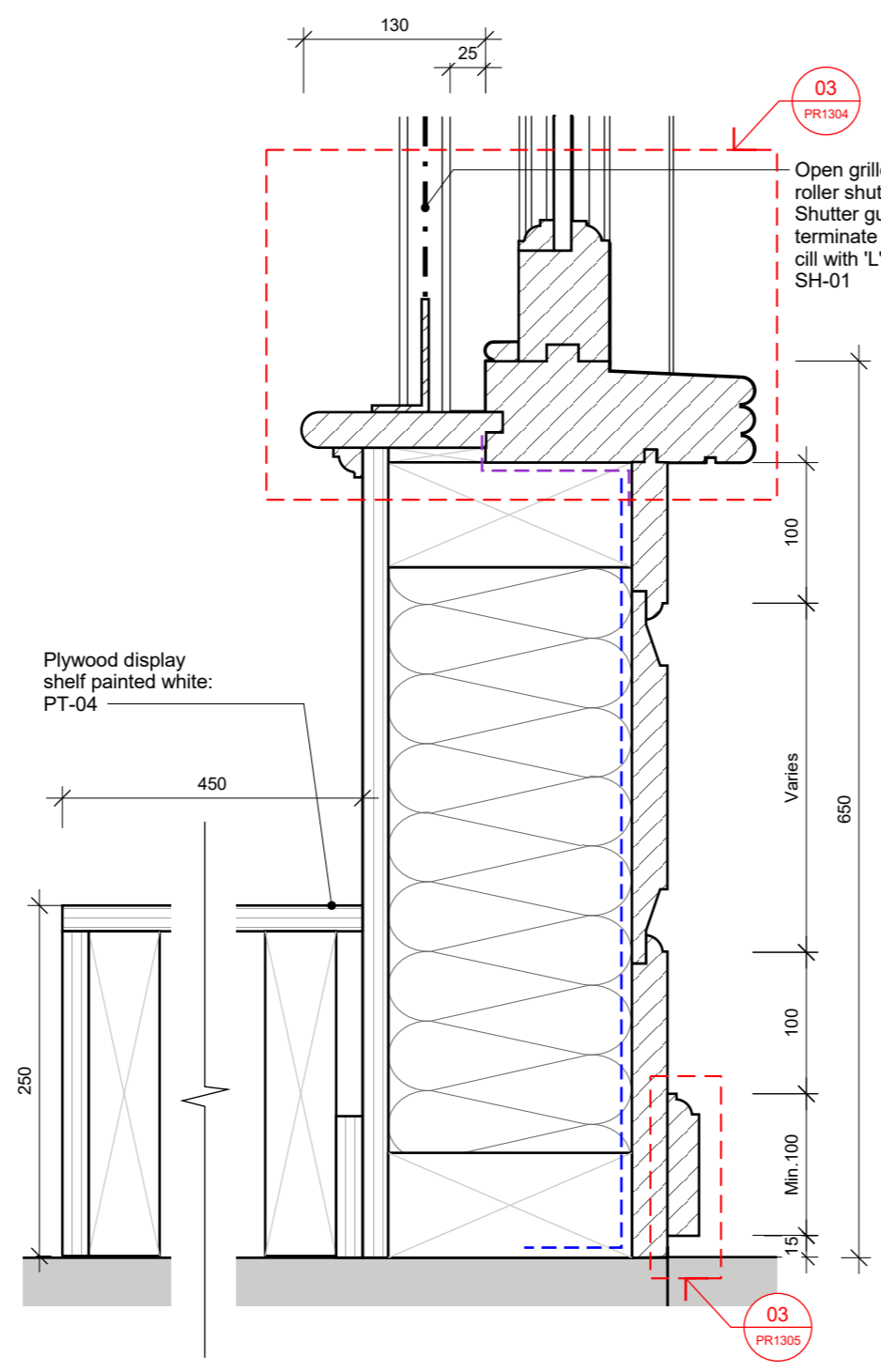
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Project Number 050MSS	Drawing Number 18_PR1102	Rev. C
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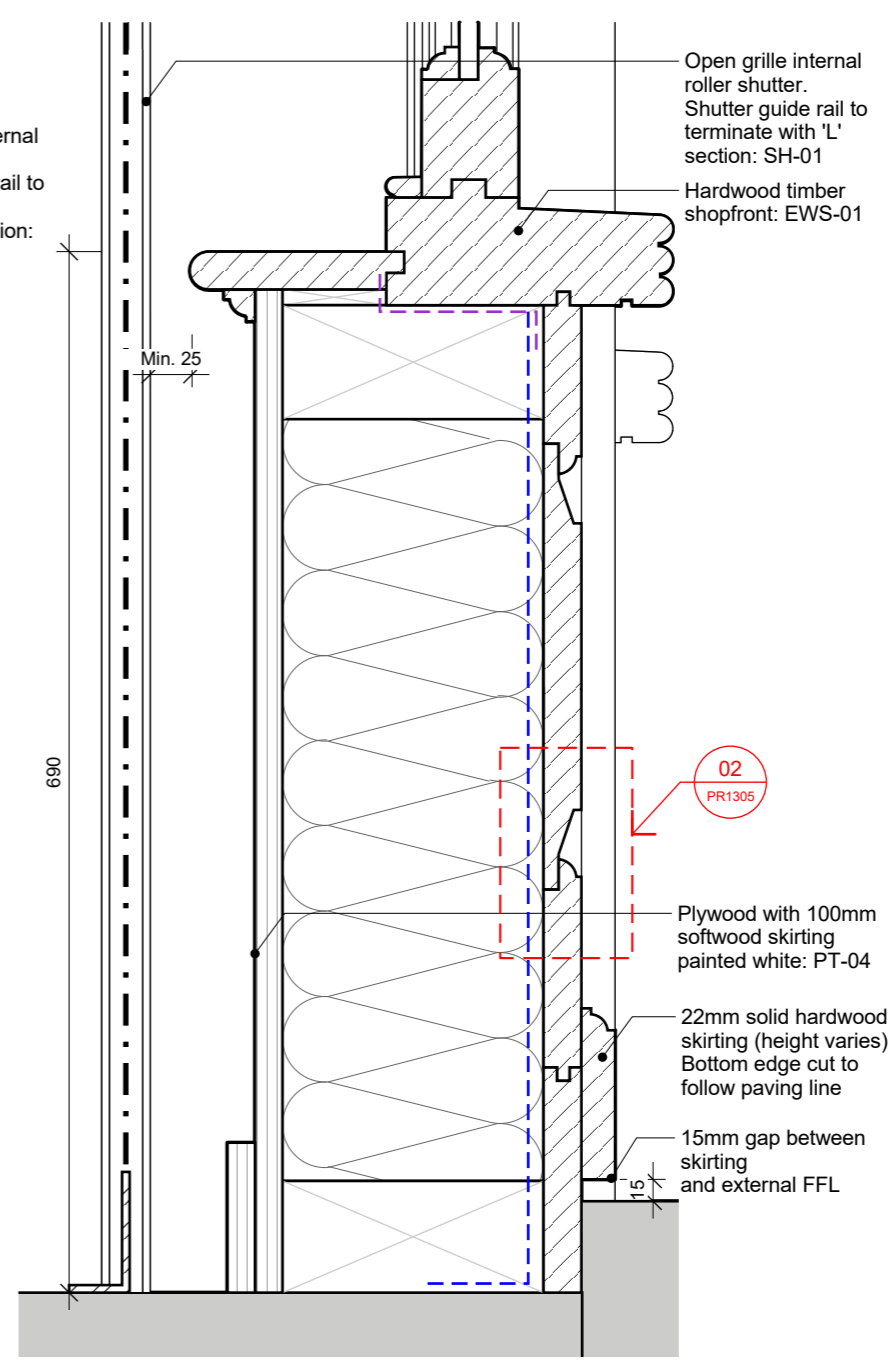
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01 DETAIL - Entrance Door Threshold
Scale: 1:5



02 DETAIL - Stallriser & Display Boxing
Scale: 1:5



03 DETAIL - Stallriser & Roller Shutter
Scale: 1:5

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--- Breather membrane lapped and fixed to studwork on outside face
- - - DPC

Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project

Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client

London Borough of Tower Hamlets

Sheet

Typical Details 2

Drawing status

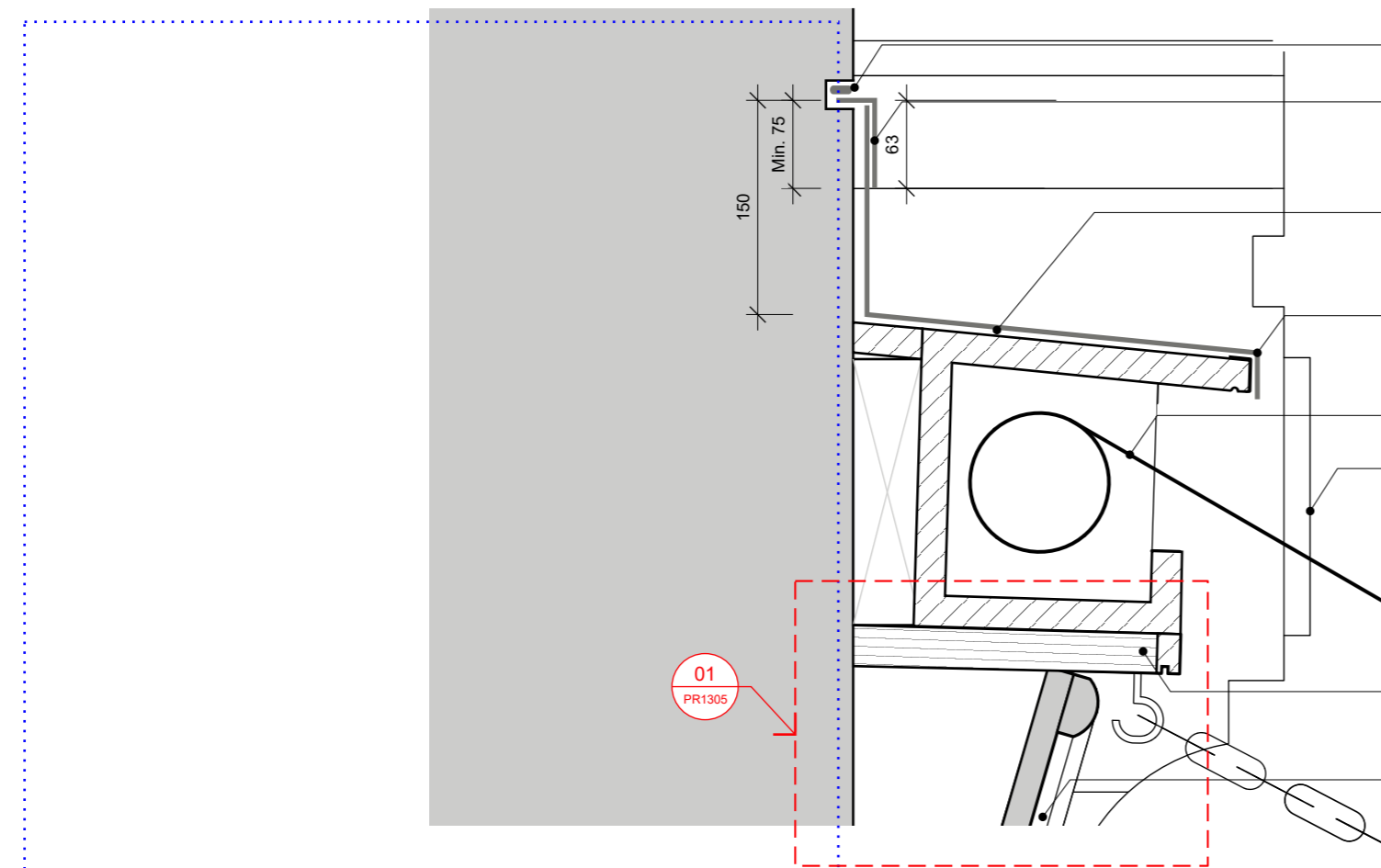
PLANNING

Scale (A3) 1:5 Date 05.04.22

Project Number	Drawing Number	Rev.
050MSS	18_PR1302	C

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Lead wedge to flashing joint. Detailing as per LSA guidance and standards: LF-01

Code 4 lead cover flashing to overlap lead covering by no less than 75mm. Detailing as per LSA guidance and standards: LF-01

Code 4 lead covering to projecting cornice with 150mm upstand and geotextile underlay. Seal junction of cornice and cornice with lead. Top set to minimum of 8 degree falls

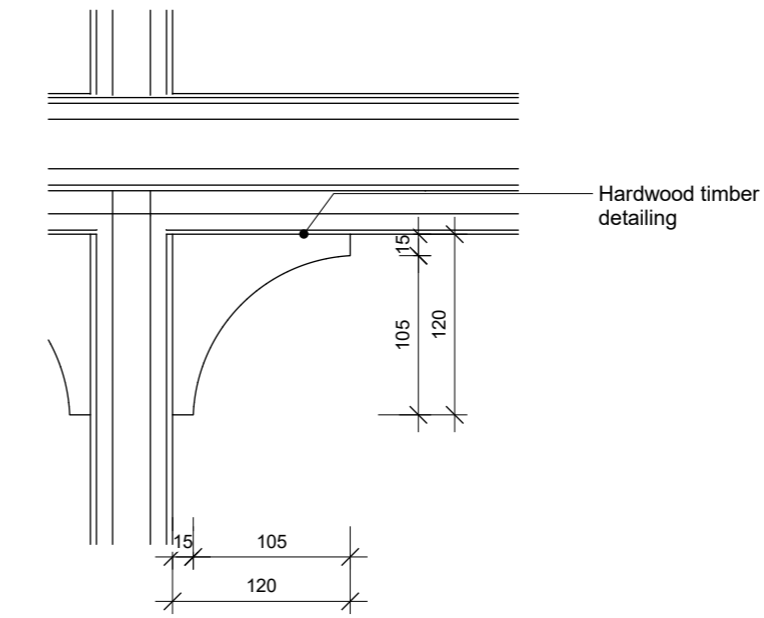
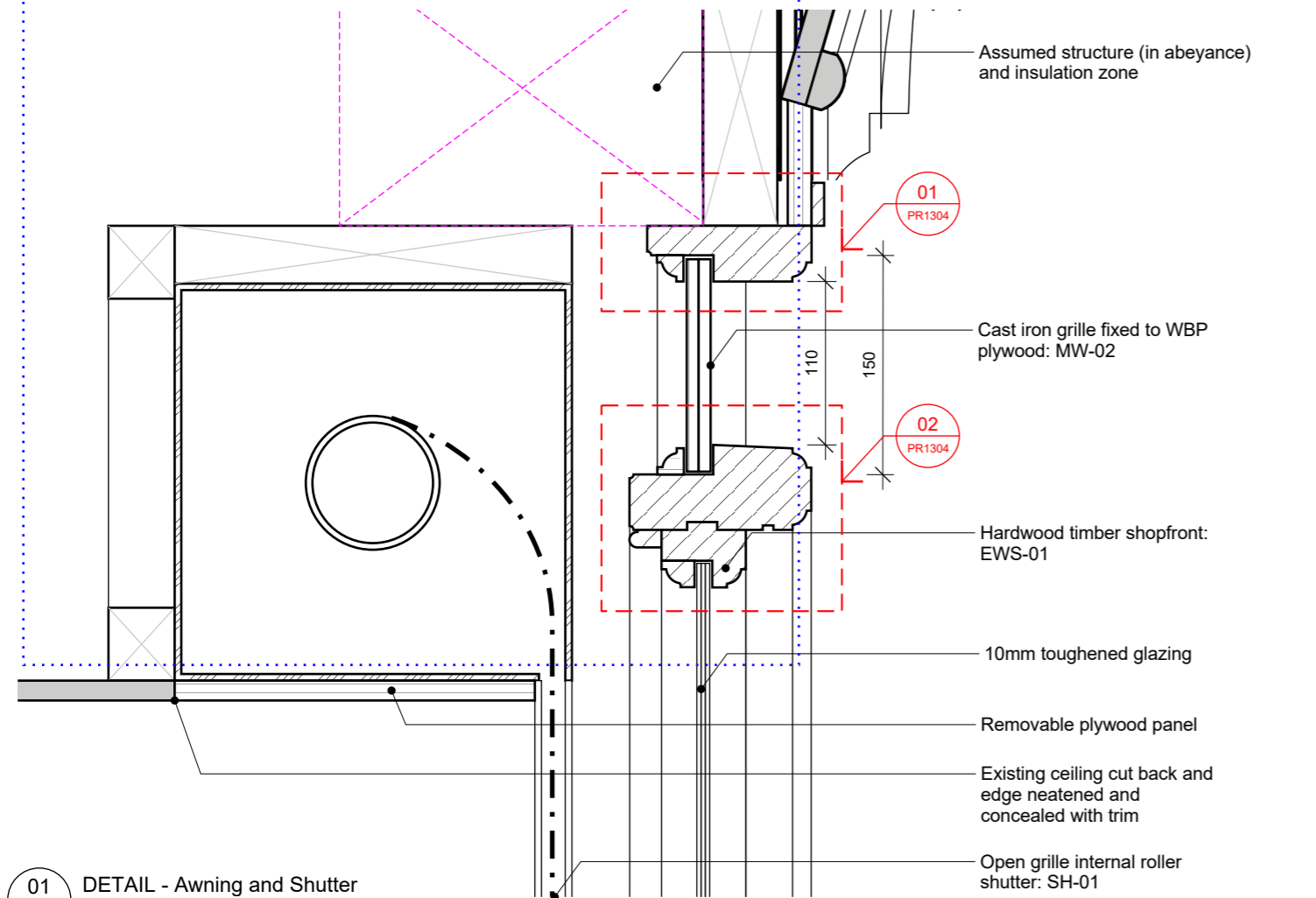
Code 4 lead weathering with welted joints with SS clips for continuous edging strip and drip detail. Detailing as per LSA guidance and standards: LF-01

Victorian style awning: AW-01

Approx. projection of existing masonry concrete

WBP marine painted plywood with hardwood lipping: PT-01

Uncover original fascia, clean and redecorate to receive new signage



02 DETAIL - Glazing Detail
Scale: 1:5

01 DETAIL - Awning and Shutter
Scale: 1:5

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Area in abeyance

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Revisions

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A	31.03.22	DRAFT PLANNING	EF
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C	27.04.22	PLANNING	EF

Project

Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client

London Borough of Tower Hamlets

Sheet

Typical Details 3

Drawing status

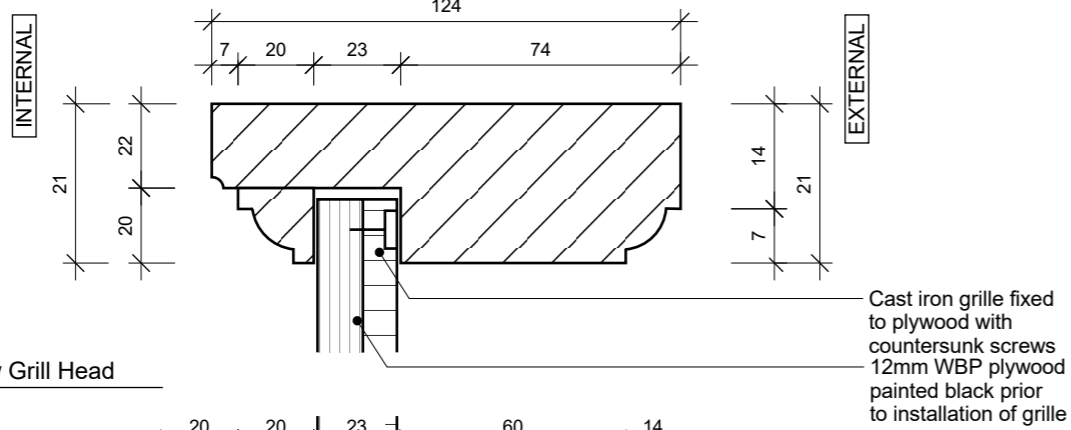
PLANNING

Scale (A3) 1:5 Date 05.04.22

Project Number	Drawing Number	Rev.
050MSS	18_PR1303	C

01 DETAIL - Window Grill Head

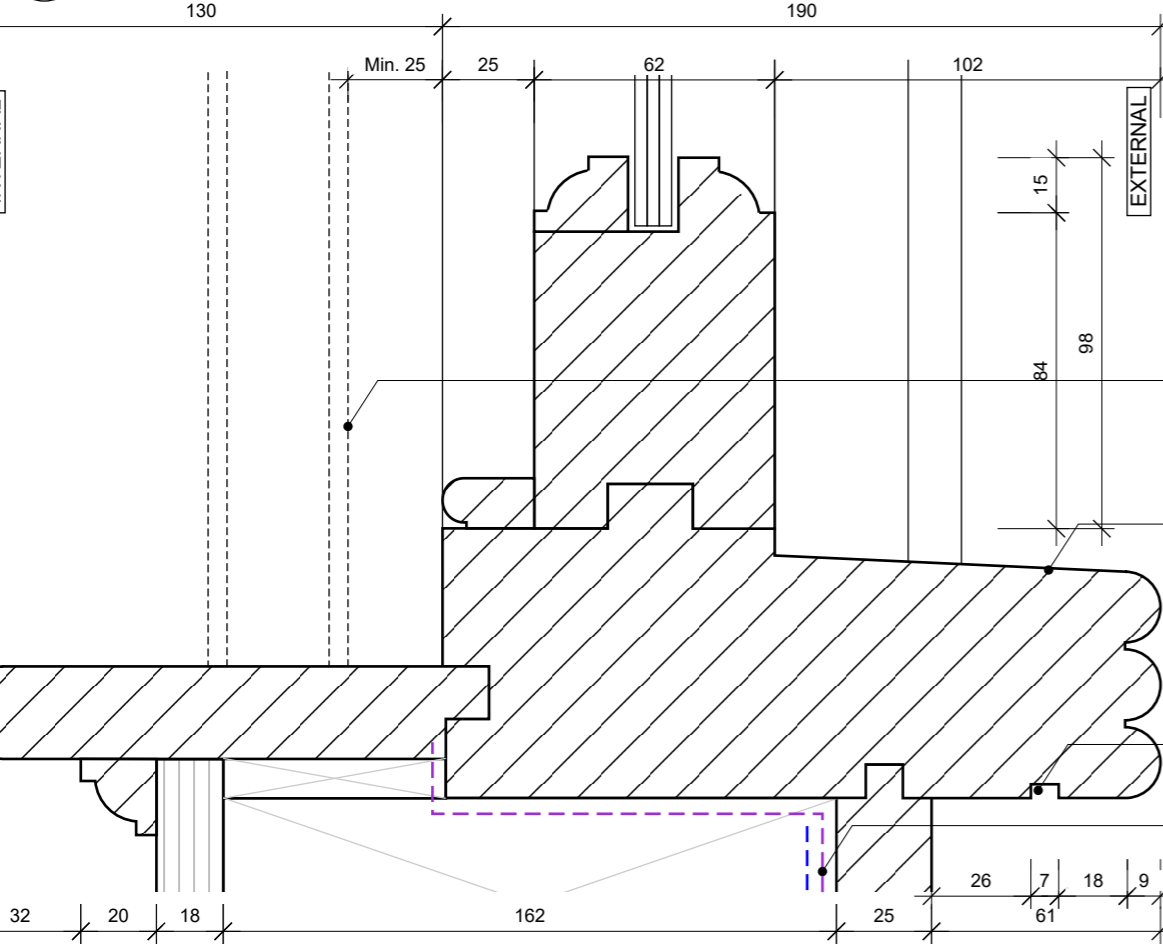
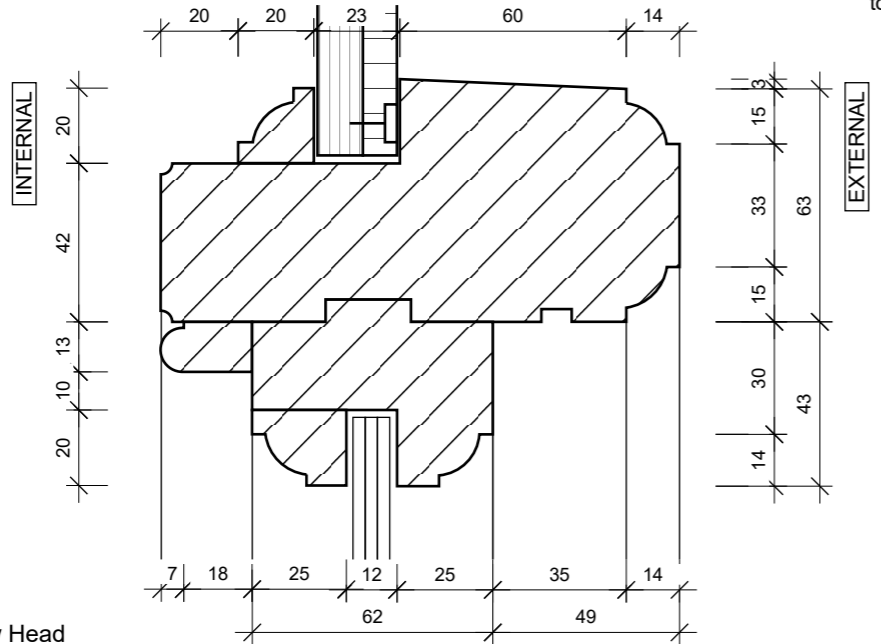
Scale: 1:2



Cast iron grille fixed to plywood with countersunk screws 12mm WBP plywood painted black prior to installation of grille

02 DETAIL - Window Head

Scale: 1:2

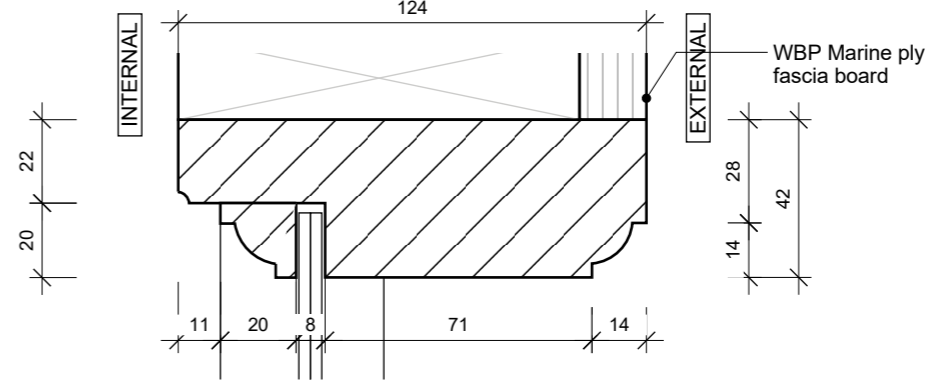


03 DETAIL - Window Sill

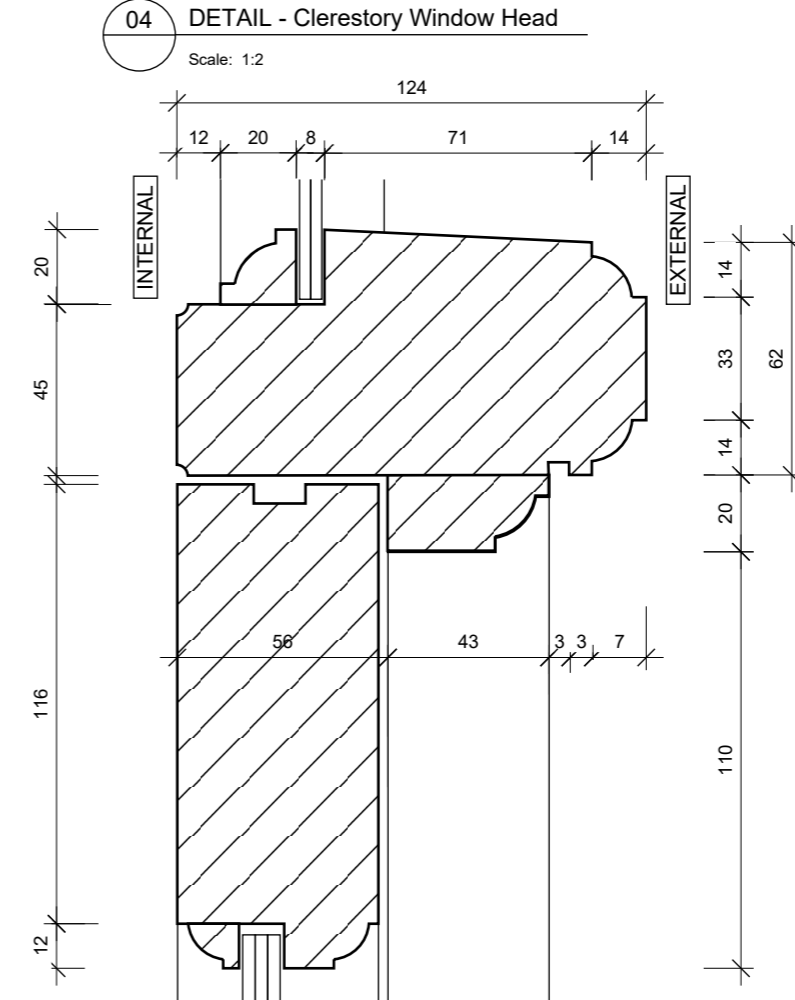
Scale: 1:2

04 DETAIL - Clerestory Window Head

Scale: 1:2

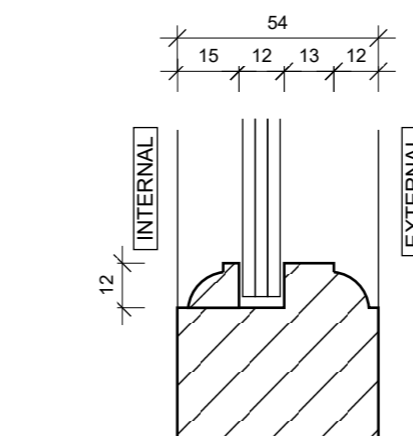


WBP Marine ply fascia board



05 DETAIL - Door Head

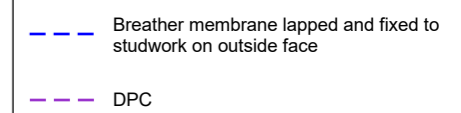
Scale: 1:2



06 DETAIL - Glazed Light Door

Scale: 1:2

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Revisions

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B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project
**Middlesex Street
 Regeneration Programme:
 MAJESTIC LONDON & SANGER -
 1 WENTWORTH STREET**

Client
London Borough of Tower Hamlets

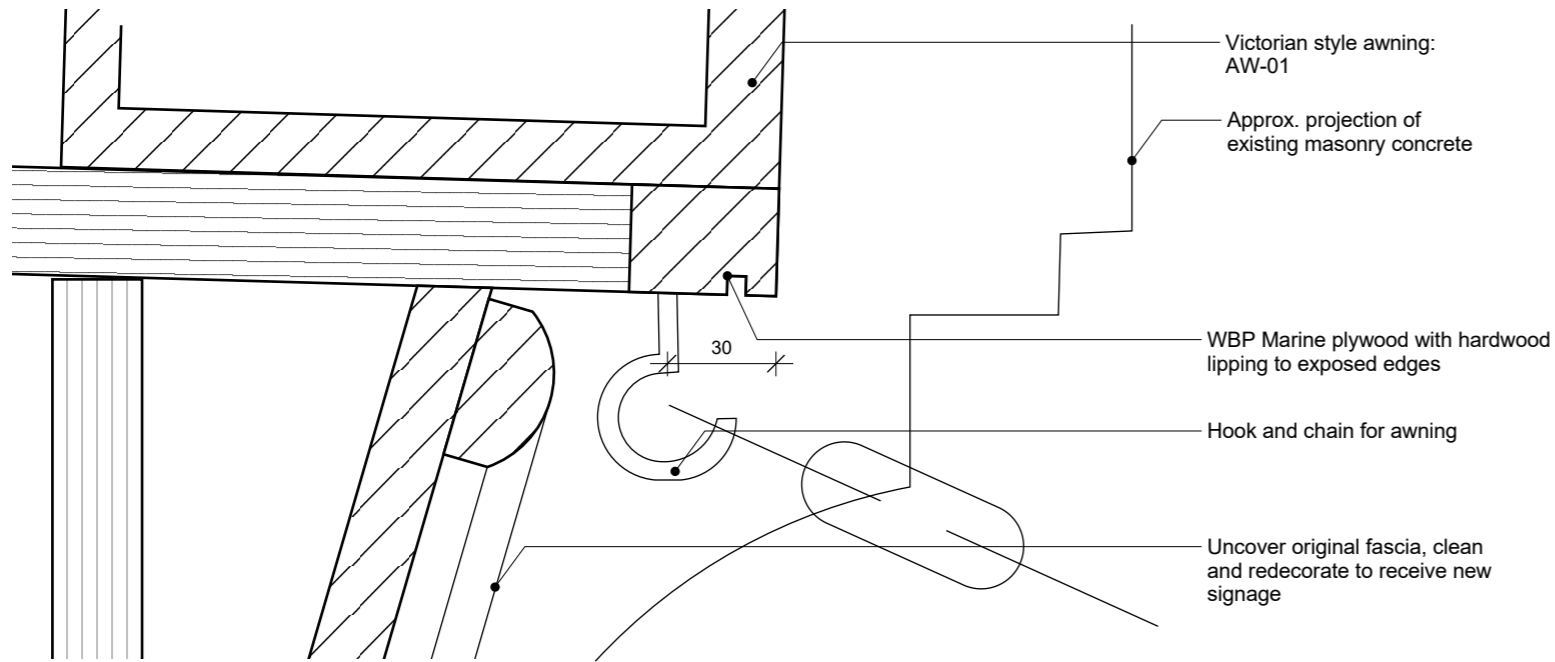
Sheet
Typical Joinery Details 1

Drawing status
PLANNING

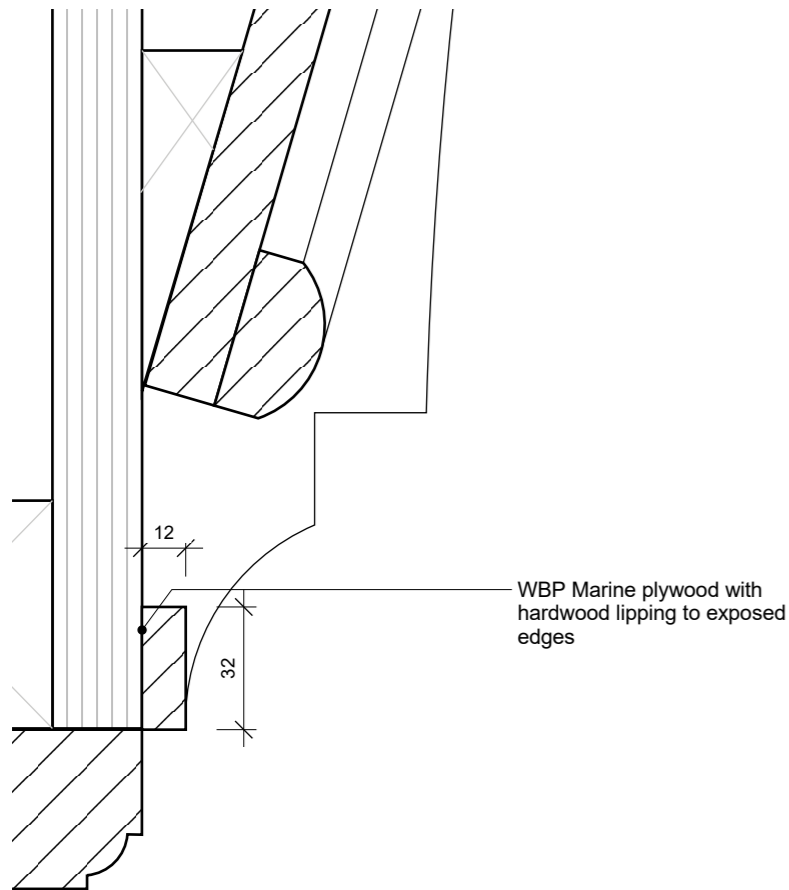
Scale (A3) 1:2 Date 05.04.22

Project Number 050MSS	Drawing Number 18_PR1304	Rev. C
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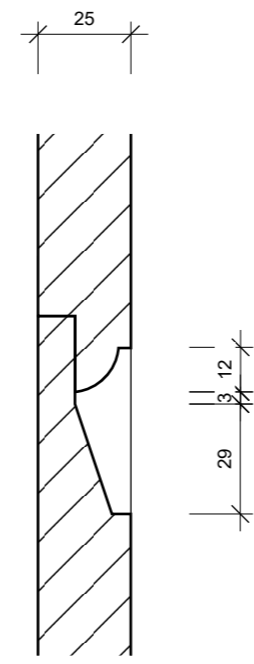
Royffe . Flynn



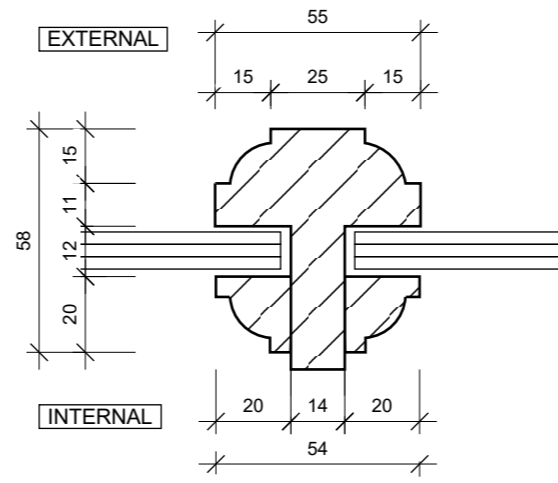
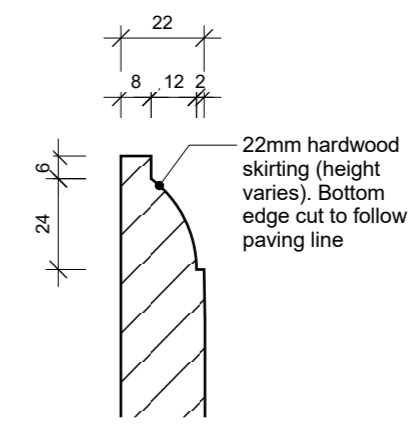
01 DETAIL - Shopfront Fascia
Scale: 1:2



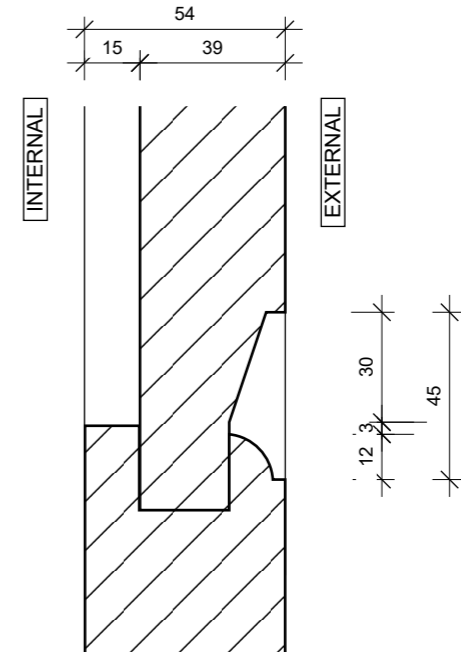
02 DETAIL - Stallriser Skirting
Scale: 1:2



03 DETAIL - Stallriser Skirting
Scale: 1:2



04 DETAIL - Window Mullion
Scale: 1:2



05 DETAIL - Lower Door Panel
Scale: 1:2

- Notes**
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 - Doors to be fitted with weather seals and door contacts for security alarm if indicated. Provide wiring inside shopfront frame
 - Rebate any conduit for electrical services; shutter, lighting and security alarm. To be concealed
 - This drawing is copyright
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Revisions

Rev	Date	Description	Approved
A	31.03.22	DRAFT PLANNING	EF
B	08.04.22	DRAFT PLANNING	EF
C	27.04.22	PLANNING	EF

Project

Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET

Client

London Borough of Tower Hamlets

Sheet

Typical Joinery Details 2

Drawing status

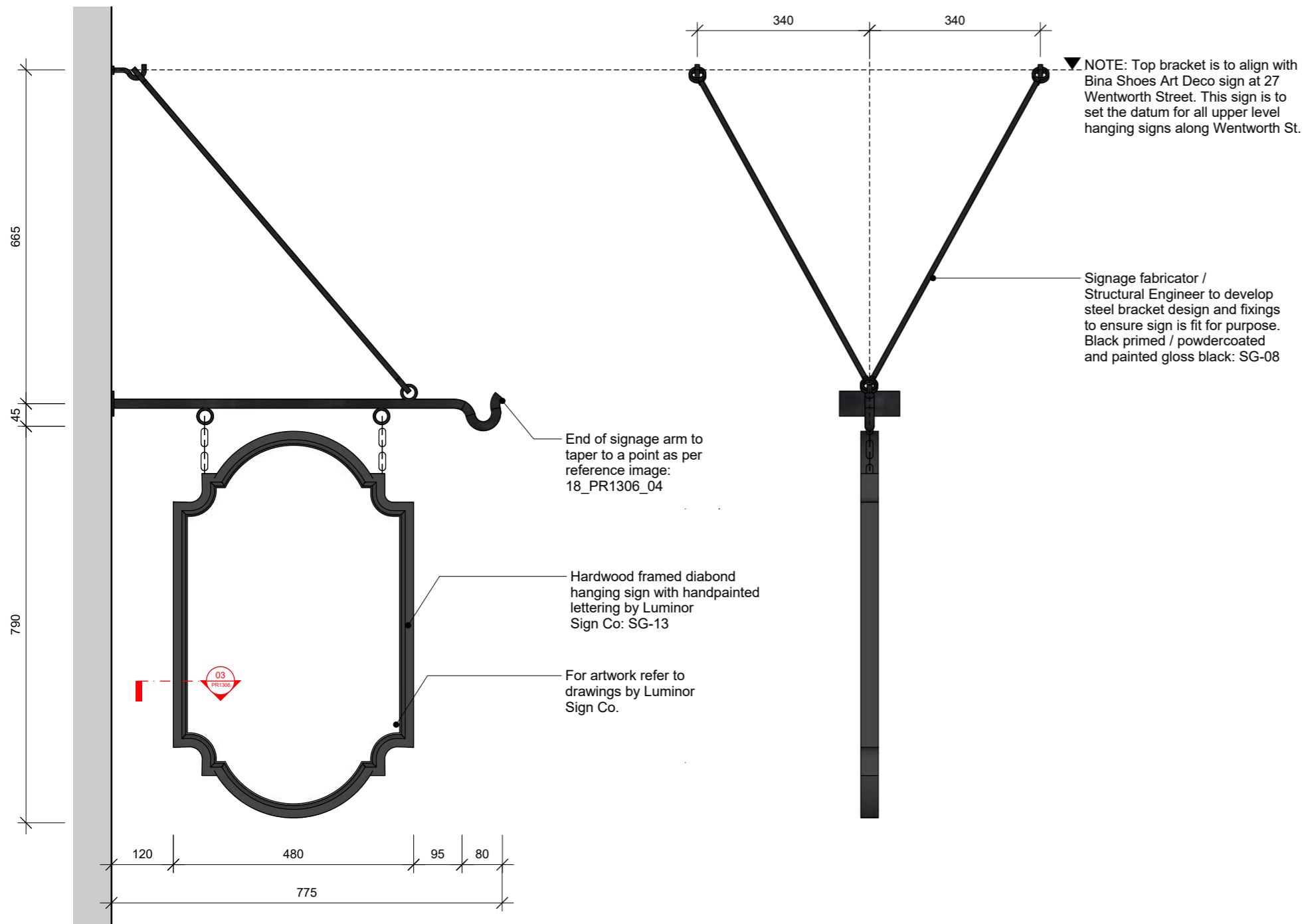
PLANNING

Scale (A3) 1:2 Date 05.04.22

Project Number 050MSS	Drawing Number 18_PR1305	Rev. C
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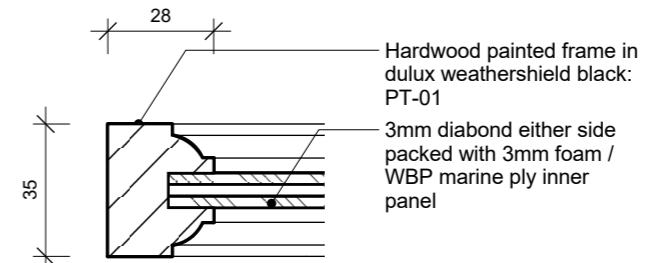
www.royffeflynn.com



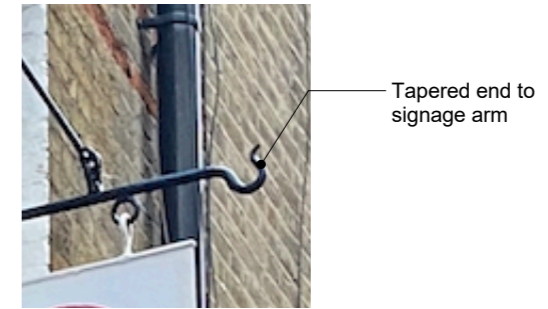
01 DETAIL - Side Elevation
Scale: 1:10

02 DETAIL - Front Elevation
Scale: 1:10

NOTE:
This drawing is Design Intent only. To be reviewed by signage fabricator and Structural Engineer to ensure sign is robust and fit for purpose



03 DETAIL - Hardwood Framing
Scale: 1:2



04 REFERENCE - Hanging Sign
Not to scale



05 REFERENCE - Hanging Sign
Not to scale

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Rev	Date	Description	Approved
A	27.04.22	PLANNING	EF

Project
**Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET**

Client
London Borough of Tower Hamlets

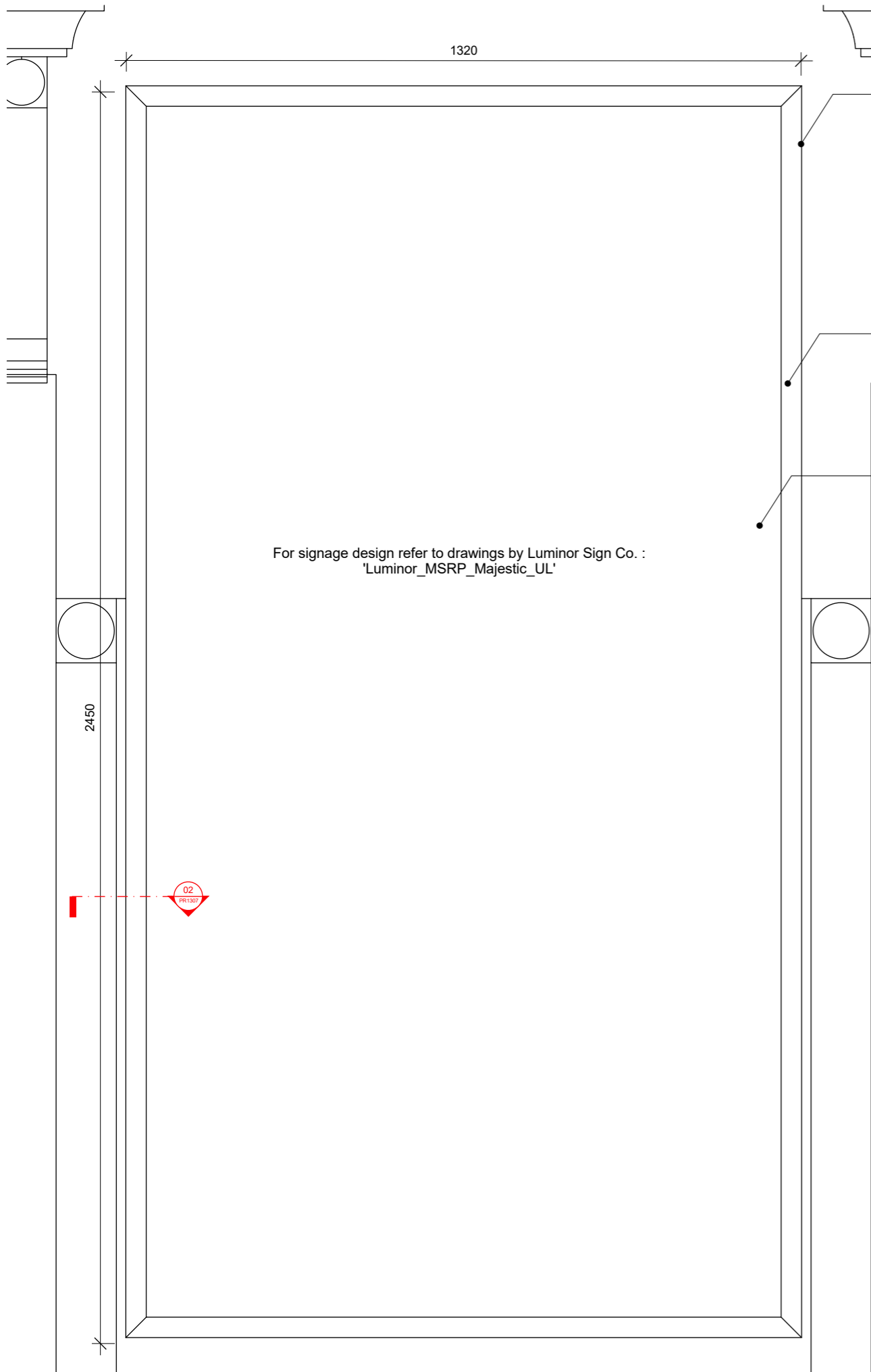
Sheet
**Typical Signage Details -
Hanging Sign**

Drawing status
PLANNING

Scale (A3) **Varies** Date **22.02.22**

Project Number 050MSS	Drawing Number 18_PR1306	Rev. A
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For signage design refer to drawings by Luminor Sign Co. :
'Luminor_MS RP_Majestic_UL'

Assumed dimensions based on survey information. Site measurement required

Solid hardwood half round frame with mitred corners

Diabond on WBP marine plywood. All fixings to be concealed with no fixing through visible face of Diabond surface

NOTE:
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Revisions

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Project
**Middlesex Street
Regeneration Programme:
MAJESTIC LONDON & SANGER -
1 WENTWORTH STREET**

Client
London Borough of Tower Hamlets

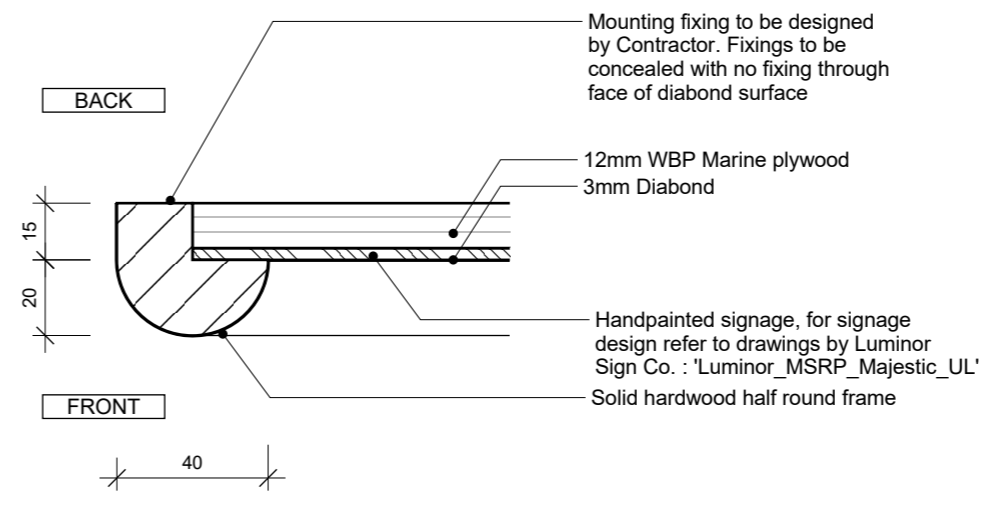
Sheet
**Typical Signage Details -
Fixed Sign Board**

Drawing status
PLANNING

Scale (A3) **Varies** Date **22.02.22**

Project Number 050MSS	Drawing Number 18_PR1307	Rev. A
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02 DETAIL - Frame
Scale: 1:2

01 DETAIL - Elevation
Scale: 1:10



Console brackets and pilasters repaired and painted



Painted traditional timber shopfront



High level awning with logo



Timber fascia with hand painted signage



Internally applied vinyl decals on laminated glass



Internal open grille roller shutter



Wall washing lighting illuminating central signage panel

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Project
 Middlesex Street
 Regeneration Programme:
 MAJESTIC LONDON & SANGER -
 1 WENTWORTH STREET

Client
 London Borough of Tower Hamlets

Sheet
 Typical Shopfront View &
 Reference Images

Drawing status
PLANNING

Scale (A3) Nts Date 05.04.22

Project Number	Drawing Number	Rev.
050MSS	18_V_100	C

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