



WATFORD COLOSSEUM

DESIGN, ACCESS AND HERITAGE STATEMENT

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WTHC-FCBS-COL-ZZ-RP-DAS

WATFORD COLOSSEUM ALTERATIONS

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INTRODUCTION

CLIENT + SITE OWNER

WATFORD BOROUGH COUNCIL

LIAM HORNSBY
HEAD OF ENTERPRISE PROGRAMME
MANAGEMENT OFFICE

WATFORD TOWN HALL
RICKMANSWORTH ROAD
WATFORD
WD17 3EW

PROJECT MANAGER

MACE GROUP

SABRINA CARACCIO
SENIOR PROJECT MANAGER

ANGLO ST JAMES HOUSE,
39A SOUTHGATE STREET,
WINCHESTER,
HAMPSHIRE,
SO23 9EH

t: 019 6267 6920
e: sabrina.caraccio@macegroup.com

QUANTITY SURVEYOR

MACE GROUP

DARREN BUCKLEY
ASSOCIATE DIRECTOR

ANGLO ST JAMES HOUSE,
39A SOUTHGATE STREET,
WINCHESTER,
HAMPSHIRE,
SO23 9EH

t: 020 3522 3000
e: darren.buckley@macegroup.com

THEATRE TECH

THEATREPLAN

MATT KINGSLAKE
CONSULTANT

31 COLONNADE,
LONDON,
WC1N 1JA

t: 020 7841 0440
e: matt.kingslake@theatreplan.co.uk

ARCHITECT + PRINCIPAL DESIGNER

FCB STUDIOS

COLIN COBB
PARTNER

BATH BREWERY
TOLLBRIDGE ROAD
BATH
BA1 7DE

t: 01225 852545
e: colin.cobb@fcbstudios.com

SERVICES ENGINEER

ION CONSULTING

MARK BOWEN
DIRECTOR

HILL BARN
GROSVENOR COURT
AMPFIELD HILL
AMPFIELD
ROMSEY
HAMPSHIRE
SO51 9BD

t: 01794 368693
e: m.bowen@ion-consulting.co.uk

STRUCTURAL ENGINEER

SFK CONSULTING

GARY WOOD
PARTNER

BASEPOINT ENTERPRISE CENTRE
ANDERSONS ROAD
SOUTHAMPTON
SO14 5FE

t: 023 8068 2460
e: gary@sfkconsulting.co.uk

ACOUSTIC ENGINEER

GSA DESIGN

LUCIE ZALBERG
DIRECTOR

130 BRIXTON HILL
LONDON
SW2 1RS

t: 020 8671 2223
e: lucie@gsacoustics.org

0 | INTRODUCTION

0.2 | EXECUTIVE SUMMARY

This report has been produced in support of the Full Planning and Listed Building Consent application for alterations to Watford Colosseum. The core aims and aspirations for the project are to make the building fully functional with tangible improvements to the visitor experience, through a transformative but cost-effective redevelopment that will ensure the long-term preservation of one of Watford's key heritage assets.

In order to achieve the project aims, there are multiple proposed interventions happening across various technical disciplines. Some of these interventions are noticeable, transformative elements, and some are more 'hidden' changes that will optimise the building's operation, helping to facilitate the best commercial arrangement with an incoming operator.

The application describes the proposed interventions and the impact and benefit of key works, which include restoration of historic fabric, minor layout changes, new material finishes, M&E upgrades, illuminated signage, and landscape works for improved accessibility.

Alongside the main project works described in this application, a number of interventions to improve the building's energy efficiency have already been consented, with construction due to commence on site shortly. These works are being in part funded through the Public Sector Decarbonisation Scheme (PSDS), which offers to public bodies in England funding to invest in decarbonisation projects. In addition to this, the works to upgrade Watford Colosseum feed into a wider vision to redevelop the Town Hall complex, with the incorporation of Watford Museum, community workspace, re-imagined council offices and service space. The intention is that together, the renewed Watford Town Hall and Colosseum, will create a catalyst building for the emerging Town Hall Quarter.



0 | INTRODUCTION

0.3 | STATEMENT OF NEED

Watford Colosseum is an important and valued cultural and civic asset to the town, as well as being a Grade II listed building of national architectural and historic interest.

The proposed works have been carefully considered in response to guidance and consultation with the Conservation Officer to maximise benefit to the historic building. The proposals have focussed on conservation of historic fabric and future-proofing the facility.

Despite being recently renovated in 2011, the interiors of the Colosseum are considered by some to appear dated requiring refurbishment. In addition to aesthetic concerns, the previous operator identified a number of areas where the building is not performing as well as it could due to technical limitations and issues with the current building layout.

Furthermore, while this is a historic building of Art Deco heritage, unlike the adjacent Town Hall, much of the original internal detailing has been eroded through piecemeal refurbishment. The project vision is therefore to strip back unsympathetic additions to reveal the building's original character, which in turn will inspire a contemporary layer to re-vitalise and facilitate future performance use.

We intend to reintroduce Art Deco style ornament, taking inspiration from the surviving Town Hall details to create a timeless and long-lasting aesthetic that responds directly to the historic character of the building. In this way, the design proposals are less contentious and more sympathetic to the original condition. The refurbishment will therefore produce a fully functional facility with enhanced visitor experience through improvements to usability and flow, alongside an architecturally appropriate internal character.



0 | INTRODUCTION

0.4 | ENGAGEMENT

The design team have incorporated wide ranging stakeholder feedback and aspirations for both the Colosseum and the wider cultural quarter. The outcome of this consultation is summarised as follows-

LOCAL PLANNING AUTHORITY

Early drafts of the Colosseum proposals were shared with the Local Authority Planning and Conservation Officers on 31st January 2022. Officers were supportive of the approach and identified areas of further on-site investigations and design development.

Key interventions into areas of historic significance may be summarised as: a new draught lobby to Entrance Foyer; tech fit-out including a new pipe grid in the Forum Hall, alongside re-instatement of previously blocked-up fenestration, and alterations to the Auditorium stage and services, including the introduction of a new get-in lift. The level of intervention on significant fabric is negligible and is in almost all cases reversible.

OPERATOR MARKET

In lieu of an operator being currently on board, WBC have appointed Events Consultant IPW, to coordinate feedback from the market. The purpose is to ascertain general levels of support for the direction of travel, including the over-arching design intent and the approach to materiality and finish.

FCBS met with IPW on 21st March 2022 to present the Stage 3 design and have provided an Operator Information Pack to assist IPW in communicating proposals with potential operators. Initial feedback has indicated overwhelming support from operators. Detailed comments will be incorporated in full during RIBA Stage 4 to ensure that the building is fully optimised. This should ensure that no material changes will be required when an operator is officially appointed.

WATFORD CULTURAL SECTOR

On 28th March 2022 a stakeholder consultation event was held with attendance from a range of Watford cultural institutions and groups, in which FCBS presented the technical and architectural scheme for feedback.

The proposals received a positive response from attendees, with a number of useful ideas and suggestions recorded as below:

- Creating a more 'daytime' feel to the front foyer area to encourage cafe use and attract passing trade for this space.
- Balancing the aesthetic to ensure a high quality venue but with broad appeal that is not overly 'exclusive' feeling.
- Ensuring that technical infrastructure enables live-streaming and digital interaction with live events.
- Use of external digital signage to communicate about Watford's cultural events more broadly.
- Enhancing opportunities for informal and smaller scale performance in foyers and ancillary spaces.
- Potential for Forum to be used as commercially booked rehearsal space for dedicated use (potential issues with overlap with regular community classes/events).
- Use of foyers for exhibition of Watford cultural heritage and performing arts history, along with potential for spaces that could be dedicated to enclosed, paid, exhibition spaces.

BBC ORCHESTRA

The BBC Concert Orchestra, one of the UK's most versatile ensembles, were formerly based at Watford Colosseum before their recent relocation.

Initial consultation with the BBC highlighted the qualities and limitations of the space in relation to orchestral performances. For instance, with the bleacher seating retracted, the space

provides an excellent and appropriate acoustic. The intention is therefore to retain this quality so that the space can continue to be used and appreciated by other orchestral arrangements in the future.

There are however, some issues caused by services noise from the air handling, and noise break-in from the exterior, therefore the works to the MEP systems and external windows will improve these conditions leading to lower levels of background noise.



CONTEXT

1



1 | CONTEXT

1.1 | HISTORICAL SIGNIFICANCE

HISTORICAL DEVELOPMENT

Watford Colosseum, originally known as Assembly Hall, was designed as part of Watford Town Hall in 1935 by Charles Cowles-Voysey, with John Brandon Jones and Robert Ashton. Cowles-Voysey had previously designed Town Halls at Worthing and Bromley, while Brandon Jones and Ashton went on to design Staines Town Hall and Hampshire County Council offices. The design therefore represents an example of a notable strand of mid-century civic architecture with a functional, classical design.

The building was constructed between 1937-1939 and was completed after the outbreak of the Second World War, joining a complex of civic buildings constructed in the area during the inter-war period, including the Public Library in 1928, Watford Central Baths in 1933 and the Watford Peace Memorial Hospital. This civic character persists to this day with the area being a centre of civic purpose, learning, health, leisure and gathering.

In the early 1970's major highway works resulted in the construction of a dual carriageway and vehicular underpass along Rickmansworth Road, cutting off direct access to the building from the high street and requiring use of a subway to reach the building on foot.

By 1975 the garage block to the North West of the Assembly Hall was replaced with a 4-storey annex building, delivered in a simplified brickwork design that reflected the general material approach of the Town Hall.

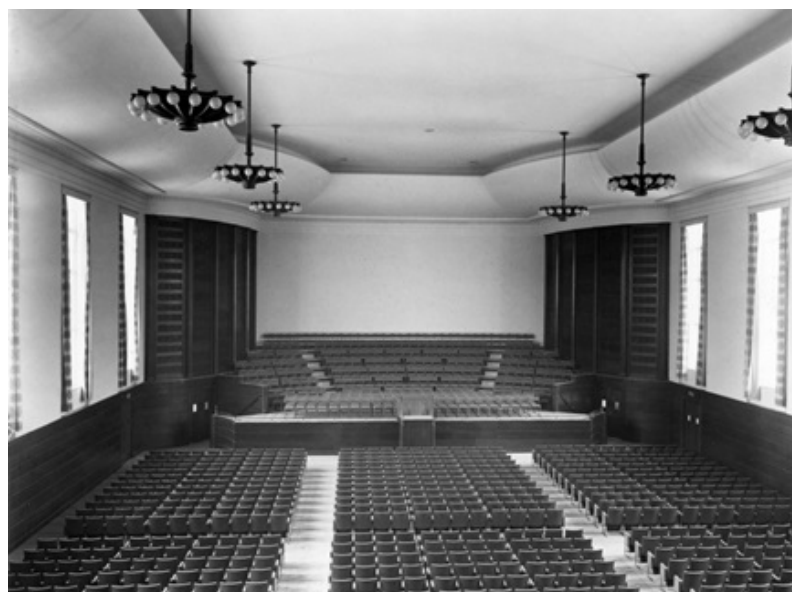
Also by this time semi-permanent single storey structures known as the Terrapin had been added to the north-west of the Northern range of the Town Hall. In addition the Watford Technical College joined the grouping of civic provision.

In more recent years, this civic purpose has been maintained while buildings have continued to develop and be replaced.

In 1995, Assembly Hall, which had acquired a worldwide reputation for its fine acoustics, was re-branded as the Colosseum for use as a dedicated entertainment venue.

In 2007 the Watford Central Baths was demolished to create a contemporary Leisure Centre, and Watford Technical College progressively became West Herts College and saw the construction of significant new buildings to the North West of the Town Hall.

In 2011, the Colosseum was refurbished and extended to the south with a new contemporary extension providing enhanced foyer and catering provision alongside accessibility improvements.



The Colosseum Main Auditorium - 1939 Assembly Hall



The Colosseum Main Auditorium - 1995 Redevelopment



The Colosseum Main Auditorium - 2011 Redevelopment

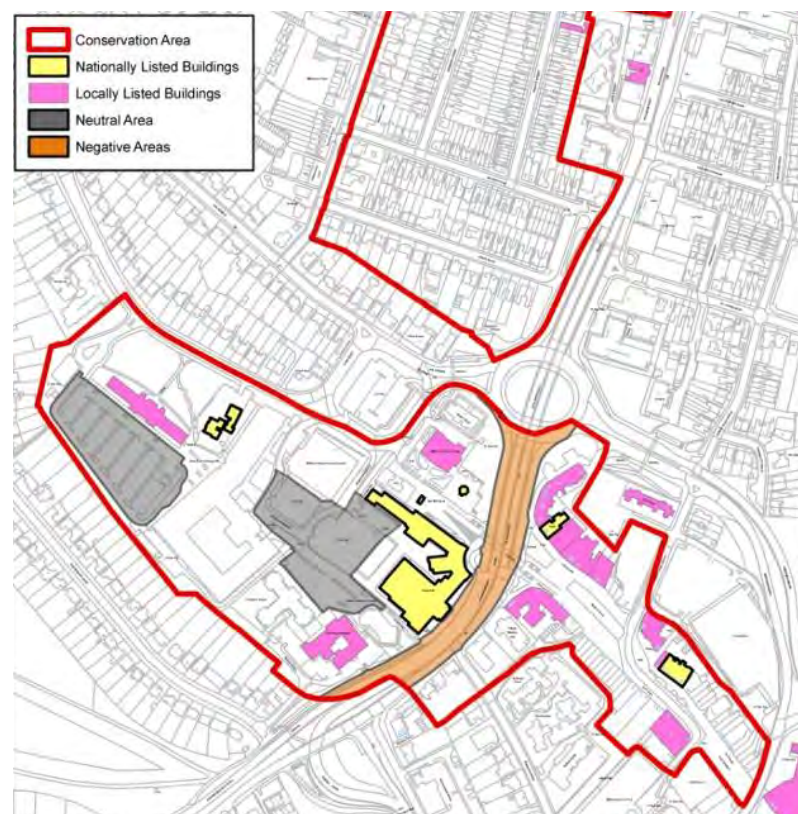
1 | CONTEXT

1.1 | HISTORICAL SIGNIFICANCE

CONSERVATION SETTING

Watford Colosseum sits adjacent to the Rickmansworth Road/ High Street Junction within the **Civic Core Conservation Area** which was designated in 2001, described as-

The Civic Core Conservation Area lies within the north-western area of Watford town centre – along The Parade and southern portion of Hempstead Road. The Conservation Area is divided by Rickmansworth Road, with a wide road carriageway and pedestrian underpass replacing the more modest at-grade junction that previously existed. It extends as far north as the northern boundary of West Herts College and as far south as the Exchange Road flyover - with the latter feature, in particular, forming a clear boundary element. The southern end is marked by a visual severance of The Parade caused by the flyover. The northern part of the Conservation Area comprises the Town Hall complex, Central Library, Central Leisure Centre, West Herts College and Little Cassiobury.



LISTING DESCRIPTION

The building is considered to be part of Watford Town Hall complex, which was listed in 1994 as **Grade II** with the following description. Relevant text is highlighted in orange-

Town Hall. Designed 1935, built 1937-39 by Charles Cowles-Voysey, assisted by John Brandon- Jones and Robert Ashton. Cowles-Voysey was the master planner, and John Brandon- Jones did much of the detailed design work.

Reinforced concrete frame clad in hand-made bricks, tiled roofs. Radial plan on corner site, with main entrance in central concave facade, originally fronting roundabout, from which stretch wings to either side (the longer, to Rickmansworth Road, with assembly hall at end reached via separate entrance) and council chamber in angle to rear. First floor committee rooms, principal offices and mayoral suite over the entrance. Three storeys. Principal concave elevation of seven bays with central double doors reached up steps under lantern clocktower. All windows casements, those to first floor of full height opening on to balcony. 17-bay recessed side return to pedestrian precinct, 13-bay range to Rickmansworth Road culminates in projecting three-bay assembly room with its own entrance comprising three pairs of glazed double doors under canopy. Cut-brick panels over first floor full-length casements in moulded brick surrounds.

The principal rooms of the interior are highly decorative, inventive, and survive remarkably completely. Staircase hall panelled in stone, with Imperial stair rising between square column. Bronze balustrade incorporating stylised female figures. At top of stairs a curved corridor reflects the form of the facade, and double doors lead to three curved committee rooms, with folding screens so they can be thrown into one.

These rooms fully panelled in contrasting veneers, with Soanic plaster cornices, original light fittings and clocks. Members room and mayor's parlour to either side finished in the same manner, with raised and fielded panelling over curved wooden fireplaces and simpler cornices. To rear of this suite is the double-height council chamber, with original fixed seating arranged on steps in three main circles.

The council chamber is remarkable for the survival of its original woven acoustic panels, set between bands of hardwood veneer, and with deeply trabeated ceiling also as an acoustic aid. To rear of raised mayoral bench a tapestry panel bearing the borough arms by Anne Brandon-Jones. Original light fittings and eight panelled doors.

The assembly hall has its own foyer, with coved ceiling.

Assembly hall likewise in more streamlined style with full working stage behind proscenium arch, flat sprung floor and balcony, this last with curved front under which original light fittings remain. Coved ceiling. Buffet to left with columns and more traditional mouldings.

Included as an unusually rich and complete surviving town hall of the later 1930s, showing that the classical style could still be inventive in the service of civic dignity. The building compares well with other town halls by this distinguished practice, who specialised in the genre.

1 | CONTEXT

1.2 | HISTORICAL SIGNIFICANCE

The significance of Watford Colosseum as a heritage asset is derived from the contribution it makes to the narrative of Watford; as an example of the increase in the construction of municipal and civic buildings of the period; its social history as an entertainment and recording venue; and its Art Deco architectural detailing and impact upon the observer.

This understanding of significance has been derived from the Statement of Significance July 2018 (Savills) and articles from construction journals published in 1939. The Statement of Significance makes an assessment of the building against 4 values, which are defined by Historic England as:

Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place.

Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present.

Evidential value derives from the potential of a place to yield evidence about past human activity.

Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

The Statement of Significance assesses the significance of the building against the 4 values as follows:

Aesthetic value of the building: High

The Colosseum's significance is derived primarily from the aesthetic quality of the architectural detailing and its visual impact, representing a landmark building of its time and as part of a group of similar civic buildings from the inter-war period.

Historical value of the building: Medium to High

The historical value of the building derives from the example it provides of a building of the period and purpose, expressing its civic function and retaining the evidence of its history serving the needs of the Watford community. The Colosseum retains its original performance space and demonstrates a rich history of use as a performing and recording venue for internationally significant performers and soundtracks.

Evidential value of the building: Low to medium

The building provides some evidence of the development of the inter-war civic infrastructure of Watford, giving some insights into the construction methods, values and social priorities of the past.

Communal value of the building: Low

The communal value of the building derives from the service it provides to the local community, its history as a place of gathering and entertainment, and as a location for commemoration of the history of the community.

The impact of the proposals upon the significance of the building against the 4 values is considered to be as follows:

Aesthetic impact of proposals: Positive

The proposals aim to make a positive impact on the aesthetic value by: restoring the former entrance and internalised window openings; rationalisation of ad-hoc services; simplification of the materials palette and the introduction targeted high-quality design interventions inspired by the Art-Deco vision.

Historical impact of proposals: Neutral / Positive

The proposals aim to celebrate and sustain the historic use of the Colosseum as the premier performance and recording venue in Watford. Positive feedback from historic users (e.g.BBC) and potential operators confirm the designs are likely to enhance the popularity and viability of the venue.

Evidential impact of proposals: Neutral / Low

Loss of original fabric is limited to a remnant of reinforced concrete forming the original stage, holes through the existing slab to form a of lift pit and minor alterations to the original entrance steps to form a level access route. When balanced against the reinstatement of the original entrance and repairs to the existing fabric we conclude the proposals will have a neutral impact on the evidential value.

Communal impact of proposals: Positive

The proposals are wholly focused on providing a positive impact on the communal value of the Colosseum through sustaining and enhancing access to the heritage asset though restoring, reservicing and re-invigorating the offer. Positive feedback from current employees and potential operators confirm the proposals respond to both the identified deficiencies and the potential opportunities in the Cultural Quarter initiatives being developed by Watford Council in partnership with local communities.

1 | CONTEXT

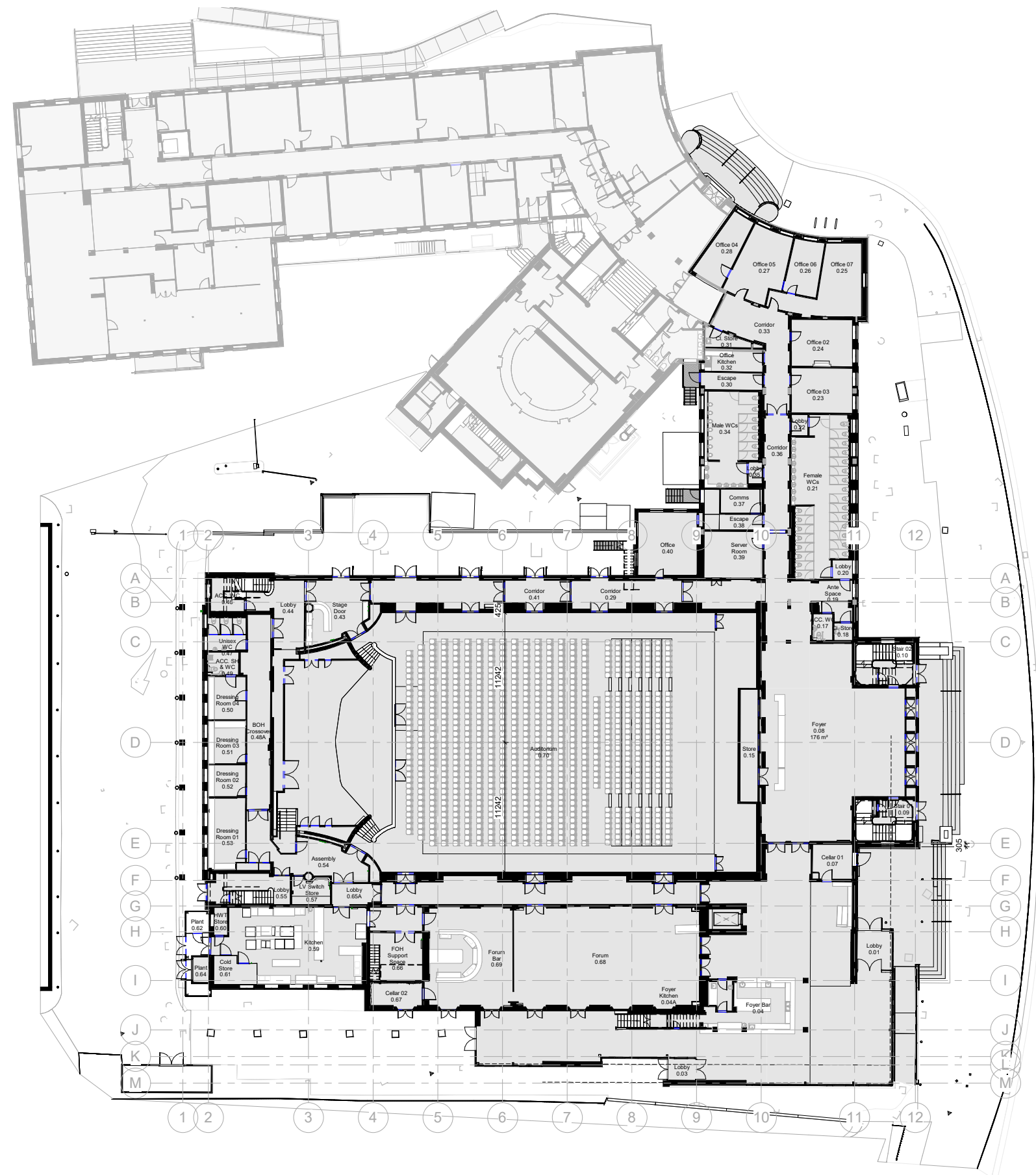
1.2 | CURRENT CONDITION

BUILDING LAYOUT

The main entrance is currently into the contemporary extension, which creates some confusion around approach and spatial hierarchy. The original entrance to the building is therefore currently redundant, resulting in the original historically significant entrance foyer being reduced to a thoroughfare connecting the Main Bar to the WCs.

Wayfinding is unclear, particularly in relation to entering the Main Auditorium and finding the way upstairs to the Circle Bar area. The bars themselves have been criticised for being dysfunctional due to the circulation being too narrow in width, while the U-shape of both bars creates an awkward queueing interface.

The first floor is predominantly comprised of the Circle bar and Circle seating, as well as back-of-house (BOH) facilities. The Circle bar is under used due to a lack of clarity around how it is accessed. The second floor contains BOH facilities, including the Main Auditorium control room and plant spaces.



1 | CONTEXT

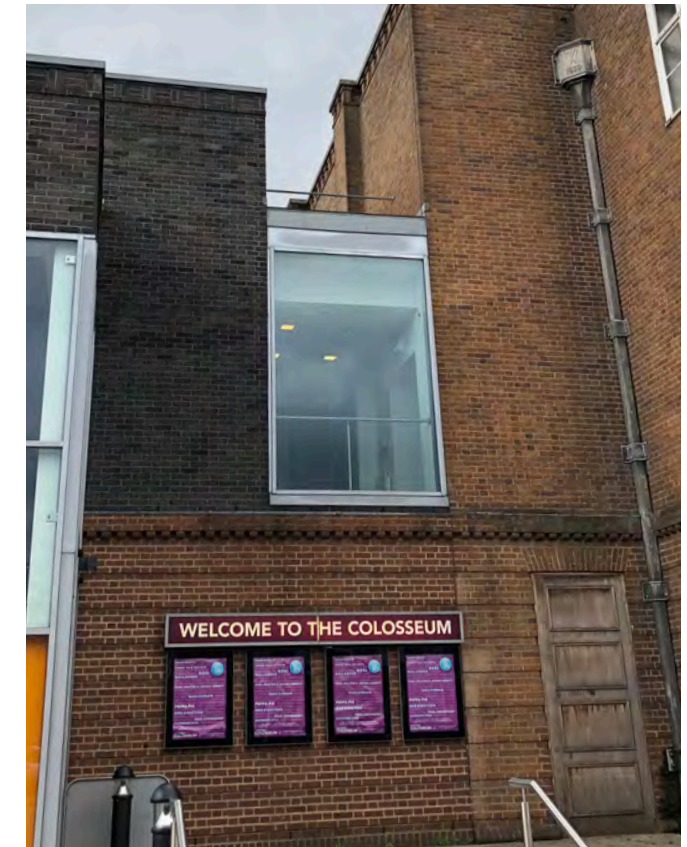
1.2 | CURRENT CONDITION

EXTERNAL

Externally the original listed building is characterised by its handmade red brick facade, with projecting brick banding at ground floor, brick banding at parapet level and brick panel carvings on the principal elevation. The contemporary 2011 extension is constructed of a smooth high quality dark grey brick, which complements the red tones of the original historic building.

The windows of the extension are coated in purple and orange window film, to tie into the wider interior design concept of the 2011 extension. The film is currently in good condition but is at odds with the overall classical building composition. Building signage located on the extension to indicate the current extension entrances, and is comprised of metallic lettering in a uniform and recognisable typography.

There is a ramp providing wheelchair access to the extension, but a pinch point currently obstructs level access to the original central entrance.



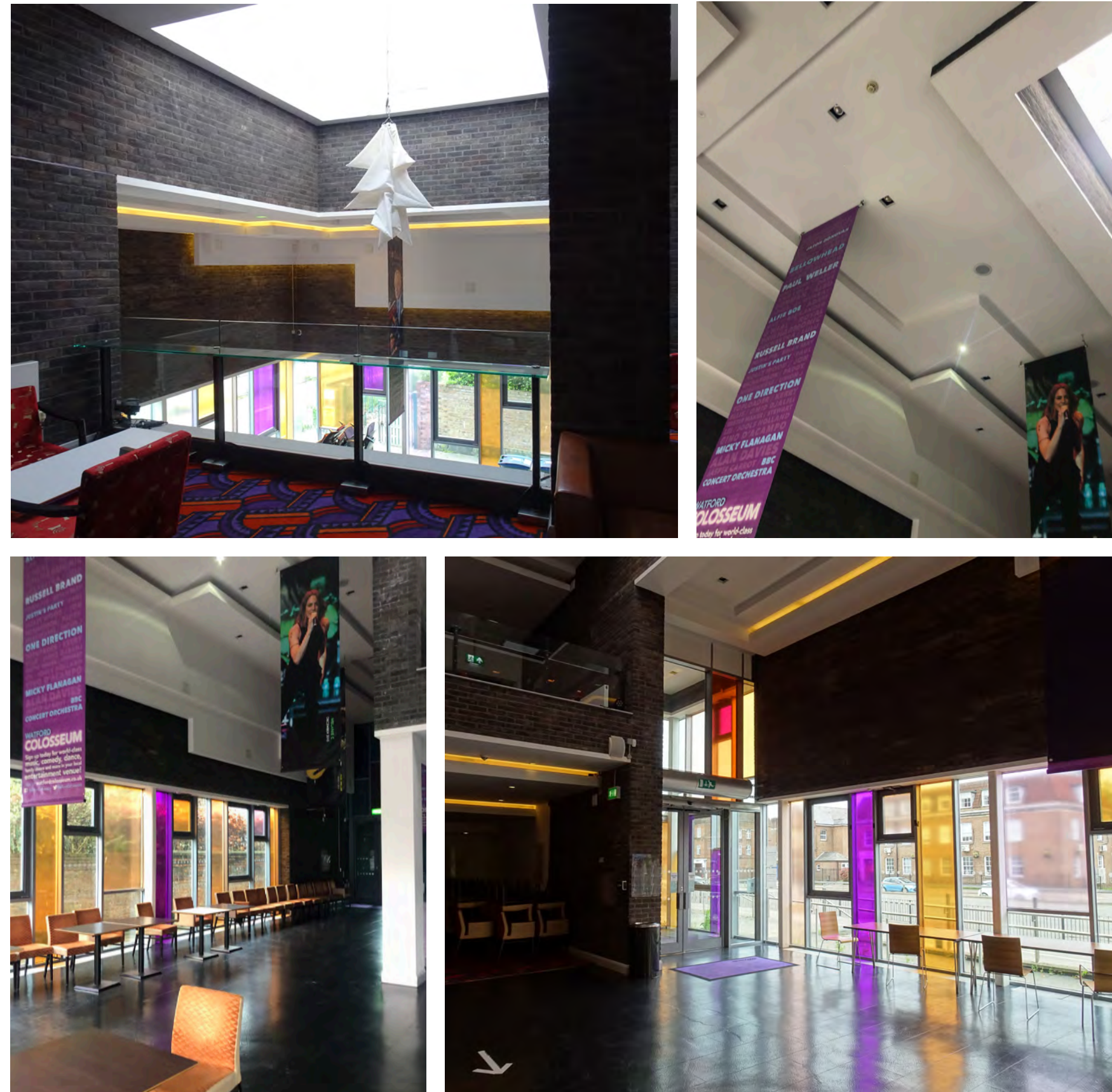
1 | CONTEXT

1.2 | CURRENT CONDITION

2011 EXTENSION

The interiors of the 2011 extension are strongly characterised by a purple and orange colour scheme that runs throughout both the historic and contemporary areas of the building. There is purple and orange window film to the windows, a heavily patterned purple and orange carpet as well as purple paint, tiles, curtains and drapery. The smooth black brick continues internally, which while a good quality finish, creates a significant amount of glare around the windows. The overall effect is a high contrasted and colour saturated space.

The interior design is currently very stylised and has subsequently been fairly contentious amongst stakeholders. While this is ultimately a matter of subjective taste, the current character is considered by some to appear dated, despite being relatively new. The prevalent purple and orange colour palette could also be considered restrictive from an operator branding perspective.

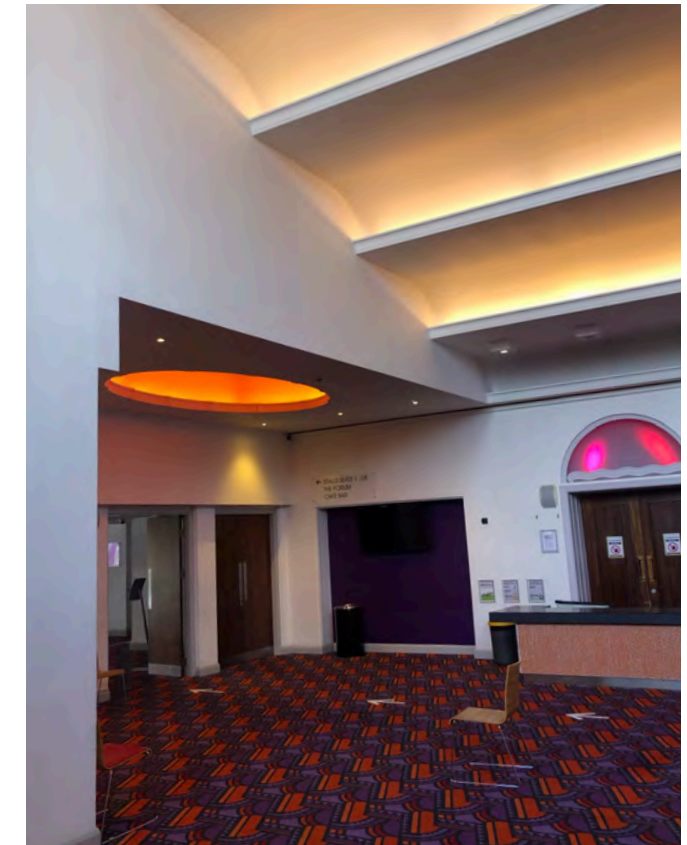


1 | CONTEXT

1.2 | CURRENT CONDITION

ENTRANCE FOYER

Currently the original entrance to the building is redundant and all visitors circulate through the 2011 extension. As a result, the original entrance foyer currently functions as a circulation space connecting the main bar with the WCs. The space is characterised by some impressive original features, such as the undulating plaster ceiling which follows the underside of the tiered Circle seating. The predominant finish is the purple and orange patterned carpet. There are various large promotional banners throughout the space. This coupled with prevalent services including radiators, boxing-out, speakers and a disabled refuge point contribute to making the space feel somewhat cluttered.



FORUM HALL

The Forum Hall is another impressive heritage space in the building, with several surviving historic features such as the original light fittings, cornicing and plasterwork. The purple and orange carpet can also be found through the majority of this space. There are also deep purple velvet curtains and a shiny purple film coating to a folding full height partition system. The 2011 redevelopment saw the northern most windows blocked up and a sizable boxing out added, which is thought to contain electric cabling. The U-shaped bar is considered problematic, making it difficult to serve people effectively.



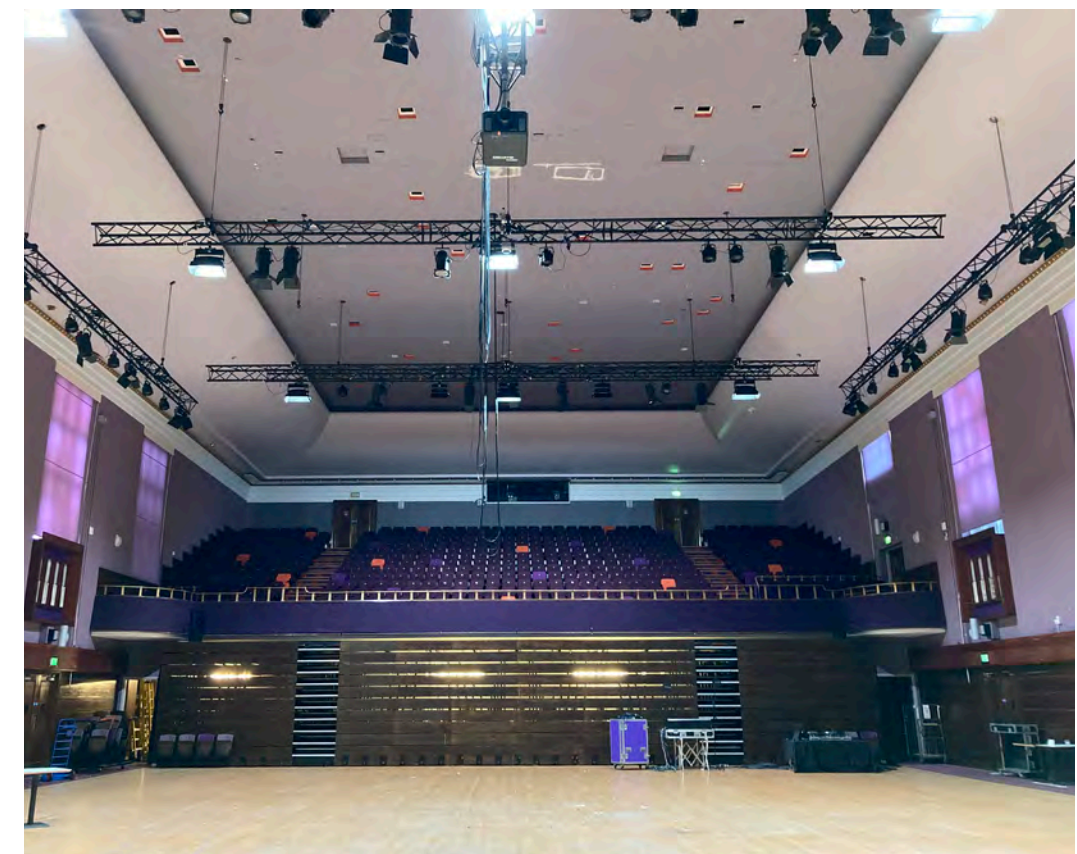
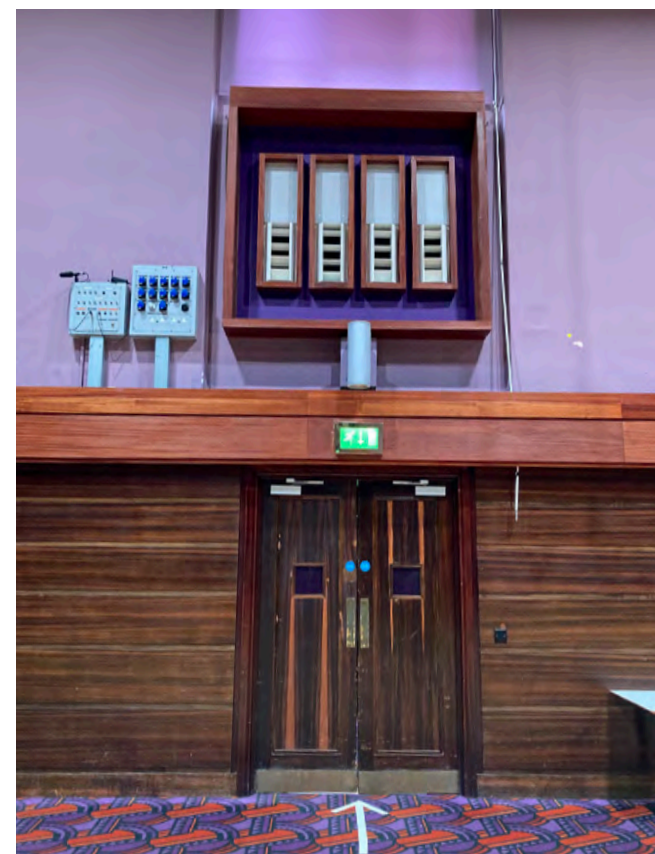
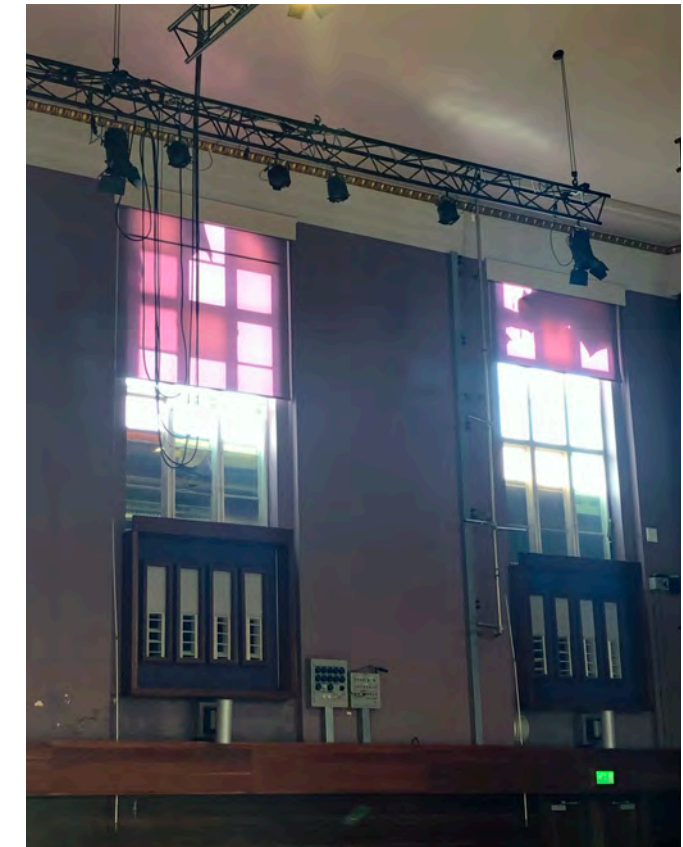
1 | CONTEXT

1.2 | CURRENT CONDITION

MAIN AUDITORIUM

The Auditorium has a 2000-standing capacity, alongside a further 441-seated capacity in the Circle area. Alternatively, the 365-seat bleacher can be deployed, with further space for 587-seats on the flat floor. As noted, the space is highly regarded for its unique acoustic.

As with the Entrance Foyer and Forum Hall, the Main Auditorium has also had much of its historic character overlayed over the years. The walls and ceiling are painted purple, with purple film also having been added to the original Crittal windows in this area. Purple and orange carpet runs around the perimeter. The original plaster ceiling is intact although it has been modified with numerous randomised holes, alongside various efforts at patching and repair. The ventilation supply grilles have been accentuated with a large boxing out feature which was installed during the 2011 development.



1 | CONTEXT

1.3 | CHALLENGES + OPPORTUNITIES



Initial operator consultation identified several shortcomings of the current design, where alterations would ensure that the building is fully functional, while offering significant improvements to visitor experience. The various items identified for improvement are as follows -

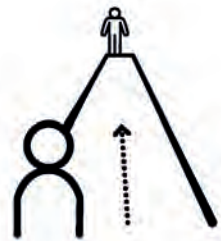


APPROACH

The composition of the building implies that it is accessed via the original main central entrance. Currently these doors are permanently closed, and the actual entrance is off-centre and less intuitively accessed.

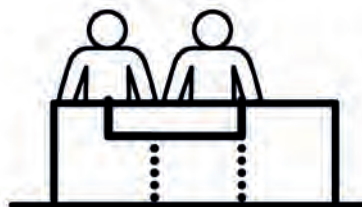
EXTERNAL SIGNAGE

There is currently only limited external signage to the Colosseum extension which is not illuminated. There is an opportunity to provide enhanced illuminated signage to give the building better presence at night.



INTERNAL WAYFINDING

The current layouts are not particularly intuitive in regards to natural wayfinding, meaning some areas such as the Circle Bar are underused as a result. Some minor layout changes could drastically improve visitor flow.



BAR ARRANGEMENT

The current bar layout has been criticised for being dysfunctional due to the circulation being too narrow in width, while the U-shape of both bars creates an awkward queueing interface.



FORUM

The Forum is currently under-utilised as it doesn't provide sufficient technical provision to be able to cater for different types of events and performance.



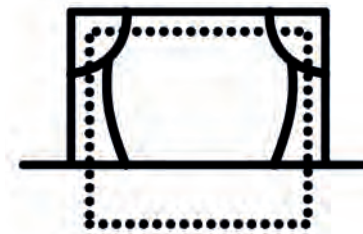
BUILDING FABRIC

There are various fabric repairs required as part of the ongoing maintenance of the building, including some isolated roof recovering to fix any roof leaks and isolated repairs to coping stones etc.



MEP PROVISION

Previous works to the Colosseum omitted to fully update the MEP systems due to budgetary constraints. There is therefore a degree of technical debt that means the building uses more energy than necessary, even considering its age and fabric.



STAGE LOADING

The stage has been undergone a number of alterations over the years, including the removal of the original tiered seating to the rear. The resulting stage structure has unsatisfactory loading capacity by current standards.



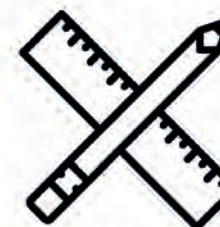
ACCESSIBILITY

Although accessibility was improved during the 2011 redevelopment more could be done to bring the building closer in line with current building regulations.



HEALTH+SAFETY

As with accessibility compliance, the building's health and safety provision in regards to fire safety and access for maintenance is no longer in line with current regulations and there is now room for improvement.



BRANDING

The current orange and purple colour scheme is restrictive from an operator branding perspective. The building would benefit from refreshed branding to improve its visual identity.



PROPOSALS OVERVIEW

2



2 | PROPOSALS OVERVIEW

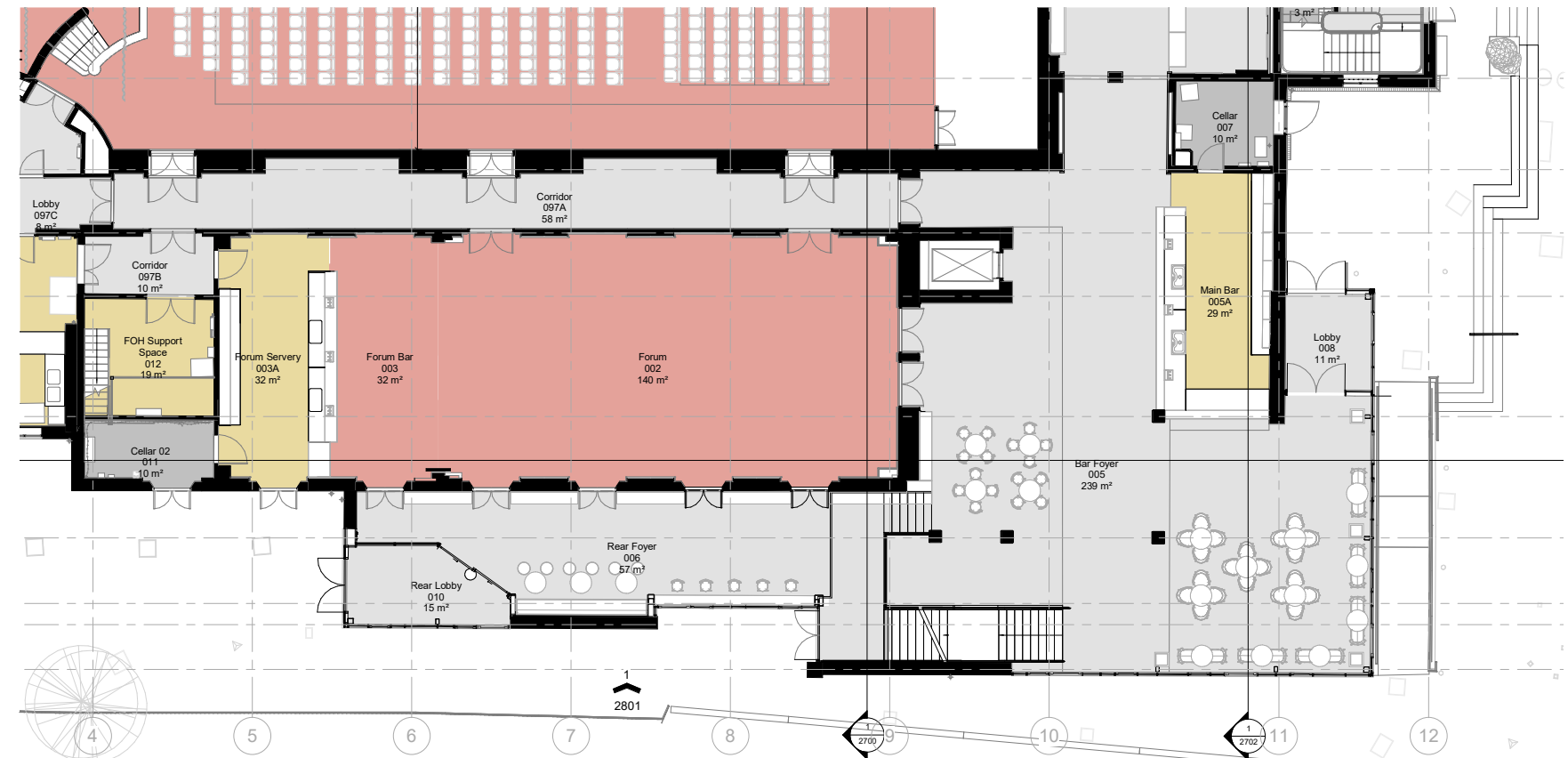
2.1 | ARCHITECTURE INTERVENTIONS

Architectural interventions are the most noticeable changes to tangibly improve the visitor experience through improvements to usability and flow, as well as through fundamentally transforming the interior character. The main architectural interventions are as follows-

PLAN / LAYOUT CHANGES

We are proposing some minimal plan layout changes, which are described in detail in the Section 3 of this report.

- + Improved visitor experience
- + Improved usability and flow
- + Improved wayfinding
- + Commercial benefit



BUILDING FABRIC IMPROVEMENTS

There are various fabric repairs required as part of the ongoing maintenance of the building, including some isolated roof recovering to fix any roof leaks and isolated repairs to coping stones etc.

- + Conservation of historic fabric
- + Improved maintenance liability
- + Future-proofing



2 | PROPOSALS OVERVIEW

2.1 | ARCHITECTURE INTERVENTIONS

CONSERVATION

We are planning to undertake sensitive restoration of the building's historic fabric. This includes, repair works and patching of existing holes in the main auditorium ceiling where possible. We are also proposing to remove some of the later and more insensitive additions to the Forum Hall, as well as repairing and restoring the original light fittings

- + Conservation of historic fabric
- + Improved maintenance liability
- + Future-proofing



HEALTH+SAFETY

We have undertaken an assessment of the current health and safety procedures in relation to Access for Maintenance and Fire Strategy, with a view to retaining and upgrading the existing strategy, and making safety improvements wherever possible. Our approach to Fire Strategy has been informed by record drawings and existing door and compartmentation surveys. We are proposing to repair and refurbish heritage fire doors on a case-by-case basis. We are not proposing to remove or replace any existing heritage doors.

- + Improved health and safety
- + Improved access
- + Future-proofing



2 | PROPOSALS OVERVIEW

2.1 | ARCHITECTURE INTERVENTIONS

EXTERNAL SIGNAGE

We are proposing to make improvements to the building's external signage, including creating an illuminated canopy and bold illuminated lettering to clearly indicate the reinstated main entrance. LED promotional signage is being proposed and applied for via a separate 'Consent to display an advertisement' application.

- + Improved wayfinding
- + Improved aesthetic
- + Commercial benefit



INTERIOR DESIGN

Finally, we have been developing interior design proposals to fundamentally transform the interior character of the Colosseum to have a more refined and timeless overall aesthetic which references the Art-Deco history of the building.

- + Refreshed aesthetic
- + Improved visitor experience
- + Improved conservation value



2 | PROPOSALS OVERVIEW

2.2 | M&E INTERVENTIONS

A significant proportion of this project falls under M&E interventions, which are being delivered through both the main Colosseum work stream and through PSDS – the Public Sector Decarbonisation Scheme. Listed Building Consent for M&E upgrades including the installation of rooftop PV panels was granted on 12th September 2021 (21/00729/LBC)

PLANT REPLACEMENT

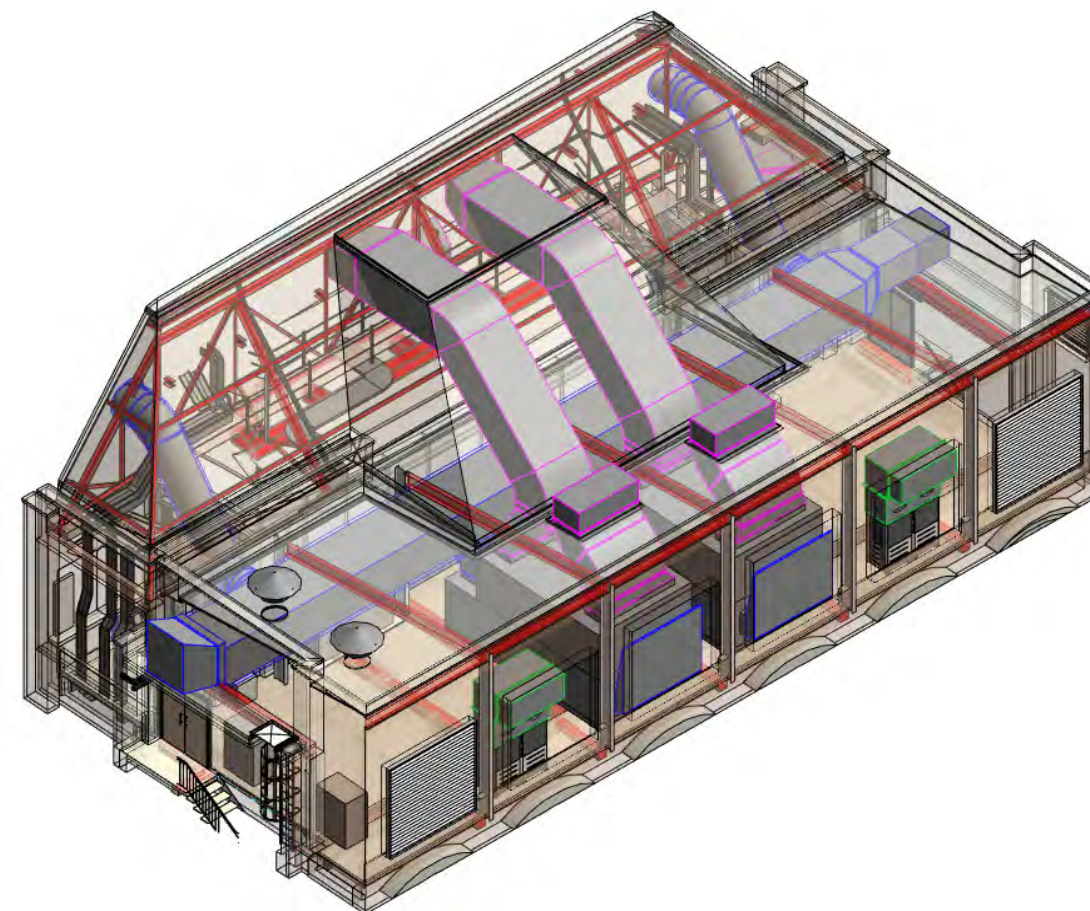
A large amount of existing plant is being replaced and upgraded with space left within the second floor plantroom to accommodate the future District Heating Network. We will be installing, new, more efficient water heaters and new control panels.

- + Improved energy efficiency
- + Future-proofing

VENTILATION UPGRADES

We are installing new heat recovery air handling units, as well as new supply and extract ductwork. The improved efficiency of these systems should enable us to reduce the size of the external ducts by up to 50%, whilst also improving overall air quality. Additionally, we are proposing an Art Deco inspired ventilation grille design that will perform technically and complement the interior design proposals

- + Improved energy efficiency
- + Improved visitor experience
- + Improved comfort
- + Improved aesthetic



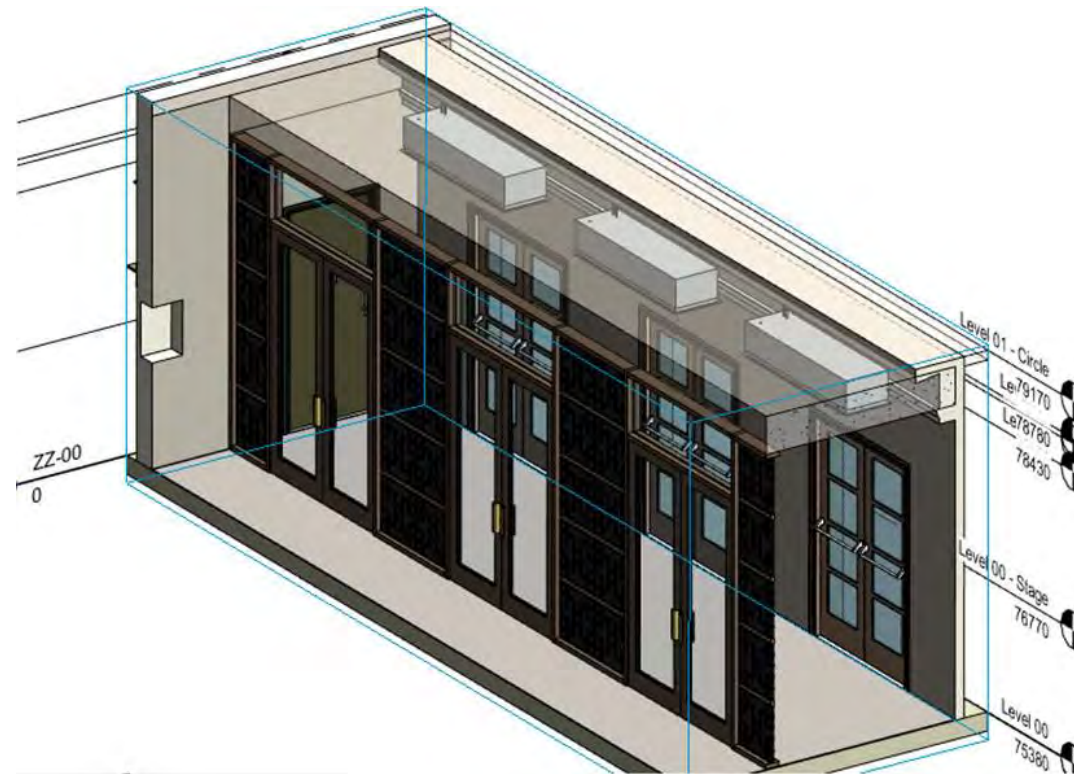
2 | PROPOSALS OVERVIEW

2.2 | M&E INTERVENTIONS

HEATING IMPROVEMENTS

Air curtains to the building entrances are to be replaced under the PSDS grant. New fan assisted trench heating will replace the existing inadequate trench heaters in the extension foyer for improved comfort. Existing radiators are being replaced with vertical column radiators, which will be powder coated to match the agreed colour scheme. Additional AC ducted units will replace the existing fan convectors to provide both heating and cooling to the Main Auditorium.

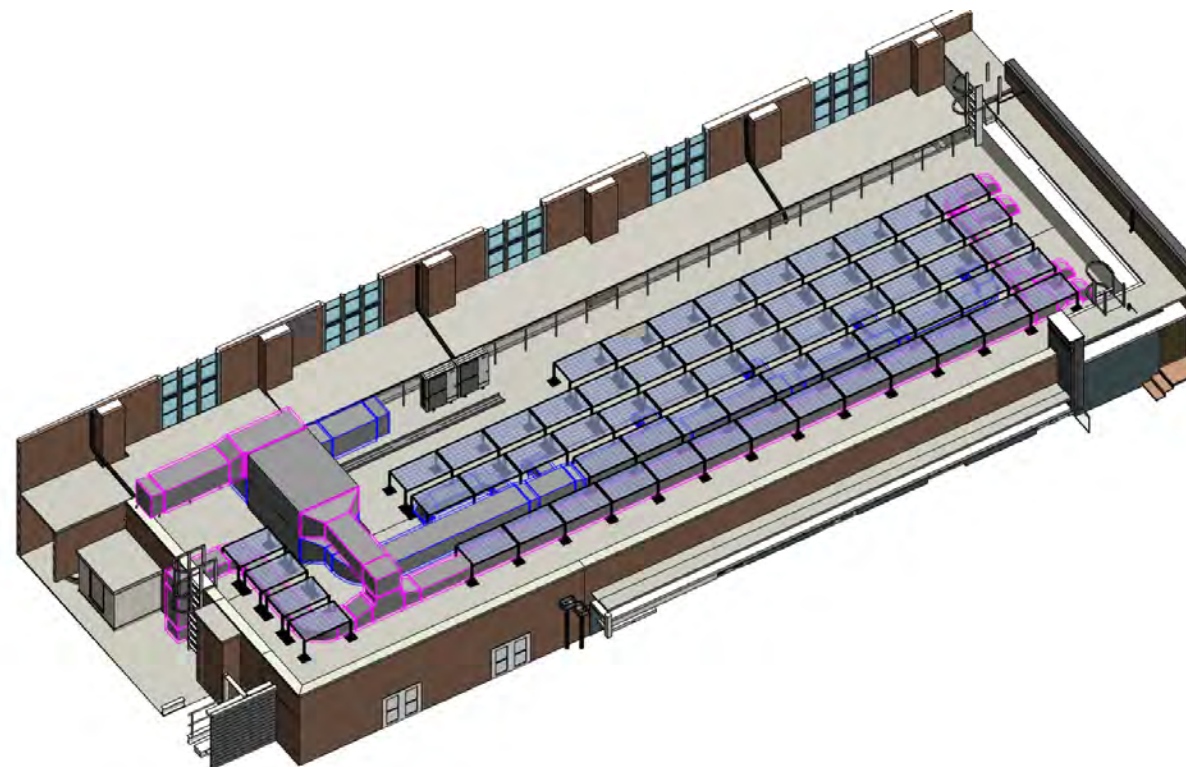
- + Improved energy efficiency
- + Improved visitor experience
- + Improved comfort



ELECTRICAL UPGRADES

All lighting is to be replaced under PSDS, with new more efficient LED fittings. We will be modifying the existing Public Address Voice Alarm (PAVA) system and providing new CCTV cameras, Access Control equipment and electrical distribution board. PV panels are being added to the flat roofs of the Forum Hall and Extension Foyer under the PSDS grant.

- + Improved energy efficiency
- + Improved functionality
- + Energy generation



2 | PROPOSALS OVERVIEW

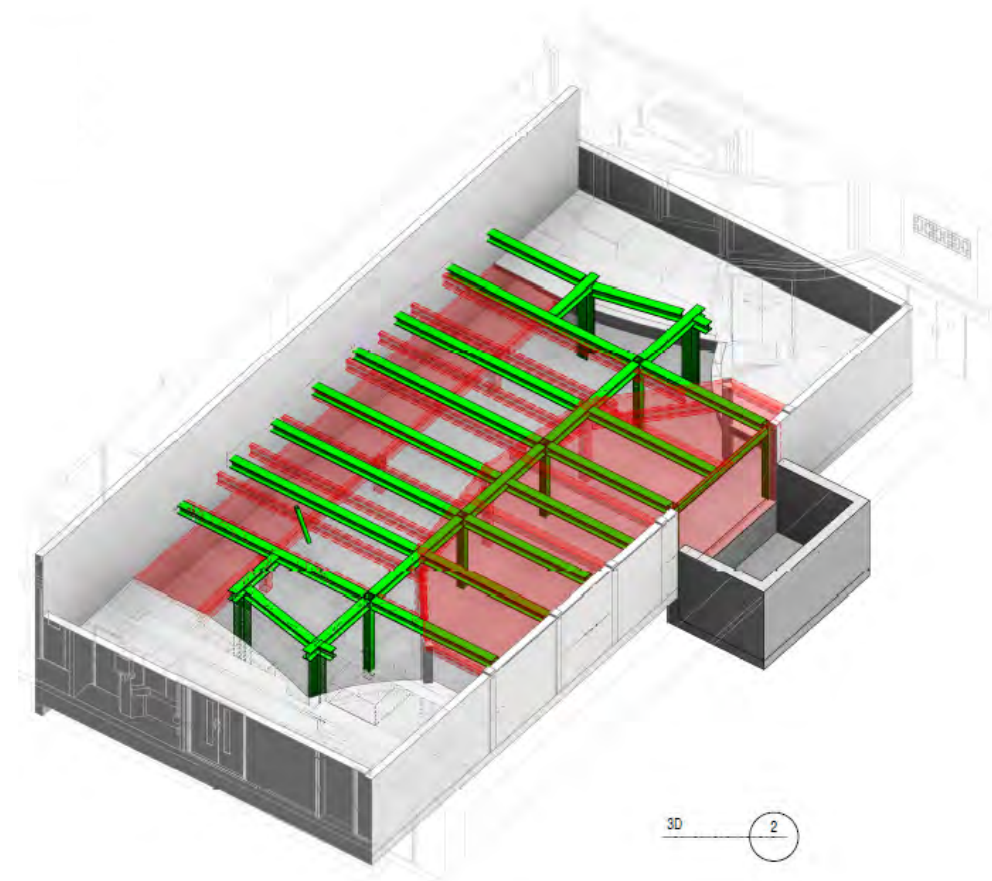
2.3 | STRUCTURAL INTERVENTIONS

The structural interventions we are proposing are mostly hidden elements, which have significant commercial benefit, in terms of improving the commercial offering.

NEW STAGE

We are proposing a new stage structure that will improve loading capacity and therefore versatility for different types of performances. Additionally, a new platform lift and basement stair are being introduced as part of the stage reconfiguration.

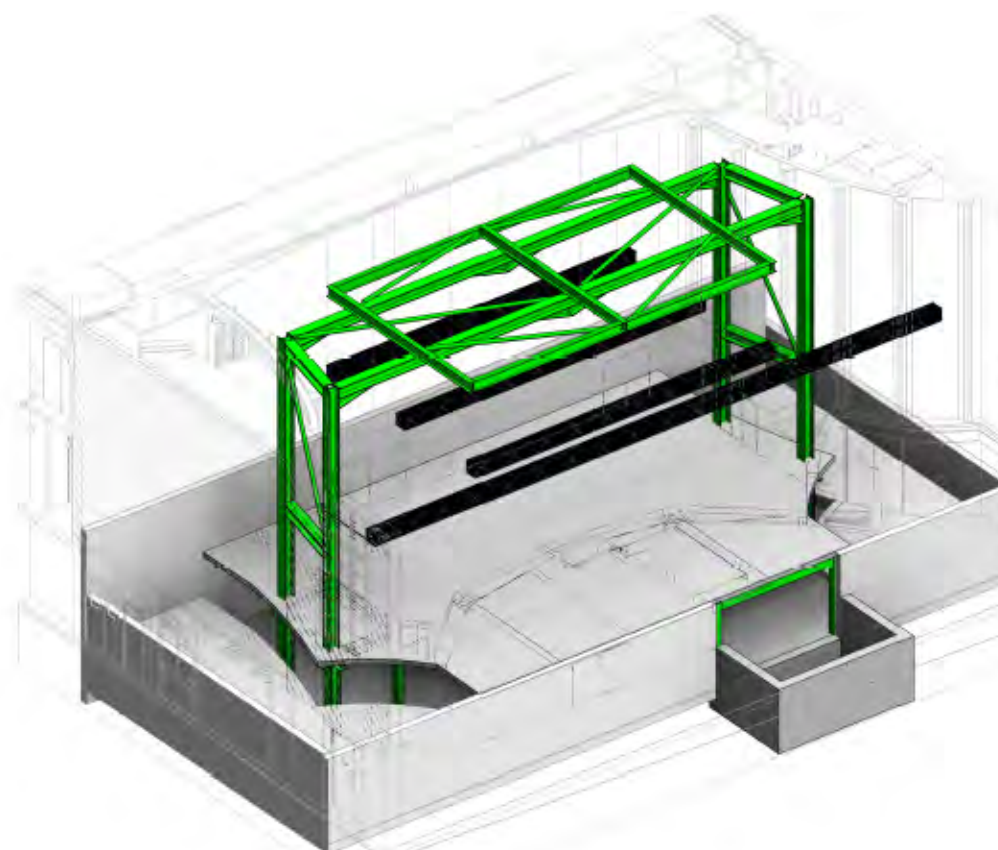
- + Improved functionality
- + Improved access
- + Commercial benefit



STEEL PORTAL FRAME

There is a new steel frame going in over the new stage, that will provide much heavier lifting points for theatre equipment while removing any risk of hanging anything from the historic plaster ceiling.

- + Improved functionality
- + Commercial benefit
- + Conservation of historic fabric



2 | PROPOSALS OVERVIEW

2.3 | STRUCTURAL INTERVENTIONS

TRUSS STRENGTHENING

We are undertaking works to strengthen the roof trusses that will enable increased hanging loads within the Auditorium.

- + Improved functionality
- + Future-proofing
- + Commercial benefit

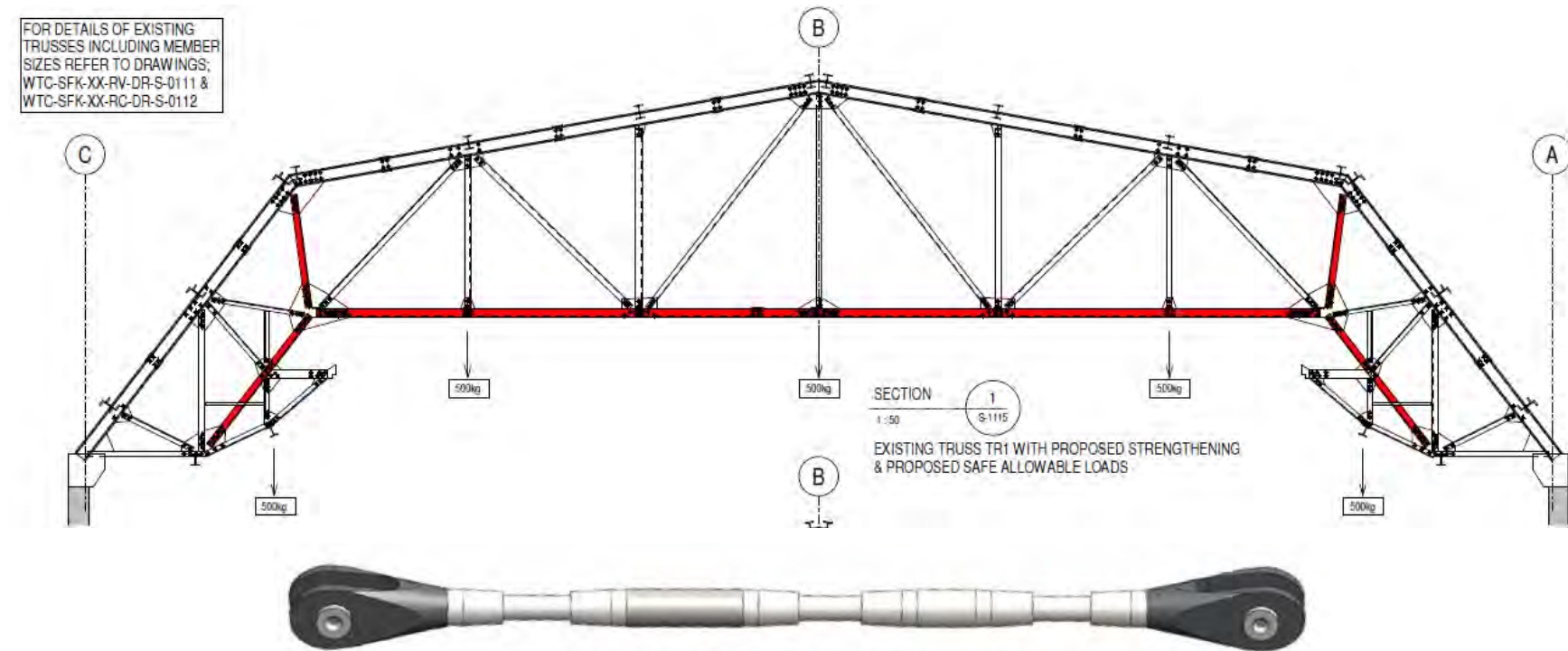


Fig. 7.2.5.b. Typical tie rod assembly.

ROOF WALKWAYS

We will be rationalizing the existing scaffold walkways in the roof void and replacing these with much more lightweight permanent structures, which will again reduce risk to the historic fabric

- + Improved functionality
- + Improved access
- + Conservation of historic fabric

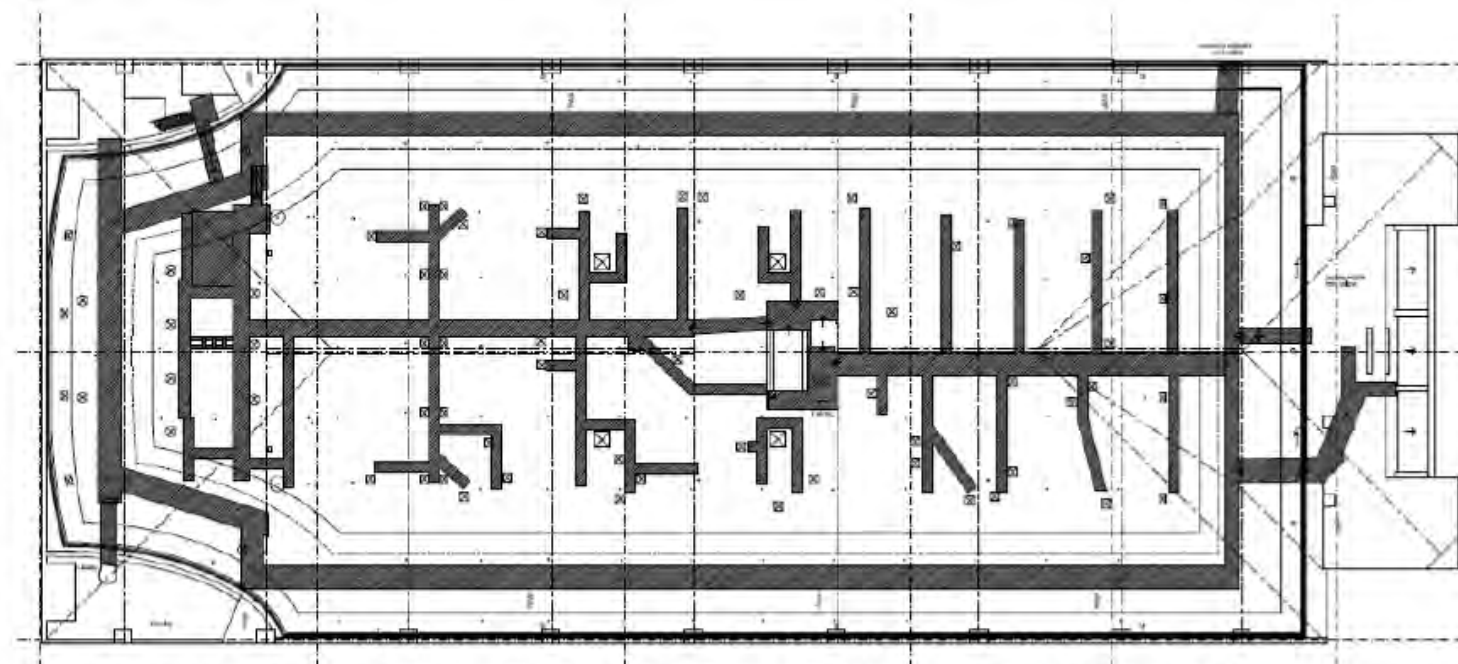


Fig. 8.1.1. Plan showing existing walkways and access platform in roof void.

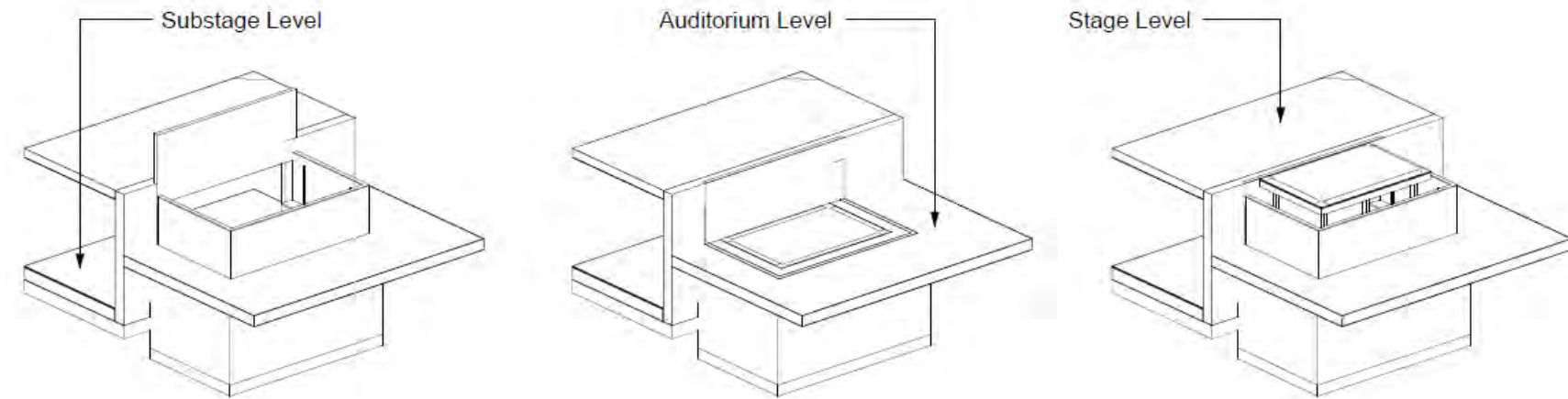
2 | PROPOSALS OVERVIEW

2.4 | THEATRE TECH INTERVENTIONS

GET-IN LIFT

We are providing a new get in lift, which will improve access to both stage and substage levels, as well as improving the speed and process of the get in/get out.

- + Improved functionality
- + Future-proofing
- + Commercial benefit



LIGHTING

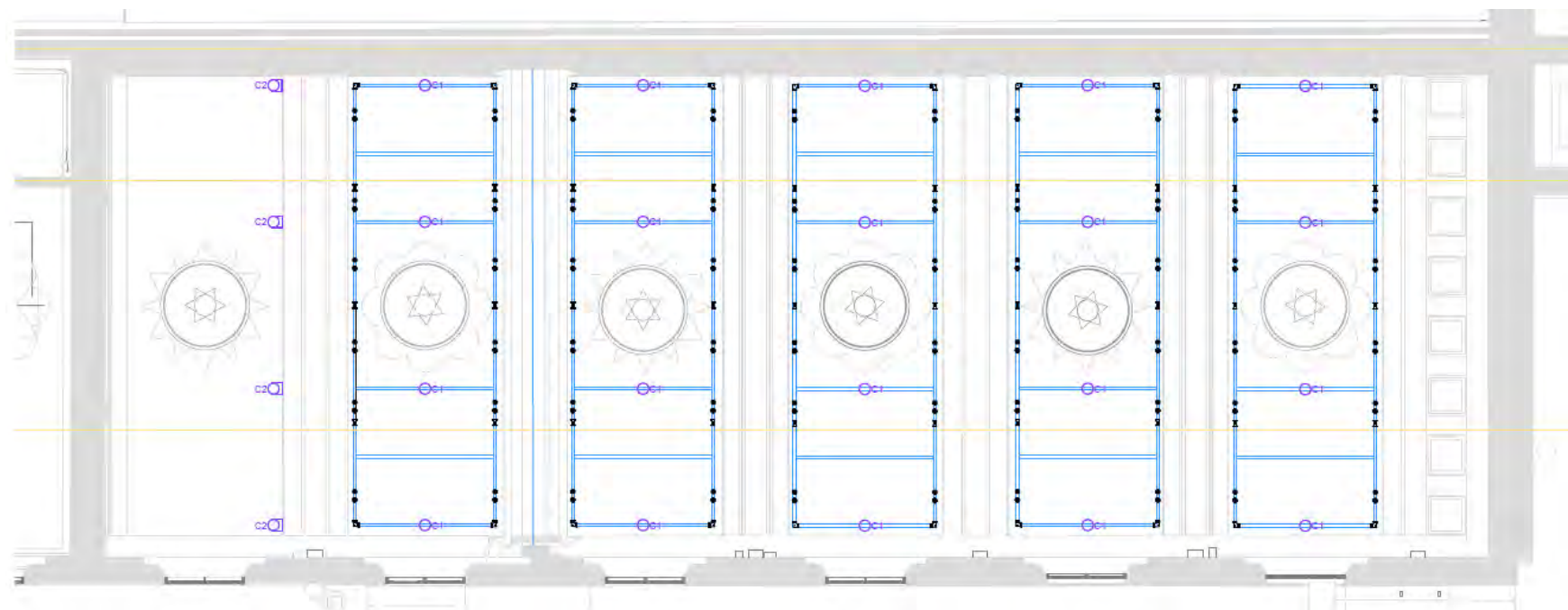
There is new dimming, data and socket distribution, which will improve the flexibility of the venue's performance lighting control. These upgrades also future proof the system for the onward purchase of LED fixtures. The current temporary house lighting system is being replaced with new LED RGBW fittings and a flexible control system, which will facilitate a wider range of events and performances

- + Improved functionality
- + Improved versatility
- + Improved energy efficiency

FORUM FIT-OUT

We are undertaking multiple interventions into the Forum Hall, to enable more regular and flexible use. These include the installation of a pipe grid, new production and house lighting and a portable temporary staging system

- + Improved functionality
- + Improved versatility
- + Commercial benefit



2 | PROPOSALS OVERVIEW

2.5 | ACOUSTIC INTERVENTIONS

VARIABLE ACOUSTIC ABSORPTION

The main principle around the acoustic intervention is to maintain the current recording acoustic. We are however, proposing to add additional variable acoustic absorption, which can be deployed to improve sound quality during different types of spoken word performance, where a shorter reverberation time is preferred.

- + Improved functionality
- + Improved versatility
- + Commercial benefit

OTHER ABSORPTION

We are adding acoustic absorption to the foyers, Forum Hall and some back-of-house spaces, to ensure a good level of acoustic comfort in these areas

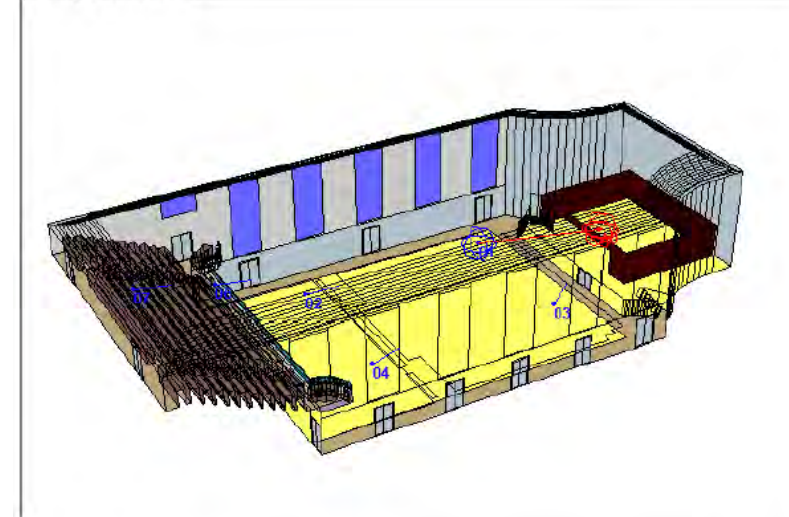
- + Acoustic comfort
- + Improved functionality
- + Commercial benefit

FABRIC IMPROVEMENTS

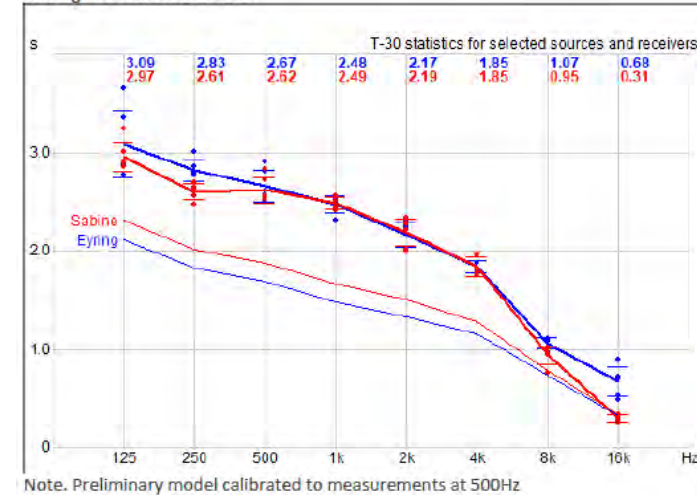
We are upgrading various doors, and the Main Auditorium windows with secondary glazing, in order to limit any noise breakout occurring during practice or performance.

- + Acoustic comfort
- + Reduced noise breakout
- + Improved functionality

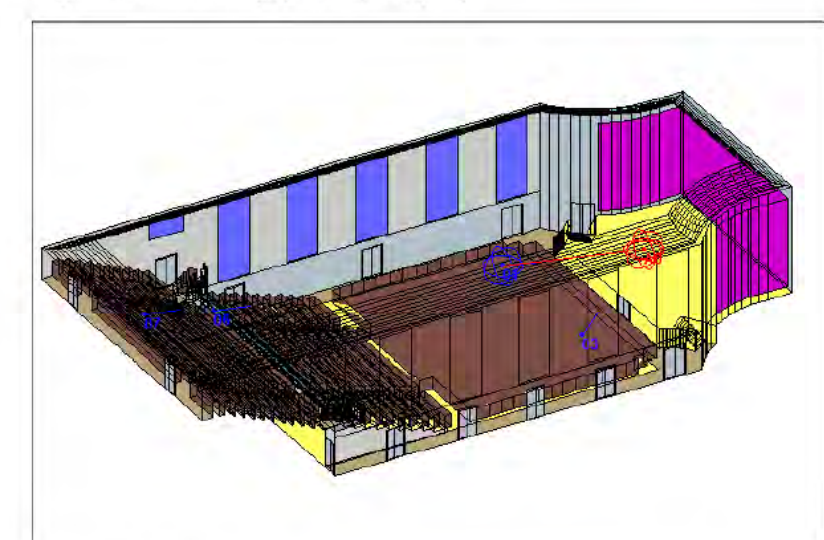
Existing as measured



Average Reverberation time



Proposed with bleachers deployed and 2/3 occupancy



Average Reverberation time

