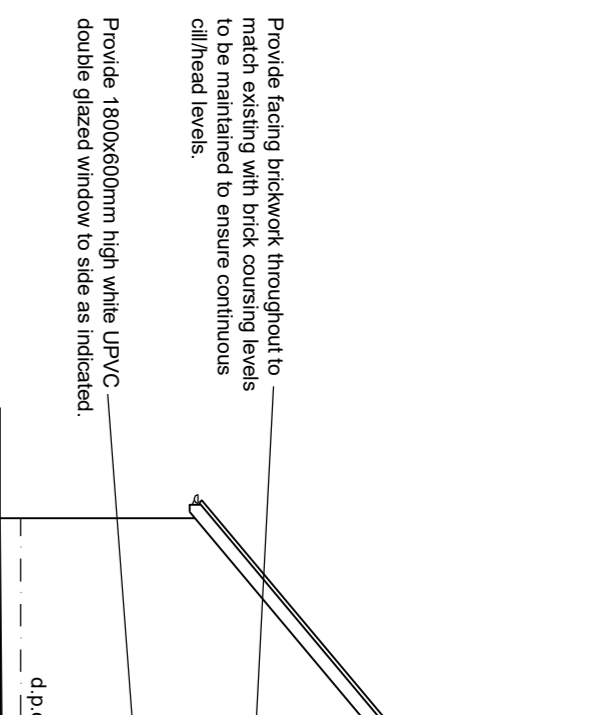
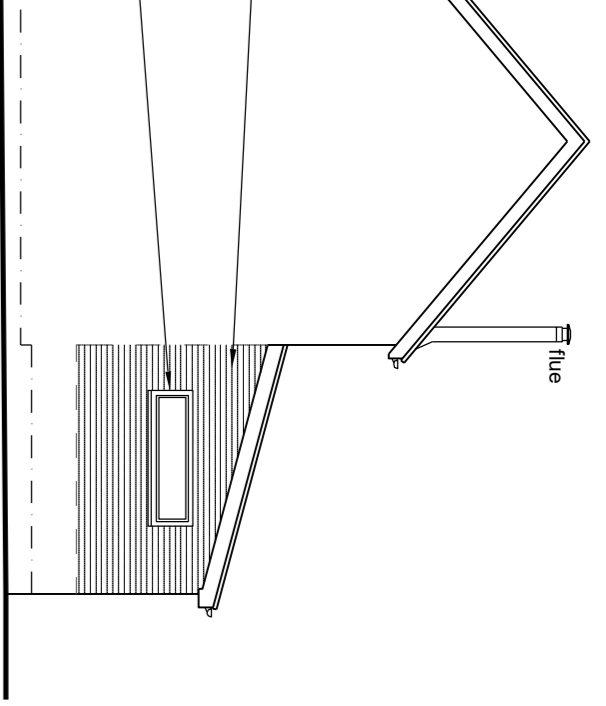


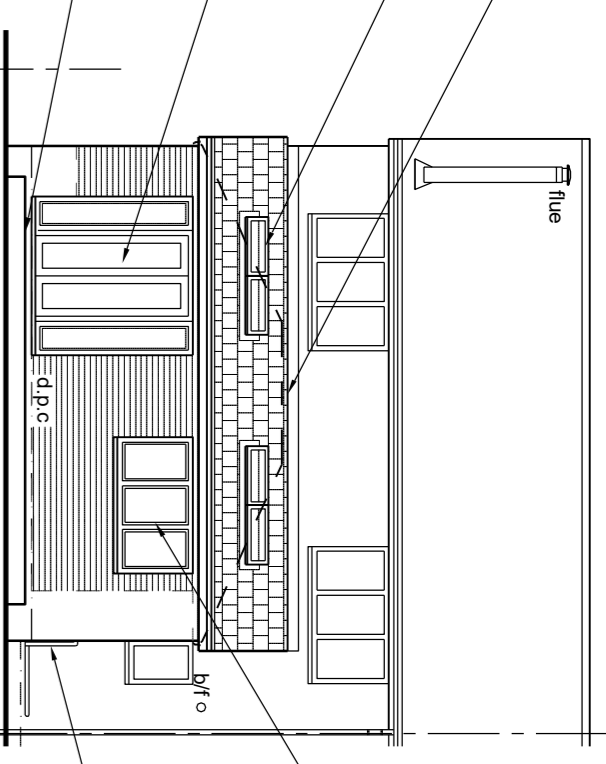
**FRONT ELEVATION**  
Scale 1:100



**FLANK ELEVATION**  
Scale 1:100



**REAR ELEVATION**  
Scale 1:100



**SIDE ELEVATION**  
Scale 1:100

**A1 DWG**

**LABC**  
Landscape Architecture & Building Consultancy  
Approved by The Architects Registration Board

Provide being lockwork throughout to be maintained to ensure continuous egress to all exits.

Provide 1800x2100mm high white UPVC double glazed window to side as indicated

Existing roof to be fully stripped off.

Provide mono-pitch roof finished with concrete making gables and gable ends rainwater goods. Provide zinc sags of lead together as indicated unless otherwise instructed by client.

Provide 1800x2100mm high white UPVC double glazed French doorset to rear as indicated

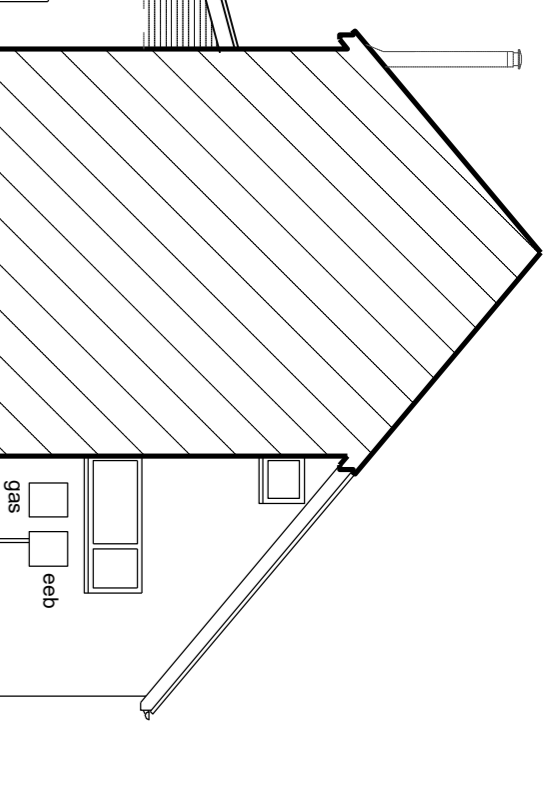
Existing step to be maintained or adjusted according to client on site.

Final position of extract fan outlet (X1) to be agreed on site. See also main notes.

Provide 1500x1050mm high white UPVC double glazed window to rear as indicated

Existing ramp to be adapted so as to take discharge from rear roof.

Allow for externally mounting pipe from new kitchen sink to internal s/s. All to suit site conditions and final purling layout.



**SECTION AA**  
Scale 1:50

Provide eave 5 lead finishing at roof and wall abutment. Wall/ceiling level of new roof may be increased by further 75mm as needed once levels confirmed.

780x1180 Valsa windows x 4

Level of flat ceiling to be agreed on site

Direction, span of floor joists to be confirmed on site

100 lmbh over opening

min 15°

min 2250 (lb.a)

450

500

existing foundations

302.5 t.b.c

timber set floor

existing beam and block floor

min 15°

min 2250 (lb.a)

450

500

existing foundations

302.5 t.b.c

timber set floor

existing beam and block floor

New mono-pitch roof to be constructed generally as main notes with 150/50 C24 banded together around eaves/rafters. Installed with 120mm Celdek PU-5000 between rafters and further 50mm to underside. Under rafters to take necessary LED filings, see also main notes and all subject to agreement on site with client.

All new gapping, heights or indicated subject to adjustment as necessary to ensure continuous brick coursing levels with existing dwelling.

Allow for forming new finished 200mm cavity masonry to match existing conservatory walls as per main specification notes.

Existing foundations to be underpinned in 1m bays to structural engineers details and calculations. Existing beam and block floor retained with additional ventilation arrangement to be confirmed in agreement on site with building inspector.

**Foundations**

Existing 400 x 400mm wide mass concrete foundations, at min 1750mm below ground level to be underpinned with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

Underpinning to be undertaken on basis of low plasticity clay or medium plasticity clay soil, unless otherwise specified, to be finished with 75mm OPC concrete. Where underpinning is undertaken on high plasticity clay or medium plasticity clay, underpinning to be finished with 75mm OPC concrete.

Exact location and depth of existing drains to be established prior to commencement of work.

Where foundations not constructed on a stable basis, adjacent piers to be linked using 3 HI-900mm drilled bars at top and bottom of foundations.

Allow for forming and casting at services prior to any excavation work being carried out.

All foundations to be underpinned with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

Allow for forming and casting at services prior to any excavation work being carried out.

All foundations to be underpinned with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

**Ground Floor Construction (Rear and Back)**

Existing beam and block floor to be replaced as necessary to ensure suitable sub-floor ventilation.

Allow for missing all loads around pipes passing through floor and structure generally to prevent ingress of air and rain and finish with compressive sealant.

**Waste Plumbing**

Provide 40mm diameter UPVC waste to sink/washing machine/dishwasher.

Provide brass waste traps in excess of 1.7m use 30mm diameter waste pipes.

Cleanout/provision traps to be provided at all changes in direction of waste pipework.

Provide isolation valves to hot and cold water supplies within 300mm of each application.

All drains and wash hand basins are to be fixed with a maximum overhang ensuring the drainage system is fixed to a 45° positional slope to trap level.

Consideration of wastewater pathogens.

**Water Plumbing**

Provide 15mm cold water supply to sink/washing machine/dishwasher.

Provide 15mm hot water supply to sink/washing machine/dishwasher.

Provide 15mm hot water supply to shower.

Provide 15mm hot water supply to toilet.

Provide 15mm hot water supply to bidet.

Provide 15mm hot water supply to bath.

Provide 15mm hot water supply to shower.

Provide 15mm hot water supply to toilet.

Provide 15mm hot water supply to bidet.

Provide 15mm hot water supply to bath.

**Windbreakers**

Provide 1800x2100mm high white UPVC double glazed window to rear as indicated

Existing step to be maintained or adjusted according to client on site.

**External Gully Walls**

Provide 100mm square gully with cover. Gully to be finished with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

Provide 100mm square gully with cover. Gully to be finished with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

**Final layout of kitchen to be agreed with client on site.**

Existing conservatory foundations exposed and underpinned with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

Underpinning to be undertaken on basis of low plasticity clay or medium plasticity clay soil, unless otherwise specified, to be finished with 75mm OPC concrete. Where underpinning is undertaken on high plasticity clay or medium plasticity clay, underpinning to be finished with 75mm OPC concrete.

Exact location and depth of existing drains to be established prior to commencement of work.

Where foundations not constructed on a stable basis, adjacent piers to be linked using 3 HI-900mm drilled bars at top and bottom of foundations.

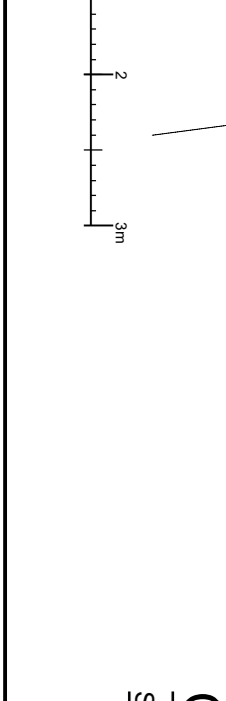
Allow for forming and casting at services prior to any excavation work being carried out.

All foundations to be underpinned with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

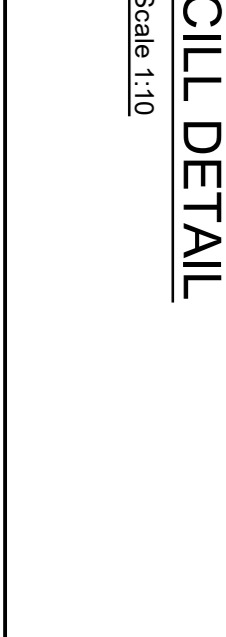
Allow for forming and casting at services prior to any excavation work being carried out.

All foundations to be underpinned with concrete to BS 8000 to depth as specified on drawing and in strict accordance with structural engineers details.

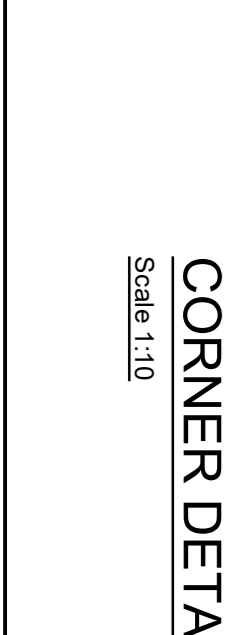
**Ground Floor Plan**  
Scale 1:50



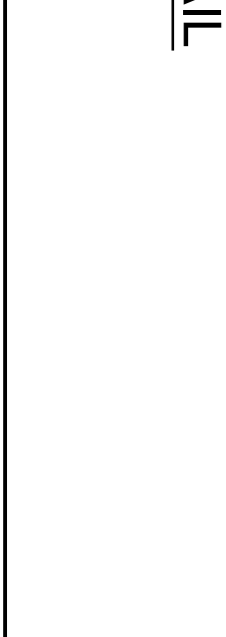
**Cill Detail**  
Scale 1:10



**Corner Detail**  
Scale 1:10



**Bargeboard Detail**  
Scale 1:10



**Section AA**  
Scale 1:50



<b>Project:</b> Proposed alterations to existing rear conservatory at 8 Wrights Orchard, Aston, Stenavidge, SG2 7HR	
<b>Title:</b> Scheme Proposals Drawing	
<b>Scale:</b> As stated	<b>Date:</b> 12/05/2022
<b>As stated</b>	<b>Drawn:</b> SJC
<b>Job No:</b> SC/2005/1030	<b>Rev:</b> 02
<b>Drawing No:</b> 02	
<b>Design:</b> S & S Coates Surveying & Design	
Room 2, Denel Wing, The Rufus Centre, Steppingley Road, Filwick, MK45 1AH Tel: 01525 862457 or 07960 215053 stevecoates72@gmail.com	

**Note**  
This drawing is to be read in strict accordance with DB Structural Engineers detailed design drawings and calculations and all references to steelwork and end bearing must be taken from the engineers package.

**General Note**  
All work including all demolition work and excavation work to be carried out carefully and safely with all necessary propping, shoring and strutting. All work by contractor to be undertaken in accordance with the relevant British Standards and any requirements of the local authority.

Now: All existing foundations, beams, joists, etc. where appropriate to be opened up and inspected for adequacy to take additional loading and designed as necessary to the satisfaction of the building inspector.

Note:  
Where dimensions indicated as t.b.c (to be checked/confirmed) these are other dimensions to be checked to confirm to the relevant British Standard. Where other dimensions are indicated as t.b.c (to be checked/confirmed) these are other dimensions to be checked to confirm to the relevant British Standard.

All existing work to be maintained in good order unless otherwise specified. Where replacement is required, the replacement shall be of a like material and standard.

All external materials to match existing unless specified otherwise with samples to be provided to the client for approval. All work to be carried out in accordance with the relevant British Standards and any requirements of the local authority.

All work to be carried out in accordance with the relevant British Standards and any requirements of the local authority.

**Electrical Installation**  
All electrical work to BS 7671 and to meet requirements of Part P (Electrical Safety) designed, installed, inspected and tested by a person competent to do so. Prior to commencement of work, a written certificate of inspection shall be issued for the work, and that has been signed by a person competent to do so.

The local Authority should require notification from the Part P Competent Persons daily positioning of lights, sockets etc to be agreed with client on site.

Final positioning of lights, sockets etc to be agreed with client on site.

All switches and sockets to be 450x1200mm above floor level.

**Mechanical Ventilation**  
Mechanical ventilation to be provided through Ceiling Hood, complete with fans, fixed between 650-750mm above ceiling with 30 litres/second extraction rate through a wall minimum extract rate with 80 litres/second extraction rate where separate manual control.

Where ducting lengths over 15m, centrifugal fans to be used.

All extract fans (excluding cooker hood) to be Greenood Avonic, or similar approved. Extract fan outlet (X1) to be positioned as generally indicated on drawing although subject to agreement on site between client and contractor.

**Surface water Drainage - Private**  
Provide surface water drainage to street via 150mm diameter UPVC final jointed surface water drain pipes. Provide surface water drainage to street via 150mm diameter UPVC final jointed surface water drain pipes.

Provide surface water drainage to street via 150mm diameter UPVC final jointed surface water drain pipes.

Provide surface water drainage to street via 150mm diameter UPVC final jointed surface water drain pipes.

**Monopitch Roof - Warm Unventilated**  
Provide pitched concrete or rendered support concrete roof/ceiling, or similar with minimum 100mm insulation. All tiles, including verges, to be clipped so plane in accordance with manufacturer's specific guidelines. Provide 300mm banded battens at gaps to suit on Type Slope (or similar approved) batten membrane with minimum 100mm insulation. Provide 100mm thick DPM over insulation. Provide 100mm thick DPM over insulation. Provide 100mm thick DPM over insulation. Provide 100mm thick DPM over insulation.

**General Note**  
All work including all demolition work and excavation work to be carried out carefully and safely with all necessary propping, shoring and strutting. All work by contractor to be undertaken in accordance with the relevant British Standards and any requirements of the local authority.

Now: All existing foundations, beams, joists, etc. where appropriate to be opened up and inspected for adequacy to take additional loading and designed as necessary to the satisfaction of the building inspector.