

# **LAND TO THE REAR OF NO.6 BURTON ROAD, POOLE, BH13 6DU**



Subdivision of the plot and construction of a detached house to the rear  
of the existing building

## **PLANNING AND HERITAGE STATEMENT ENERGY AND RESOURCES STATEMENT**

May 2022

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## **1. Introduction**

- 1.1 This Planning Statement has been prepared on behalf of Bayview Developments (South) Ltd and is submitted in support of a planning application to subdivide the plot and construct a detached house to the rear of the existing building on land at no.6 Burton Road, Poole.
- 1.2 This Planning Statement demonstrates how the proposals have been designed to comply with Poole Local Plan policy PP27: 'Design' in that they reflect the local patterns of development and neighbouring buildings in terms of layout and siting, height and scale, bulk, materials and landscaping. The proposed development will make efficient use of the land by creating an additional home in a sustainable location whilst respecting the character and appearance of the Branksome Park and Chine Gardens Conservation Area.
- 1.3 Previous applications by others for the construction of a block of flats on this site in replacement for the existing house have been refused and later dismissed at appeal. Adjacent and nearby plots have also had applications for redevelopment and plot severances refused, appealed and/or approved. The house proposed in this application has been designed taking into account the LPA's and where applicable the Inspector's comments on those previous applications.
- 1.4 The Applicant has also submitted a separate application for alterations and remodel of the existing house at no.6.
- 1.5 The application comprises:
  - Completed application form
  - Plans and drawings
  - This Planning and Heritage Statement
  - Arboricultural Impact Assessment

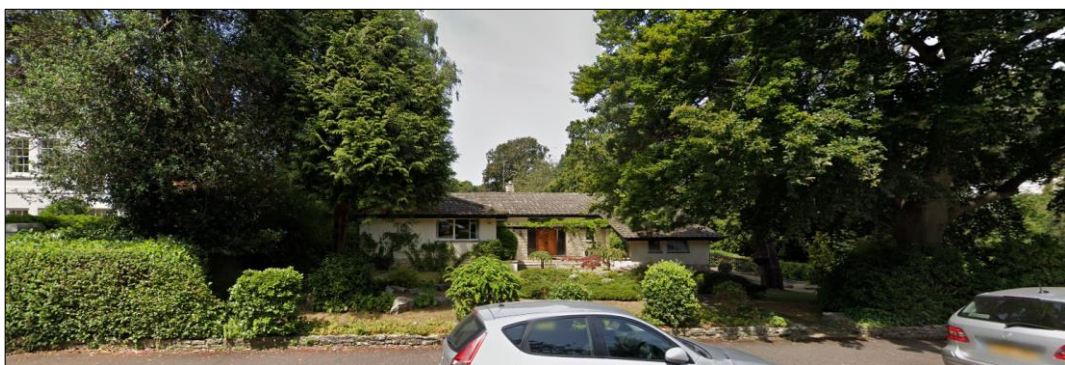
## **2. Site context**

- 2.1 The site is located on the west side of Burton Road and within the Branksome Park area of Poole. This area is characterised by detached properties set within generous plots. It is a sustainable location as it is close to the Poole Road local centre and accessible by bus services that run along The Avenue, Lindsay Road and Poole Road.



**Aerial view of the proposed development site ([www.google.co.uk](http://www.google.co.uk))**

- 2.2 The site is currently occupied by a detached split-level house of mid twentieth century construction. The plot is broadly rectangular in shape with the building set back from the site frontage and aligning with the adjacent no.8 Burton Road. Due to the topography of the site the building appears as single storey from the front and double height from the rear. The site frontage is fairly open compared to neighbouring sites, however the boundaries still contain mature hedgerows and trees that contribute to the areas strong verdant character.



**View of No.6 Burton Road ([www.google.co.uk](http://www.google.co.uk))**

- 2.3 On this part of Burton Road the buildings vary in age, size, design and form, and the variety is a part of the area's character. Properties front the road with buildings set back behind fences, hedgerows or trees so that in many cases only glimpses of built form can be seen.

- 2.4 The site falls with the eastern boundary of the Branksome Park Conservation Area. Section 2 of the Conservation Area Appraisal summarises key elements defining character and appearance. Landscaping and spaciousness are described as critical elements where trees and other planting form dense hedges. The area has a sylvan character and most houses are glimpsed through vegetation with trees creating a towering backdrop above roofs. This part of Burton Road in particular is described as having large plots and abundant landscaping, forming a low density pattern of development. The Character Area description states;

*“Most buildings make a positive contribution to the character and appearance of the area and represent a pre-WWII phase of the area, allowing only very limited scope for change. Proposals to demolish existing dwellings would be detrimental to the character and appearance of the conservation area and should be avoided. Development should reflect the low-density pattern of the area, retaining detached houses in large well landscaped plots.”*

No.6 is not identified specifically as a locally listed building or as adding character to the area per the Conservation Area Appraisal map, however the adjacent no.8 is regarded as a locally listed building.

- 2.5 As well as the hedge on the front and side site boundaries the application site also has a number of trees on it that are protected by virtue of the conservation area designation. An Arboricultural Impact Assessment accompanies this application.

### **3. Relevant Planning History**

- 3.1 The planning history for the application site includes;

- Planning permission for the demolition of the existing dwelling and erection of a block of 12 apartments together with access and parking (reference APP/21/01026/P) was refused 25<sup>th</sup> Oct 2021. Refusal reasons included the proposed size, scale, bulk and mass as cramped and over-densified, that it would be an unduly dominant form of development and that the design and siting would result in less than substantial harm to designated and non-designated heritage assets.
- An outline application for the demolition of existing dwelling and erection of 12 flats comprising a single building together with access, parking and landscaping (reference APP/20/00437/P) was

refused by the LPA 22<sup>nd</sup> April 2021 and later dismissed at appeal 19<sup>th</sup> Nov 2021. The issues included the impact on the character and appearance of the Conservation Area and the effect on the setting of no.8 Burton Road with regard to privacy. In dismissing the appeal the Inspector made the following observations;

1. The existing dwelling at the site is unremarkable and a later addition to most. No harm would come to the character and appearance of the area from its removal (paragraph 6)
2. The proposal seeks to adopt an 'arts and crafts' style, which may well have been fashionable at the time that the majority of the conservation area was built out. However, architectural style is of little importance to the historic interest of this conservation area, with most buildings representing the prevailing style at their time of construction. The design approach would result in a building of uncharacteristically intensive use in a style that appeared more established and in doing so, would confuse rather than better reveal the historic interest of the area (paragraph 9).
3. A key feature of this part of the conservation area is the dominance of landscaping over buildings. (paragraph 10)
4. The depth of the building would obscure views from the highway to trees at the rear of the site, when viewed across the low side wing/garage of the adjoining No.8. While landscaping is a reserved matter, there is no substantive evidence that effective planting, that would ultimately dominate the site, could be provided. (paragraph 11)
5. Although the conservation area is large, the development would weaken the clearly defined edge as higher density development would encroach into it. Therefore, the proposal would harm the character and appearance of the conservation area (paragraph 12)

- An application for extensions and refurbishment of existing bungalow to form new garage, games room, study and master suite (reference APP/16/01182/F) was approved on 12<sup>th</sup> Sep 2016.

### 3.2 Relevant planning history on adjacent sites includes;

- No.4 Burton Road
  - APP/22/00094/F Partial demolition of the garage, erect new side elevation walling, sever land and erect 2 detached houses with associated car parking (revised scheme) validated 2<sup>nd</sup> Feb 2022 and is yet to be determined at the time of writing this statement.



- APP/21/01459/F Partial demolition of the garage, erect new side elevation walling, sever land and erect 2 detached houses with associated car parking was validated 19<sup>th</sup> Oct 2021. This application is currently awaiting the outcome of a non-determination appeal at the time of writing this statement.
- APP/21/00211/P Outline application for the demolition of the existing dwelling and erection of a block comprising 13no. flats with associated access and parking was refused by the LPA 2<sup>nd</sup> Sep 2021. Issues included the impact on the character and appearance of the Conservation Area and the proposal would not meet the design requirements of policies PP27 and PP28.
- APP/19/01289/F Alterations to the existing dwelling and erection of three detached dwellings with associated access and parking was refused by the LPA and later dismissed at appeal 28<sup>th</sup> Jul 2020. Issues included the effect the proposal would have on the character and appearance of the Conservation Area and surface water flood risk. The Inspector's report indicated that the principle of sub-dividing the large plot accorded with Policy PP28, however did not consider the proposal for three smaller plots to be acceptable. The distance from Burton Road and lower level position would have little, if any, impact on the street scene, however the test is not whether any harm caused by development would be visible, but whether the development would preserve or enhance the character or appearance of the Conservation Area.
- No.2 Burton Road and 22 Balcombe Road
  - APP/21/01677/F Erect a 2 storey dwelling on severed land to the rear of the existing dwelling validated 3<sup>rd</sup> Dec 2021 and is yet to be determined at the time of writing this statement.
  - APP/19/01224/P Major outline application for demolition of the existing building and erection of a flatted development comprising 37 no. self-contained residential units with associated access and parking. The application was validated 1<sup>st</sup> Oct 2019 and is yet to be determined at the time of writing this statement.
  - APP/18/01446/F New two-storey domestic dwelling approved 5<sup>th</sup> Sep 2019. The new dwelling would be sited to the rear of the existing building, severing the plot. The Officers report notes *"It is considered that the views into the site will allow*

*glimpses of the proposed new house, but the retaining existing garage will limit some of the views of the dwelling. Given that trees around the edge of the site will be largely retained the dwelling will sit in a sylvan setting. It is considered that the proposal would follow the criteria of the BPCACAMP in that the resulting development would still have a large detached house set in large well landscaped gardens. The proposed dwelling per ha would raise to 21 dwellings per ha (dph), as a result of this additional dwelling on the site, however this is still a low dph. It is considered that the plot severance and the resulting two storey built form when compared to the extant approval would cause no additional harm to the Conservation Areas mixed character within Westen Road (Upper) and Burton Rd section of the Conservation Area."*

- APP/16/01353/F New two storey domestic dwelling approved 28<sup>th</sup> Jul 2017 was not implemented.
- No.20 Balcombe Road
  - APP/09/00148/F Demolish existing and erect 3 detached houses (revised scheme) was initially refused by the LPA and later allowed at appeal 2<sup>nd</sup> Dec 2009. The application was followed by a minor material amendment application that was approved in 2013 (reference APP/13/01069/F) and two applications to vary conditions (references APP/14/01312/F and APP/15/00408/F). The dwellings have been constructed. In the determination of the appeal the Inspector considered the impact of the development within the setting of the Conservation Area and the resulting increase in density compared to the existing character of the area "10. Even if the house could be seen from Balcombe Road or across the garden to 2 Burton Road, such views would, at best, be glimpses. Glances of buildings through trees are common to the character of the locality. Therefore seeing the proposed houses, including the one on plot 3, would not harm views into or out of the adjoining Branksome Park Conservation Area, or be out of character with the general surroundings. 11. Taking all other considerations into account under this issue I consider that even with a further house sited at the back of the appeal site, the proposed development would meet the landscape, design and conservation aims of policies BE2, BE16 and BE24 from the adopted Poole Local Plan First Alteration and policies PCS5 and PCS23 from the adopted

*Poole Core Strategy. I have also considered the Council's 'A Design Code' and the Branksome Park Conservation Area Character Appraisal and Management Plan, but do not find any conflict with the design and conservation principles of these either."*



View of the dwellings constructed on land at no.20 Balcombe Road ([www.google.co.uk](http://www.google.co.uk))

- APP/18/01616/P A major outline application (siting, scale, appearance and access under consideration) for the demolition of the existing houses and erection of flatted development of 30 flats with associated access and parking on land at 18, 18a, 20, 20a and 20b Balcombe Road was approved 25<sup>th</sup> Oct 2019 and remains extant. The site is adjacent to but outside of the Conservation Area, the Officer's report states *"The proposed side elevation (east) will sit on the building line of the existing houses. The scale of the building drops in height where it is closest to the Conservation Area boundary, and acts as a transition to the Conservation Area. The dwelling at no. 22 Balcombe Road is a very large semi detached dwelling which sits forward in it's plot. The siting, scale and built form will not cause harm to the character of the Conservation Area which lies to the east of the boundary."*

3.4 The Officer and Inspector reports linked to the above applications refer to various styles of architecture within and adjacent to the conservation area where various properties have been redeveloped over time, and this process continues today. Where properties have been demolished to be replaced with new, the design approach to those replacement houses has varied from large Georgian style buildings to contemporary and new modernist designs, most buildings represent the prevailing style of architecture at their time of construction.





Nos.4 & 8 Burton Rd differing in style to the bungalow at no.6 ([www.google.co.uk](http://www.google.co.uk))

3.5 The applicant has taken into account the outcome of the various decisions on the application site and adjacent sites. The proposal for no.6 is to retain a spacious plot with the new building set away from its boundaries. The low density pattern of development will be maintained and the new house will be of a design that reflects contemporary architectural styles. The key feature of landscape and trees dominating over buildings within the Conservation Area will be preserved.

## 4. The proposed development

4.1 The proposal is to retain the existing bungalow and extend the existing access to the rear of the site. The plot will be split and a new house constructed towards the rear of the site. The new house will have its accommodation laid out over two floors and will be provided with associated parking, access and landscaping.



Site plan extract (Marlow Architects)

- 4.2 The new house has been designed to occupy a central position within its plot and thereby retain ample space between the building and the boundaries with adjacent sites and reflecting the pattern of development and spaciousness between dwellings in the area. In terms of appearance the proposed house is of a contemporary form of architecture that incorporates flat 'green' roofs with part of its footprint as single storey only, allowing the house to sit low within the site and integrate with the verdant character of the area. In contrast to the previous applications on this site the proposal is for a single dwelling that will sit lower than the existing frontage building, and it is of a scale and mass that will better preserve views of the backdrop of landscaping as seen from both Burton Road and along the existing driveway.



**An extract of the proposed front elevation and street scene (Marlow Architects)**

- 4.3 The house has been designed and sited so that the existing landscaping on the site boundaries is retained. New trees will be planted to enhance the existing landscaping. Therefore, the contribution that this landscaping makes to the setting of the site and the wider conservation area will be undiminished.
- 4.4 The existing access onto Burton Road will be retained. The only alterations required to accommodate the proposed development will be to incorporate visibility splays at the entrance. Therefore the landscaping on the site frontage will be largely unaffected.

## 5. Relevant planning policies

### National Planning Policy: The National Planning Policy Framework

- 5.1 The National Planning Policy Framework (NPPF) confirms that the purpose of the planning system is to contribute to the achievement of sustainable development.
- 5.2 The NPPF confirms that there is a presumption in favour of sustainable development. For decision-taking this means approving development proposals that accord with the development plan without delay; and where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits.
- 5.3 The NPPF makes clear that planning decisions should promote an effective use of land. Paragraph 124 states that development should take place at appropriate densities, making *'optimal use of the potential of each site'* (paragraph 125).
- 5.4 Paragraph 126 of the NPPF confirms that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and helps make development acceptable to communities.
- 5.5 Paragraph 130 of the NPPF states that planning policies and decisions should ensure that developments will function well and add to the quality of an area in the short and long-term of its lifetime, developments are visually attractive as a result of good architecture, layout and landscaping, developments are sympathetic to local character and history whilst not preventing appropriate innovation, and development should establish a strong sense of place and optimise the potential of the site.
- 5.6 Paragraph 131 of the NPPF focuses on the importance of trees and their contribution to the character and quality of urban environments.
- 5.7 Paragraph 199 of the NPPF advises that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Paragraph 201 advises where the proposals would lead to less than substantial harm to the significance of a

designated heritage asset, the harm should be weighed against the public benefits of the proposals including, where appropriate, securing its optimum viable use.

### **The Local Development Plan**

- 5.8 The development plan for Poole comprises the Poole Local Plan 2018. The BCP Parking Standards Supplementary Planning Document adopted January 2021 is also relevant.
- 5.9 Policy PP1 sets out that the Council will apply the presumption in favour of sustainable development in the determination of planning applications.
- 5.10 Policy PP2 establishes the amount and broad locations for new development in the Borough. The policy states that the council will aim to provide 14200 homes in the Borough up to 2033, of which the majority will be expected to be in the most accessible locations. In order to achieve this, the Plan aims to provide 710 homes per annum between 2018 and 2023, rising to 815 homes per annum from 2023 to 2033.
- 5.11 Policy PP8 confirms that the Local Plan does not prescribe a particular housing mix that development should follow.
- 5.12 Policy PP27 - 'Design' states that a good standard of design will be required in all new developments. Development should respect the site and its setting by reason of its function, siting, landscaping, scale, density, massing, height, design details, materials and appearance. Development must not result in the loss of trees that make a significant contribution to the character and local climate of the area.
- 5.13 Policy PP28 – 'Flats and plot severance' will only permit plot severances where there is sufficient land to enable a type, scale and layout of development in a manner which would preserve or enhance the area's residential character.
- 5.14 Policy PP30 refers to heritage assets and states that the council will expect development to preserve or enhance Poole's heritage assets and their settings, in a manner that is proportionate with their significance.
- 5.15 Policy PP32 will not permit development that will adversely affect Poole's nationally, European and internationally important sites, and new development is required to financially contribute towards mitigation measures.

- 5.16 Policy PP34 - 'Transport Strategy' states that new development will be expected to contribute to improved connectivity to transport networks, directing development to the most accessible locations, which are capable of meeting a range of local needs and will help to reduce the need to travel.
- 5.17 The BCP Parking Standards Supplementary Planning Document (adopted January 2021) sets out that three or four-bedroom houses in this part of Poole will require two car parking spaces each.
- 5.18 The Council's Conservation Area Appraisal document provides 12 design code guidelines for new developments in the Branksome Park conservation area. These are considered in section 7 of this Planning and Heritage Statement.

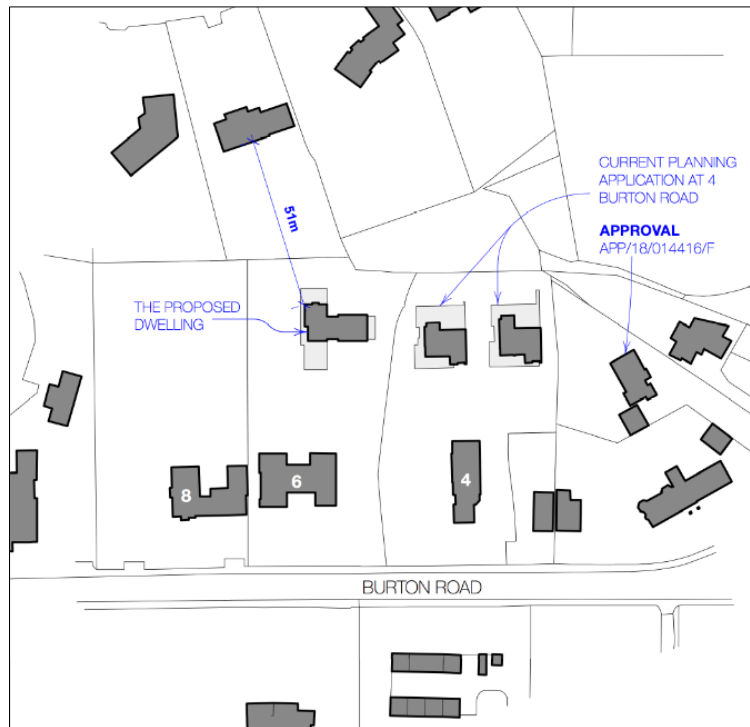
## **6. Design and Policy Assessment**

### **Use**

- 6.1 The existing use of the site is residential and the new building will also be residential. The surrounding buildings are all residential in use and therefore the proposed development will be consistent with the character and appearance of the immediate area as well as the character of the wider conservation area.

### **Amount**

- 6.2 The properties on Burton Road are mainly large, detached dwellings, sited centrally within their respective plot frontages and set back from the road. No.6 has a comparable plot to adjacent sites and appears as a bungalow as seen from the street. There is sufficient space on the site to split the plot as proposed and still accommodate a type, scale and layout of development, including parking and generous amenity space, in a manner that will preserve the residential character of the area in compliance with NPPF paragraph 130 and Local Plan Policy PP28. The proposed redevelopment will increase the amount of built form on site but will still ensure that both the existing and new dwellings will have comparable sized plots and a low density that is typical of the Conservation Area.



**Block plan extract (Marlow Architects)**

- 6.3 The block plan extract above demonstrates that the new house will respect the grain of backland development in relation to the adjacent development at no.4 (albeit still to be determined) and the approved development to the rear of no.2 Burton Road and no.22 Balcombe Road. The footprint and width of the new building is similar to the existing building at no.6 and therefore will provide consistency in the size of dwellings and pattern of development.
- 6.4 In limiting the development to one new dwelling the separation distances between the new building and its neighbours as seen from the road and adjacent sites is comparable to the existing arrangement. As such, the proposals will appear appropriately spacious for the locality and will comply with Policy PP27.
- 6.5 The gross internal floor area of the new house will the exceed nationally prescribed minimum space standard for a four-bedroom home. The property will have an ample sized garden and all of the landscaping at the site edges will be retained. Some of the footprint is limited to ground floor level only and thus will not read in the street scene due to the downward slope of the site, particularly as glimpsed from Burton Road. As such, the amount of development on the site in terms of overall built form has been successfully managed in order to preserve the spaciousness of the application site and the dominance of landscaping.



- 6.6 It is considered that the living accommodation provided both in terms of internal and external space will provide a high standard of residential amenity, and this further endorses the amount of development proposed as being appropriate.

### Layout

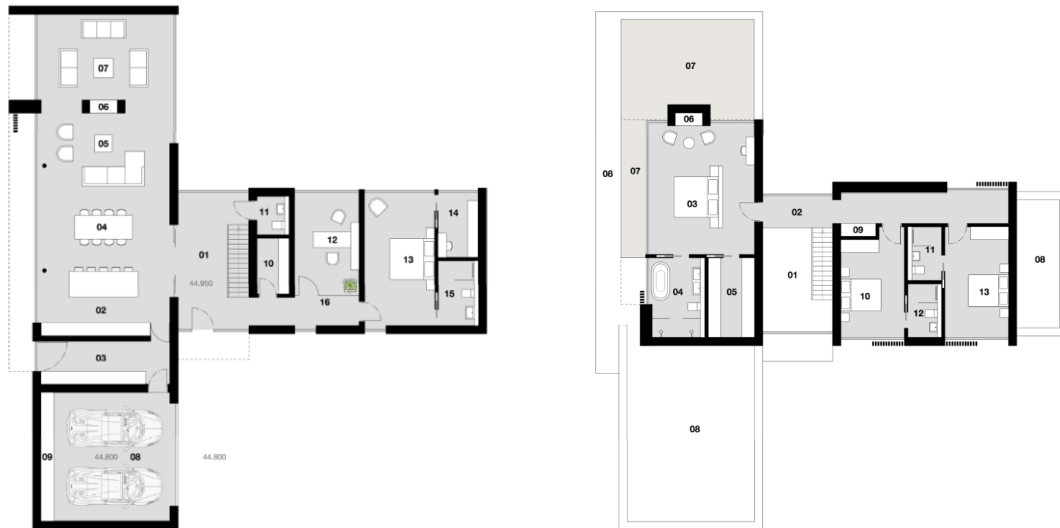
- 6.7 The proposed layout of development on the site has been informed by the existing site configuration, the location of protected trees, and the need to respect the existing street scene and residential amenities of the neighbouring sites. In refusing the APP/21/01026/P the Officer noted that *“loss of space between buildings and their boundaries can detract from the openness of the Conservation Area, reducing the dominance of planting and parkland setting over built form.”* To that end the development will be located to the rear of the site, laid out centrally within the new plot and will retain space between the new building and its boundaries. This reflects the existing pattern of development in the area and the layout approved under application APP/18/01446/F. The privacy of the neighbouring homes will be preserved and the future development of adjacent sites will not be prejudiced in accordance with Policy PP27.



**Proposed site plan extract (Marlow Architects)**

- 6.8 In designing the home consideration has been given to the location of windows with regards to the relationship of the building to the immediate adjacent properties and the need to maximise natural light. Glazing panels and sliding doors will be partially obscured by louvres on some elevations to maximise natural light and solar gain whilst preserving privacy. To create an

appropriate relationship with the existing building at no.6 there will be limited glazing on the east elevation and the proposed garage will separate the main living areas away from the new boundary with no.6. Only the flat roofed area on the north side of the building will be used as a terrace in order to avoid overlooking of no.6, and this can be ensured by condition of approval should the LPA feel it appropriate. Overall the proposals ensure no material adverse impact on neighbour amenity or loss of privacy.



**Proposed ground and first floor plan extracts (Marlow Architects)**

- 6.9 Parking for no.6 will remain to the side of the house with the garage entrance as is the existing arrangement. There is sufficient space to create parking for the new dwelling and on-site turning so that cars can enter and leave the site in forward gear.



**Analytical block plan extract (Marlow Architects)**

## Scale

- 6.10 The prevailing character of this section of Burton Road is of substantial buildings of two storey height or more, some with detached double or triple garages. The existing dwelling on the application site is an exception to that in being a bungalow (as seen from the street), and it therefore has a lower profile in the glimpses obtainable from the street. This has been taken into account in designing the new house because the modern, flat roofed design enables a greater mass of building to be accommodated on the site without compromising views to the backdrop of trees. This is evident in the extended street scene extract below.



Extended street scene extract (Marlow Architects)

## Appearance

- 6.11 The proposed building is of a contemporary design and the proposed high-quality finishes will have a natural colour palette to ensure the new dwelling looks appropriate within the context of the sylvan setting. It will be finished in a mix of black timber cladding and bronze coloured aluminium.
- 6.12 In considering the impact on the appearance of the Conservation Area, the high-quality contemporary design will ensure that limited views into the site will be of an attractive modern residential dwelling surrounded by mature trees. The new dwelling will make a positive contribution to the street scene and the wider Conservation Area. Existing important mature landscaping and trees will be retained and protected. Views out towards other areas of the

Conservation Area will be enhanced by new planting, and the proposed separation distances from the site boundary will contribute to a feeling of spaciousness within the site.

- 6.13 In terms of its appearance the proposed house will sit comfortably in the context of the neighbouring buildings and the mix of designs seen across the conservation area and this part of Poole. There is already a pattern in this part of Poole of modern designs successfully integrating alongside more traditional dwellings and which is a part of the continual evolution of this part of Poole. Local Plan Policy PP27 requires that new proposals reflect or enhance local patterns of development and neighbouring buildings in terms of design details, materials and visual impact, and that is clearly achieved in this case.

### **Landscaping**

- 6.14 As noted above, the main contribution that the site makes to the conservation area is through its landscaping and the verdant character of the street scene. In determining previous applications the LPA has noted the valuable contribution of the site's landscape features such as the dense hedges and trees, therefore care has been taken to ensure the front boundary and hedgerows between adjacent sites are to be retained, and that the trees on the site and on the adjacent sites that contribute to the sylvan setting of the area are protected. The submitted Arboricultural report confirms how important trees will be retained and protected during the construction phase so that their contribution to local amenity remains undiminished.
- 6.15 Finally, and in terms of the backdrop of trees, many of those trees are off site and not directly impacted by the proposals. Nevertheless, the reduction in views of the backdrop has been identified as an issue for the previous application. In the current scheme the design of the house as a low profile, contemporary, flat roofed building minimises its overall height and bulk above ground floor level, and views of the treed backdrop through the site will be better preserved. This can be seen on the street scene extract above.

### **Access**

- 6.16 The BCP Parking Standards 2021 places the proposed development site in Zone D, which requires two allocated parking space per 3-bedroom property or larger. The garage and driveway will more than provide for that level of car parking on site, and secure cycle storage can be accommodated in the garage.

- 6.17 The existing access will be retained and extended to reach the rear of the site. It is not anticipated that there will be significant additional traffic generated by the proposed development that will adversely affect road safety or the ability of the transport infrastructure to accommodate the traffic.
- 6.18 The Applicant is aware that the BCP Parking SPD expects all new developments to include electric vehicle charging points. This can be accommodated in the proposed development.
- 6.19 This part of Burton Road is an accessible location. It is a short distance to the Poole Road which provides local services and facilities and is serviced by a regular bus route that can take residents to centre of Poole or further afield. Therefore, multiple transport options are available to residents and the proposals comply with Policies PP2 and PP34.

## **7. Heritage Statement**

- 7.1 In order to consider the degree of compliance of the proposed development with the design guidelines set out in the Conservation Area Appraisal document each of those guidelines is copied below together with a response;

- 1. Proposals should seek to respect and maintain the dominance of trees and other vegetation in the area,

Response: As noted above, the hedging and trees on the site boundary will be retained. As seen from Burton Road the backdrop of trees to the site will also be retained. The proposed dwelling will sit low within the setting ensuring the new building is subservient to trees and landscaping as required.

- 2. The demolition of buildings will only be permitted in certain circumstances, including where the building is not an important individual building or part of an important group of buildings,

Response: The existing building and access is to be retained. A separate planning application has been submitted for the alteration of the existing house.

- 3. Densely planted hedges should form the predominant method of boundary treatment,

Response: The dense boundary hedge on the site boundaries will be retained. The new boundary to facilitate the plot severance will be new 2.1m high timber fencing but can be reinforced with landscaping where required.

- 4. Where new buildings are proposed, they should be constructed of warm coloured red brick, a multi-stock brick, and appropriate render finish or a mixture of the two,

Response: The primary finishing material for the building will be black timber cladding with vertical louvers, bronze coloured aluminium soffits/facias and window/door frames. The building will only be glimpsed from the highway and the proposed colour palette has been designed to integrate the building within the landscape rather than dominate the setting.

- 5. Where it is proposed to demolish and replace an existing dwelling it will be expected that the new building be orientated on the site in a similar way to that already existing,

Response: No buildings will be demolished, however the new building will be sited central to its plot, ensuring separation distances between the built form and boundary comparable to the separation distances between existing dwellings. Like the existing building its principal elevation faces southeast.

- 6. Glimpses of buildings should be maintained and roadside trees and hedges should be retained wherever possible, unless a sound justification can be advanced to justify their removal,

Response: The roadside trees and hedges are retained. The proposed scale and height of the new dwelling works with the site topography to ensure it will sit low, allowing only a glimpse of the new building along the driveway. The retained mature boundary treatment will also ensure the views into the site from neighbouring dwellings are obscured.

- 7. Non-made up roads with informal stone and gravel surfaces should be retained wherever possible,

Response: The existing hardstanding access will remain. The new section of driveway to the new dwelling will be resin bonded gravel.

- 8. In certain parts of the conservation area, when the replacement of a dwelling is found to be acceptable in principle the new or altered building should not be significantly greater in terms of its bulk, scale or height than the existing dwelling on the site.



Response: The application site is not located in one of the specific parts of the conservation area to which criterion 8 refers. This is therefore irrelevant in this case, however it can be noted that the proposed dwelling will be comparable in size to the existing dwelling at no.6. The development will result in a detached dwelling set within a well landscaped plot, as is the pattern in the area.

- 9. Where redevelopment or extensions are proposed the intention should be to maintain existing gaps between buildings and their boundaries,

Response: As noted above, care has been taken in designing the building in order to ensure that the gaps between it and its neighbours exist to preserve the spaciousness of the site and reflect spacing between existing dwellings.

- 10. Trees that contribute to the amenity of the Conservation Area in terms of their character or appearance should be retained and protected from development. Where trees are removed as part of planning permission, replacement trees of a similar character will be required with a landscape plan,

Response: The submitted Arboricultural report confirms how the retained trees are to be protected during construction works.

- 11. Street furniture, telecommunications installations, signs and advertisements should be carefully designed and sited to minimise the amount of street clutter, and

Response: This criterion is not relevant in this case.

- 12. No building style should pre-date the 1860s, e.g. mock Georgian architecture would be unacceptable. A mix of building styles is to be maintained in the Conservation Area avoiding repetitive designs from gaining prominence in any one locality. Contemporary architectural styles are appropriate where they contribute to the traditional mixed development of the area, provided that these respect the character and appearance of the Conservation Area.

Response: The proposal is for a contemporary designed house of which there are various examples already in the conservation area. No.4 Burton road has a similar flat roof form but with a different colour palette, the other adjacent buildings vary in design and form. Therefore the application will not lead to a proliferation of the same type of design in a small area. The proposed building is of a high-quality design and will contribute to the traditional mixed character of the area.

7.2 No.8 Burton Road is a locally listed building, the Conservation Area Appraisal and Management Plan describes the building as *“Late 19th C Regency style: 2st white render with parapet roof: side on to road with south facing door under classical pillared portico: all 12 pane sash windows in original condition with plaster moulded surrounds: good eg of period.”* If built, the new dwelling will sit to the rear of no.6 and there will be no material change to the relationship of no.8 and no.6 within the street scene. The submitted block plan demonstrates that there will be a substantial separation distance between the new building and the existing building at no.8, therefore the impact of the development will be minimal and no.8 will retain its significance and gravitas as a locally listed building.



**Conservation Area Appraisal map extract and the proposed analytical block plan extract (Marlow Architects)**

- 7.3 As mentioned in section 3 above, in approving the dwelling to the rear of no.2 Burton Road and no.22 Balcombe Road under application APP/18/01446/F the Officer's report noted *"It is considered that the views into the site will allow glimpses of the proposed new house, but the retaining existing garage will limit some of the views of the dwelling. Given that trees around the edge of the site will be largely retained the dwelling will sit in a sylvan setting. It is considered that the proposal would follow the criteria of the BPCACAMP in that the resulting development would still have a large detached house set in large well landscaped gardens. The proposed dwelling per ha would raise to 21 dwellings per ha (dph), as a result of this additional dwelling on the site, however this is still a low dph. It is considered that the plot severance and the resulting two storey built form when compared to the extant approval would cause no additional harm to the Conservation Areas mixed character within Westen Road (Upper) and Burton Rd section of the Conservation Area."* This site also falls within the Conservation Area boundary, and it is considered that the proposed development at no.6 will have a similar neutral impact on the Conservation Area's character and appearance in that it will deliver a residential dwelling that will only be partially glimpsed from the highway and neighbouring sites due to the trees and proposed landscaping that will conserve its sylvan setting. The detached house is of an appropriate scale, will be set in a large well landscaped garden and the proposed density will still be very low.
- 7.4 In consideration of the above analysis it can be concluded that the proposed development will preserve the significance of the Conservation Area and the setting of the locally listed building. The proposal will deliver an attractive layout and preserve the residential character and verdant appearance of the area in compliance with Policy PP30. The loss in landscaping due to the additional built form will be mitigated by new tree planting and landscaping.

## **8. Planning Obligations**

- 8.1 The proposal to construct a replacement house creates a need for the development to pay the Community Infrastructure Levy upon the commencement of works. The Applicant is aware of that requirement and an assumption of liability form accompanies the planning application.

## **9. Energy and Resources Statement**

9.1 Policy PP37 of the Poole Local Plan requires that new development contribute towards tackling climate change. The proposals meet that requirement in the following ways;

- The proposed house will benefit from ample natural daylight, minimising the need for artificial light and heating.
- The house will be constructed to current building regulation standards on energy efficiency and insulation.
- The finished design can make provision to meet 10% of its predicted energy use via renewable sources as required by policy PP37. The precise means of achieving that requirement can be agreed by condition in the event of planning permission being granted.

## **10. Conclusion**

10.1 In accordance with the NPPF consideration needs to be given as to whether the proposal constitutes sustainable development. In this case the development is sustainable for the following reasons:

- The proposal will provide a modern home that is of an appropriate design and will respond well to the character of the area,
- The proposal preserves the setting of the local area, the Conservation Area, the neighbouring residential properties, and the onsite mature trees, and
- The proposal will make better use of this highly accessible site.

10.2 It is therefore considered that the planning justifications and design rationale identified in this Planning and Heritage Statement demonstrate that the development is acceptable.