



ANDREWBEARD
PLANNING

PLANNING STATEMENT



**Abbotts Way, Almondsbury.
BS32 4JB.**



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On behalf of:
Mr. Neal Davies.

May 2022

PLANNING STATEMENT

Abbotts Way, Almondsbury. BS32 4JB.

**PROPOSED LAWFUL OPERATIONS (Altered access
driveway).**

Mr. Neal Davies.

DATE ISSUED: 07/05/2022

JOB NUMBER: ABP/0312

**PREPARED and
APPROVED BY:**

Andrew Beard MRTPI **Consultant**

**Andrew Beard Planning
(ABP)**

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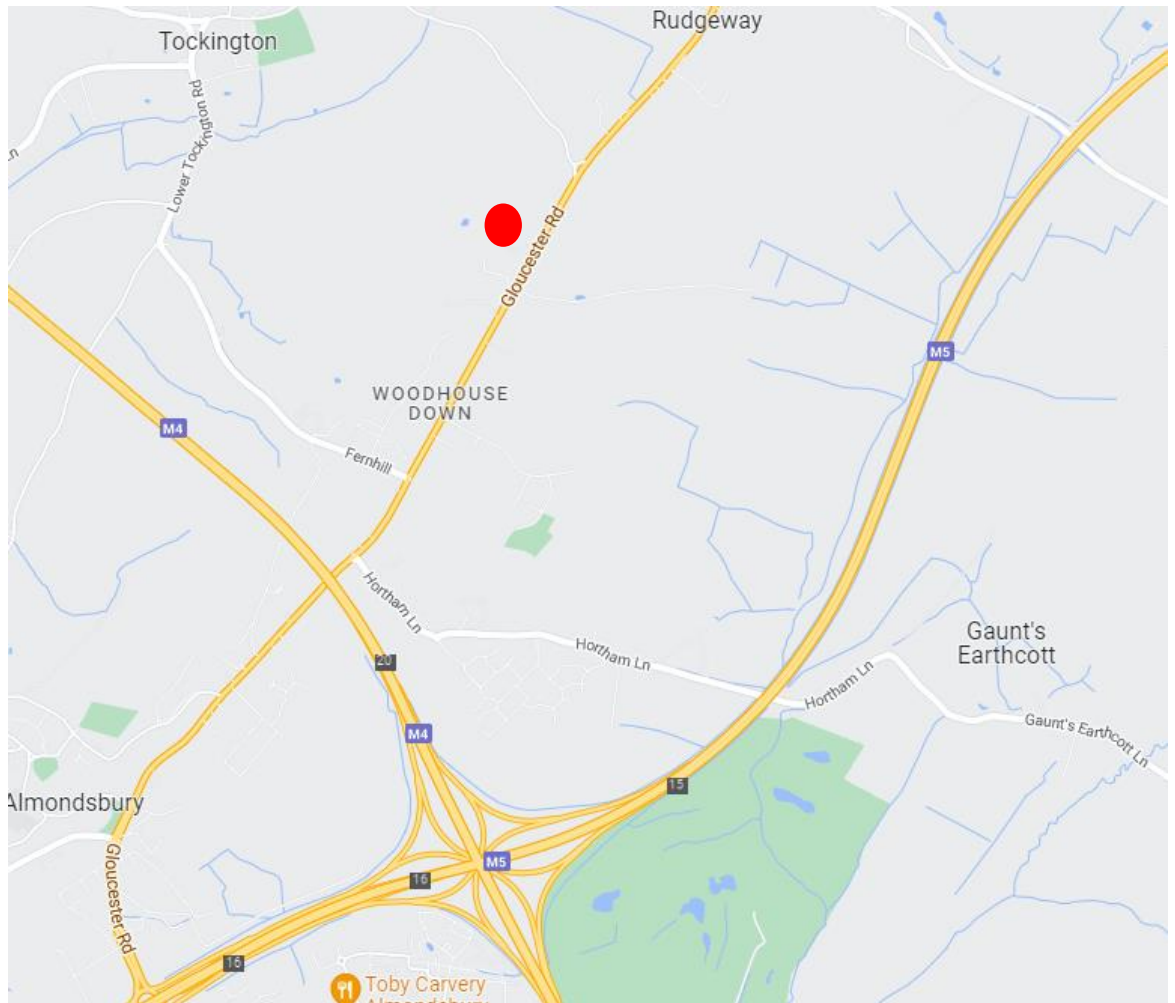


1. INTRODUCTION

- 1.1. This Planning Statement has been prepared to support a proposal for Proposed Lawful operations under permitted development to alter an existing residential driveway at Abbotts Way, to create increased separation with the immediate neighbours drive.
- 1.2. It is submitted as a CLOPUD to confirm that the works are permitted development and therefore do not require consent.
- 1.3. The works comprise
 - TCP (GPD) 2015 Schedule 2 Part 1 Class F for amended hard surface within curtilage
 - TCP (GPD) 2015 Schedule 2 Part 2 Class B means of access to a highway (in association with Part 1 class F)
- 1.4. The application is submitted via Planning Portal ref – PP-11089253.
- 1.5. The application comprises –
 - CLOPUD application forms
 - Site Location Plan 1:1250
 - Proposed Driveway 1166-001
- 1.6. The application fee is £149.20

2. SITE LOCATION & DESCRIPTION

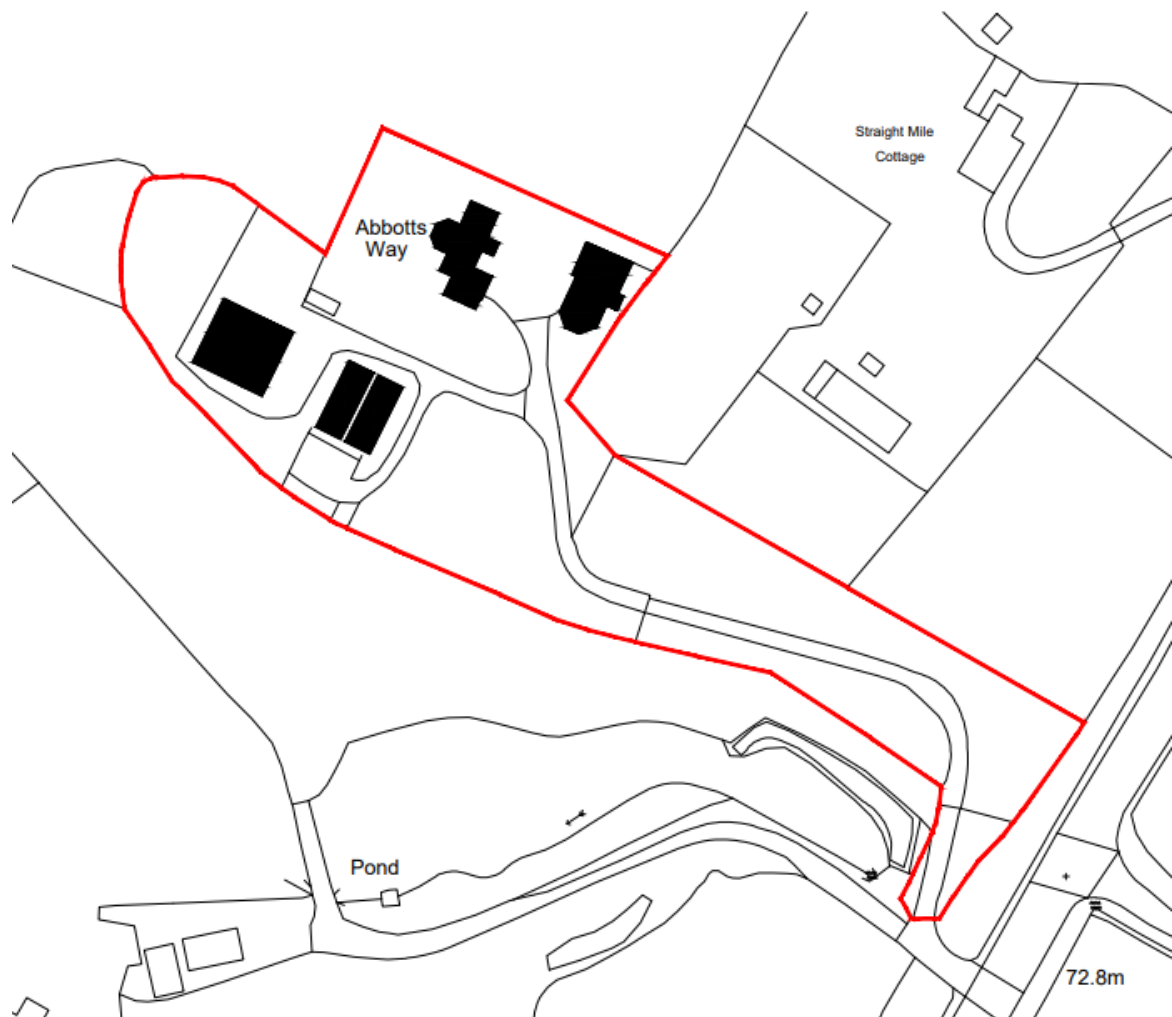
- 2.1 The site is known as Abbots Way which is a residential property accessed off a driveway from the A38
- 2.2 The driveway is shared with the adjoining property.





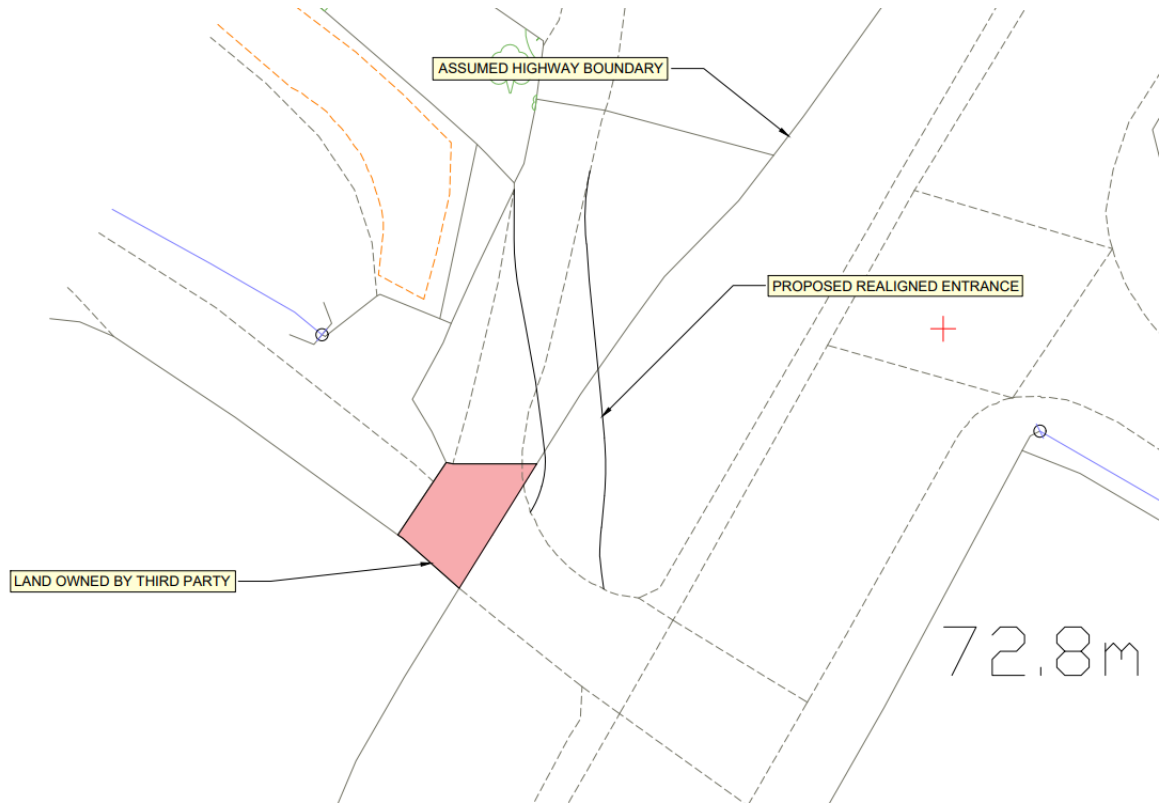
3. SITE HISTORY

- 3.1 The site has no past history with regard to the site access. In 2021 there is a Prior Approval not required for a rear extension P21/0443/PNH.
- 3.2 There is also a current application for a replacement dwelling P21/05551/F undetermined.
- 3.3 P21/04887/CLP for single storey side extensions have also received certificate of lawfulness approval August 2021
- 3.3 The residential curtilage is set out below



4. PROPOSED SCHEME

4.1 A realigned driveway is proposed.



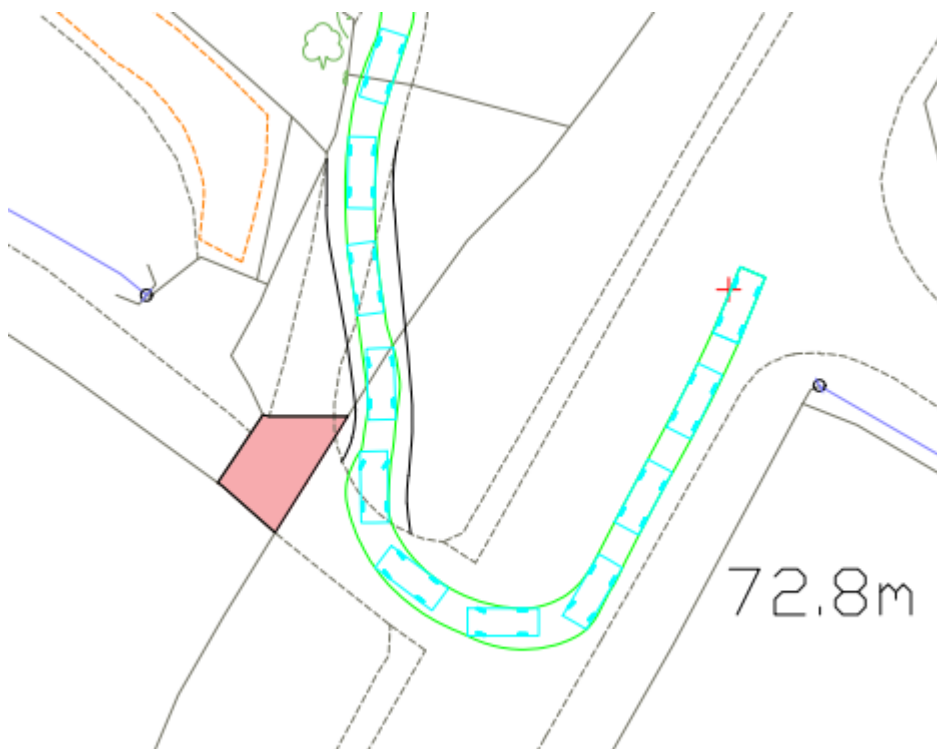
Existing driveway

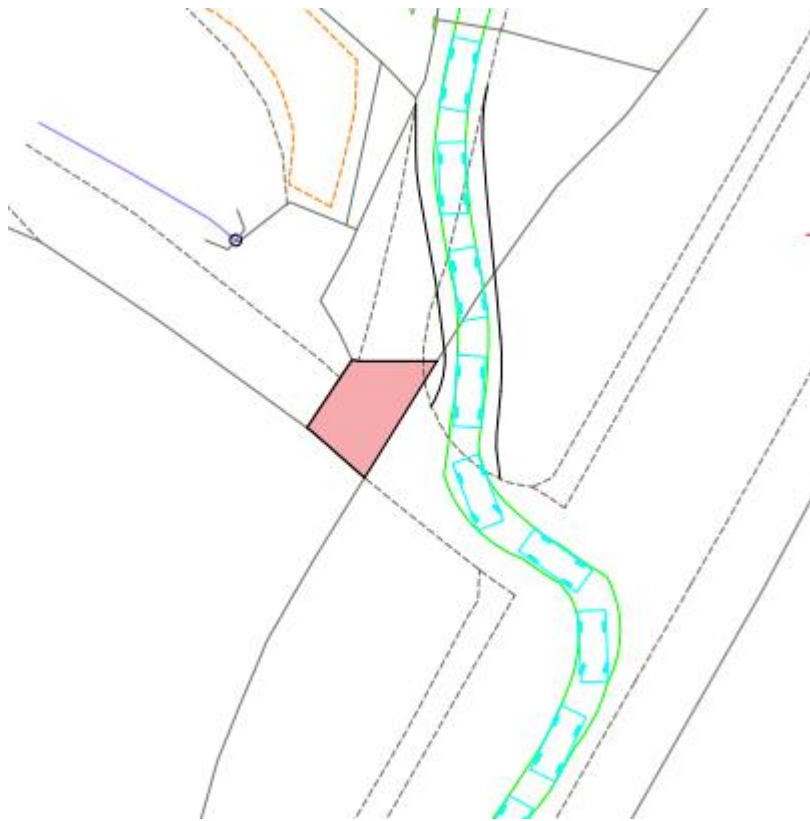


Proposed driveway



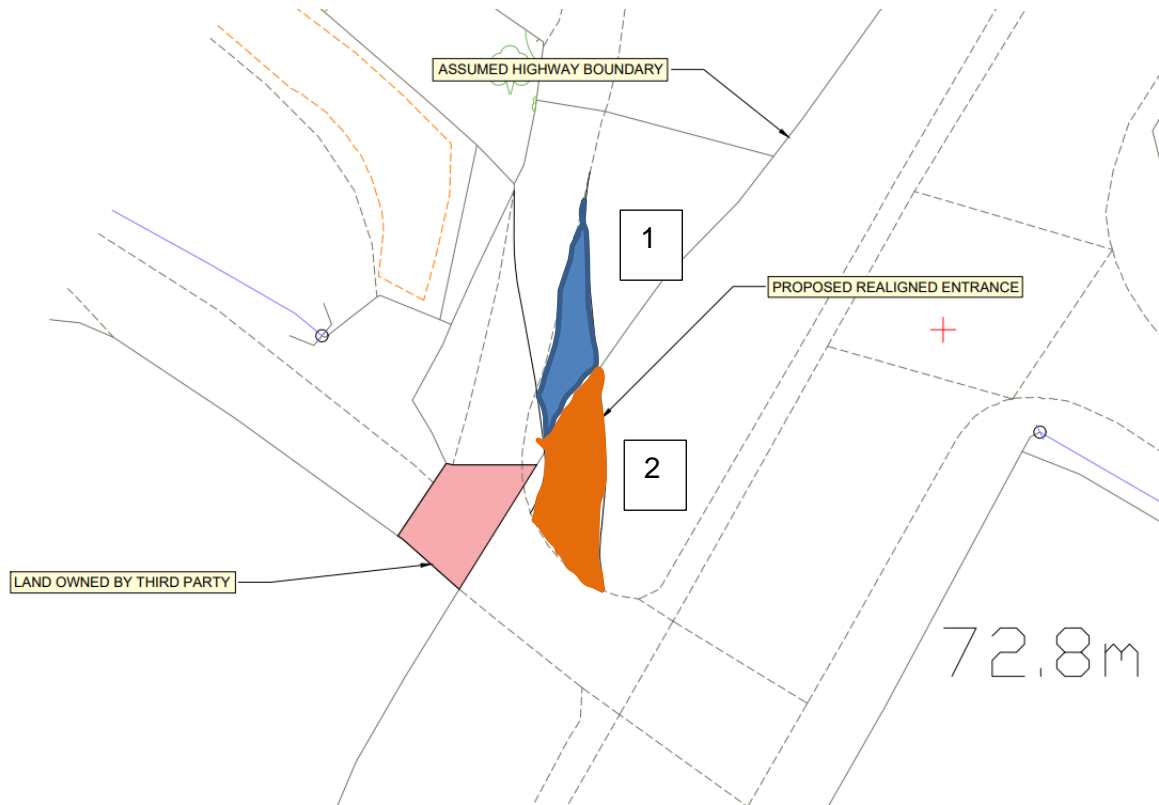
4.2 Whilst the works are permitted development, full tracking plans have been prepared to show it can work without causing issues with the A38.





5. VERIFICATION EVIDENCE FOR PROPOSED LAWFUL OPERATIONS

5.1 The works are split into two aspects



1. **New driveway works within the curtilage of the dwelling. This is permitted development by Schedule 2 Part 1 Class F**



Class F – hard surfaces incidental to the enjoyment of a dwellinghouse

Permitted development

F. Development consisting of—

- (a) the provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; or*
- (b) the replacement in whole or in part of such a surface.*

Development not permitted

F.1 Development is not permitted by Class F if permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class M, N, P or Q of Part 3 of this Schedule (changes of use).

Conditions

F.2 Development is permitted by Class F subject to the condition that where—

- (a) the hard surface would be situated on land between a wall forming the principal elevation of the dwellinghouse and a highway, and
- (b) the area of ground covered by the hard surface, or the area of hard surface replaced, would exceed 5 square metres,

either the hard surface is made of porous materials, or provision is made to direct run-off water from the hard surface to a permeable or porous area or surface within the curtilage of the dwellinghouse.

5.2 The works area hard surface.

5.3 The works are within the residential curtilage.

5.4 The access driveway adjustment is incidental to the enjoyment of the dwellinghouse providing access.

5.5 The house is not permitted by class M, N, P, or Q

5.6 The land is the principal elevation of the site, at the front behind the wall.

5.7 The area is >5 square metres.

5.8 The driveway will be constructed of porous materials.

2. New hard surface works to link the new drive to the front driveway.

5.9 These works are outside the curtilage, but are permitted development by Schedule 2 Part 2 Class B Minor Operations

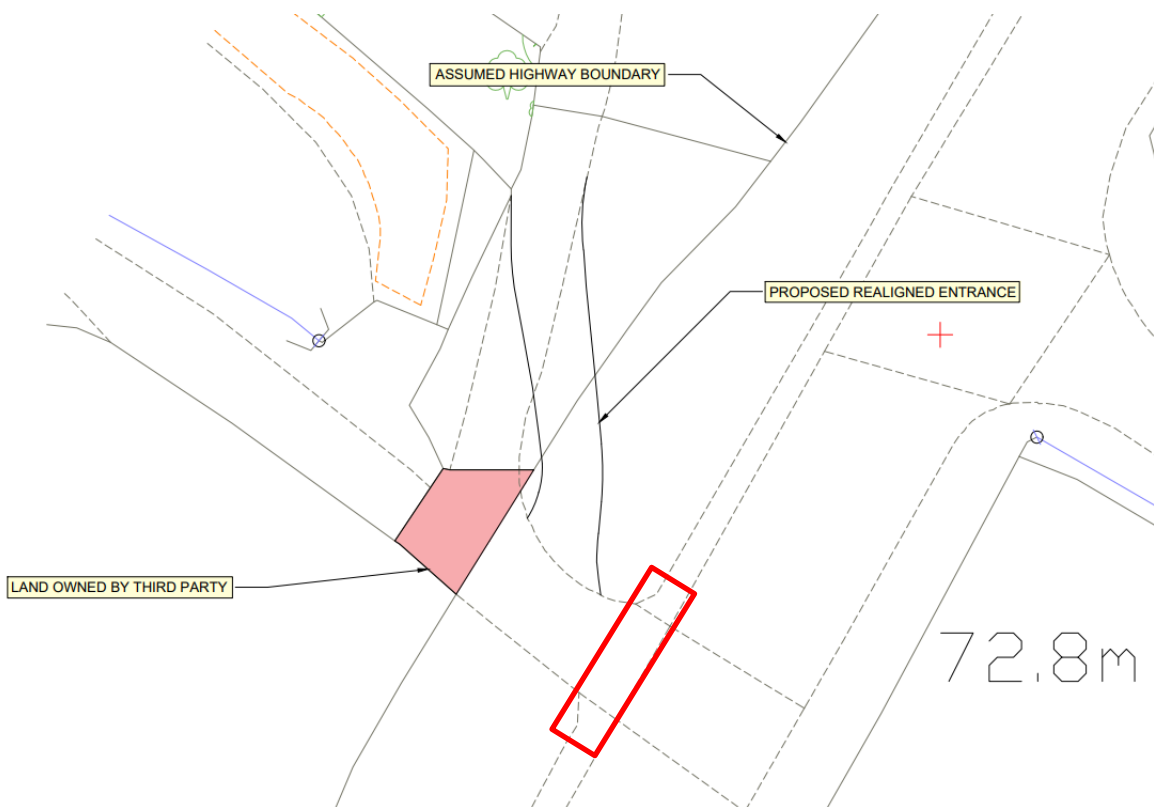
Class B – means of access to a highway

Permitted development

B. The formation, laying out and construction of a means of access to a highway which is not a trunk road or a classified road, where that access is required in connection with development permitted by any Class in this Schedule (other than by Class A of this Part).

5.10 The works are a means of access to the highway.

5.11 The works do not affect the existing access width to the classified A38, it is not a new connection, therefore the exclusion does not apply.



There are no works connection to the classified road A38.

5.12 To qualify for Part 2 class B the works have to be in connection with development permitted by any other part (Other than Part 2 class A). The works as set above are in connection with Part 1 Class F works.



6. CONCLUSIONS

- 6.1 The proposed works should be confirmed as 'permitted development' not requiring planning permission as the works are a combination of Part 1 Class F and Part 2 Class B
- 6.2 The new driveway utilises the existing access off the A38 with no change in width.
- 6.3 The new driveway allows better separation of the access to Abbots Way from the neighbouring property.