

## DESIGN & ACCESS STATEMENT (INC HERITAGE STATEMENT)

### Introduction:

This document has been prepared by Tricker Blackie Associates to explain the principles and reasons behind the proposals.

### Proposals:

The proposal is to form a single storey rear extension located on the southwest elevation of the property.

### Background:

Pre-application advice was sought to clarify the listing of the property, to discuss the idea of extending the property and to test the form the proposals might take.

A copy of the formal response is contained in Appendix A.

### Description:

Stakers is a Grade II listed property located in the hamlet of Workhouse Green and has the following entry.

*List Entry No. 1036562*

*Date of listing: 9<sup>th</sup> February 1978*

*A timber-framed and plastered building with a cross wing at the south end. Probably of C16 (or earlier) origin with the cross wing raised later (possibly in the early C19). The main block is single storeyed with attic and the cross wing has 2 storeys and attics. The windows are small casements with C20 leaded lights. Roof tiled, with internal chimney stacks.*



Image 1. Front elevation (East Elevation)

The property is a two-storey dwelling with an attic room over the southeast wing. The property was extended by way of a garage to the northeast which has subsequently been converted to form a bedroom, and a two-storey range to the northwest forming kitchen and utility at ground floor and subsequently altered in the early 2000's to form a bedroom within the attic space.



Image 2. Rear elevation (West elevation)

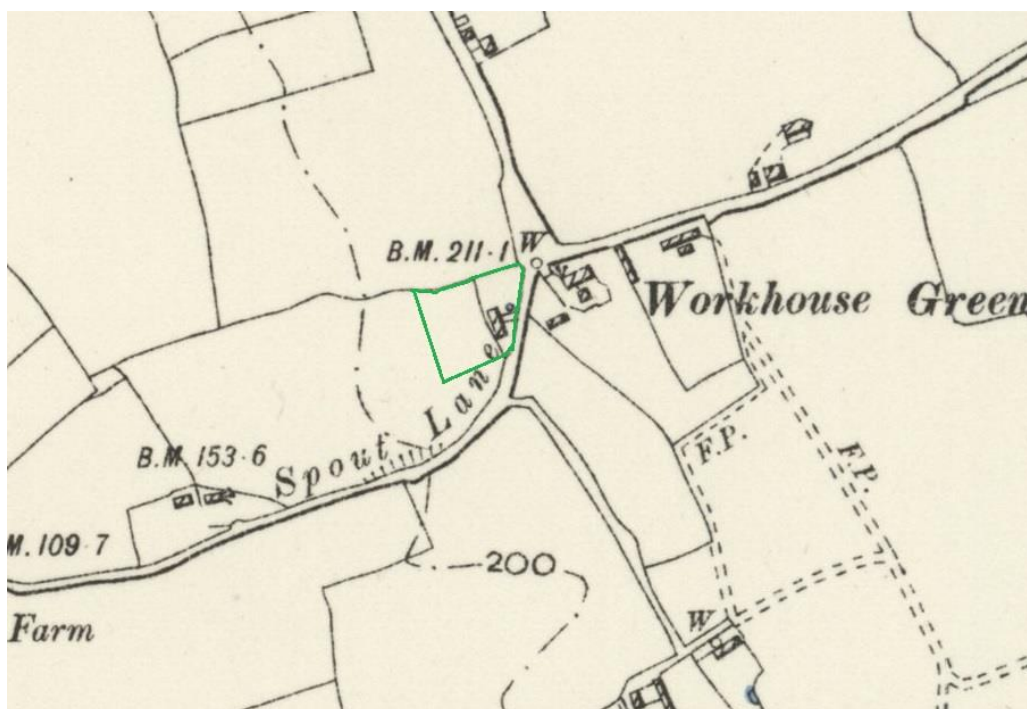


Image 3. Historic OS maps (1888-1913)

Surroundings:

The dwelling is located in generous grounds with delightful views over the Suffolk Countryside and Stour Valley to the west. To the east and south are residential properties.

The Requirements:

The requirements are to improve the social space of the kitchen and breakfast area, to improve the physical connection between the social space and the garden and to take advantage of views out over the countryside.

The design:

The proposed extension is a modern, flat roof structure that tucks in under the existing eaves line of the twentieth century range to the northwest. The extension is set parallel and has large panels of glazing set beneath the projecting roof form supported on columns.

Walls are clad in dark grey zinc and large panoramic glazed panels face the garden areas.

The extension is deliberately intended to be distinct from the host dwelling in order that the legible form of the historic core is maintained and to not add to the cumulative of effect of a perceived sprawling development.

Amount:

The approximate existing floor areas for ground and first floors are 138m<sup>2</sup> and 100m<sup>2</sup> respectively.

The proposed extension increases the floor area by 20m<sup>2</sup>

Appearance:

The proposed extension is in a modern architectural style: Simple, clean lines, with dark grey zinc cladding and dark grey aluminium framed doors/glazed panel. The overhanging eaves supported on columns will provide solar shading, act as a rain canopy and will add interest and appeal to the structure.

Heritage:

The proposed extension is on the rear elevation of the property and attached to a more recently constructed part of the dwelling that has less significant heritage value. The form, orientation and height maintains a legible order to the composition.

Prepared by Ian O'Hanlon BA (Hons) Arch Dipl Arch RIBA

Tricker Blackie Associates Ltd

May 2022



Image 3. Location for proposed extension



Image 3. Proposed elevation



Anthra Zinc – Vertical standing seam



Colour coated aluminium frames

## Appendix A

Heritage pre app advice ref DC/21/06800

**Philip Isbell**  
Chief Planning Officer – Sustainable Communities

**Babergh District Council**  
Endeavour House, 8 Russell Road, Ipswich IP1 2BX

Website: [www.babergh.gov.uk](http://www.babergh.gov.uk)



Mr Mark Irwin  
Stakers  
Spout Lane  
Little Cornard  
Suffolk  
CO10 0NX

Please ask for: Natalie Drewett  
Your reference: PPA385722749  
Our reference: DC/21/06800  
E-mail: [heritage@baberghmidsuffolk.gov.uk](mailto:heritage@baberghmidsuffolk.gov.uk)  
Date: 21st April 2022

Dear Mr Irwin

**Proposal:** Heritage Pre-Application - Appointment on site with written response - Extension to rear of property. (Please refer to previous application DC/21/04648).

**Location:** Stakers, Spout Lane, Little Cornard, Suffolk CO10 0NX

**Site Meeting Date:** 09/02/2022

Thank you for your request for pre-application advice. I have reviewed the details submitted and provide the following information and advice:

### Site Constraints:

Stakers is a small grade II listed timber framed and plastered house with a clay plain tile roof. The list description states that it has 16th century or earlier origins, and ambiguously describes the cross wing as being "raised later - probably in the early 19th century". I visited the site on 8th February 2022. Having looked at the interior of the property I could see that the cross wing is a 17th century addition to an earlier hall house. It is possible that the list description refers to alteration of the cross wing, rather than its date of construction. As described in the submitted brief Heritage Statement, the hall and cross wing are the historic core of the medieval house and have both architectural and historic significance.

There is a twentieth century range to the northwest, with a single storey perpendicular wing to the east and an intersecting parallel range to the west. The height of the parallel range was raised to 1.5 storeys, with a clay plain tiled roof, in the early 2000's. This range effectively elongates the plan form of the historic core. The materials of the later extensions match those of the earlier core and give the property a rather elongated and sprawling appearance.

Applications submitted under DC/21/04647 & 4648, for the extension of the twentieth century range with a perpendicular extension of clay plain tiles pitched roof and render, were refused in October 2021. These were refused due to the cumulative harmful impact of later extensions and the direction of extension, which would overwhelm the historic core, affect legibility, and run against the linear grain of the building.

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**Description of Proposal:**

Heritage Pre-Application - Appointment on site with written response - Extension to rear of property. (Please refer to previous application DC/21/04648).

**Plans & Documents Considered:**

The plans and documents recorded below are those which have been considered:

Floor Plan - Proposed 2121/SK12 Rev A - Received 30/03/2022

**Relevant Planning History:**

DC/21/04647	Householder Planning Application - Erection of a single storey extension	Refused 15/10/2021
DC/21/04648	Application for Listed Building Consent - Erection of a single storey extension	Refused 15/10/2021

**Relevant Planning Policies:**

CN06 - Listed Buildings - Alteration/Ext/COU  
CS15 - Implementing Sustainable Development

**Officer Assessment:**

The submission of the pre-application enquiry followed the refusal of the 2021 applications. We agreed at my site visit that this should be used a starting point for development of a design that would be considered appropriate. I also agreed at my visit that the cross wing was historic and that the historic core constituted a greater proportion of the existing built form than the list description implies and assumed within the assessment of the previous applications (undertaken without a site visit due to Covid-19 constraints).

The existing extensions to the house are around two thirds as large as the historic core, so it is already extended to the point at which they have an impact on its character. Any further extension repeating the vernacular architectural language of the twentieth century extensions would have a cumulative impact on the external appearance of the house. After visiting the site, I felt that a small extension may be possible in the proposed location, but that it should not affect the directional aspect of the plan form, which would produce an even greater sprawl, and that it should be visually distinct from the existing building, for example be of a contemporary design.

The design illustrated within drawing no. 2121/ SK12 Rev A - Proposal D shows a flat roofed extension, tucking under the existing eaves of the later range. It has zinc cladding and large-scale windows. It would not intersect the existing roof, and the low flat roof would not have any additional impact on the legibility or direction of the existing plan form. The omission of the traditional pitched roof also reduces the visual mass of the extension. The design has a completely different scale and materials to the existing building. It would therefore not be confused with the historic core or have a cumulative impact on perceived sprawl due to the repetition of the vernacular architectural language.

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**Conclusion:**

The proposed extension would not affect any historic fabric. The revised design addresses the concerns raised within the previously refused 2021 applications. It would be low and visually distinct from the existing built form, and it would not harm the significance of the listed building. If an application were made for this proposed extension, it would be supported in heritage terms.

This response relates to heritage advice only and if you would like planning advice on these proposals, this will require a further pre-application enquiry.

This advice is informal officer opinion only and made without prejudice to the formal determination of any application. If you want a formal opinion then you will need to make an application with its associated supporting documentation, plans and fee.

All applications will be subject to consultation and publicity and any proposal may be subject to a call-in by a Councillor for determination at Development Control Committee.

**Application Submission:**

Our Joint Local Validation Checklist sets out the details required for each application and this is available at <http://www.babergh.gov.uk/planning/development-management/apply-for-planning-permission/national-and-local-validation-requirements/>.

We recommend that applications are submitted on the Planning Portal, which also provides further advice on making planning applications: <https://www.planningportal.co.uk/>

As part of any application you will need to submit the appropriate CIL form, which is available on our website.

I hope that this provides useful information with regards to your enquiry. If you have any queries in respect of this letter, or require clarification of issues, please do not hesitate to contact me. If you would like further discussion with regards to the detail of the proposal this would be subject to a charge for further advice, see [www.babergh.gov.uk](http://www.babergh.gov.uk) for further details.

Yours faithfully

Natalie Drewett – Principal Heritage Officer  
*on behalf of Philip Isbell – Chief Planning Officer – Sustainable Communities*

Please note that any advice provided by the Council's Officers is informal opinion only and is made without prejudice to any formal determination which may be given in the event of an application being submitted. In particular, it will not constitute a formal response or decision of the Council with regard to any future planning applications, which will be subject to wider consultation and publicity. Although the Case Officer may indicate the likely outcome of a subsequent planning application, no guarantees can or will be given about the decision.

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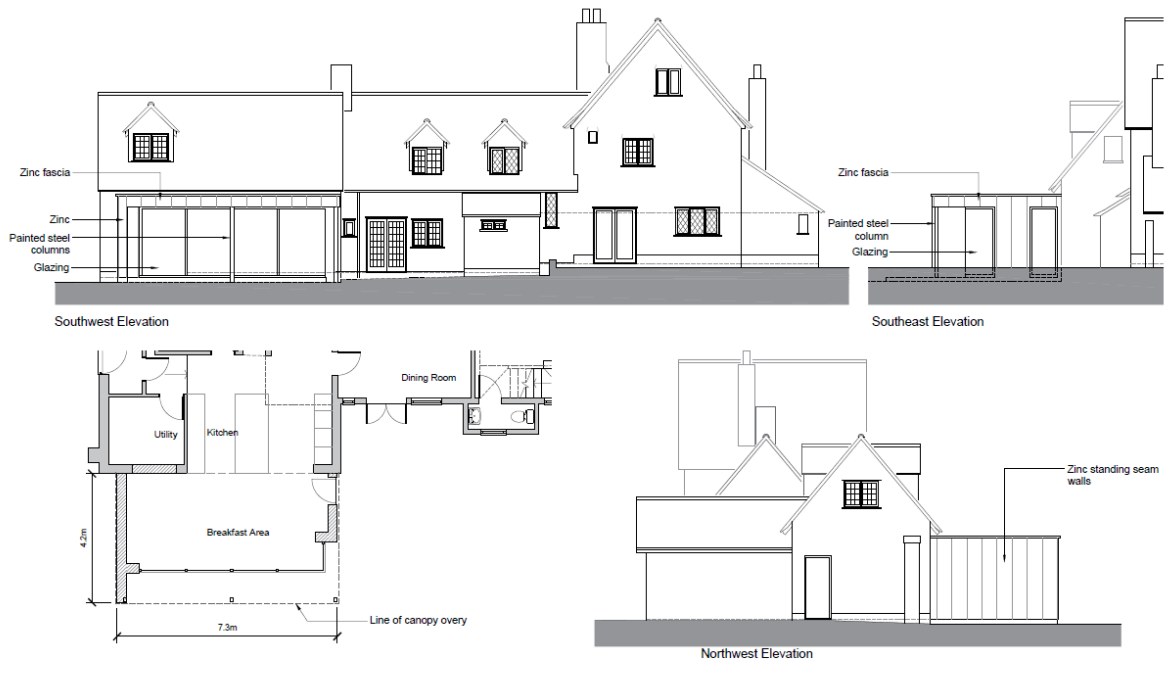
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PROPOSED SINGLE STOREY EXTENSION. STAKERS. SPOUT LANE. LT CORNARD.



client Mr & Mrs M Irwin	drawing title Proposal D	ref 2121	drawing no. Sk12	rev A	<b>Tricker Blackie Associates</b> Chartered Architects Project Management Planning Consultants  <small>51 Station Road, Sudbury, Suffolk CO10 2SP Tel: 01787 375732. Email: info@trickerblackie.co.uk</small>
project Stakers Spout Lane, Lt Cornard		date Mar 2022	scale 1:100@A3	drawn by -	

Image 4. Drawing 2121/Sk12A