

Mar 2022

DESIGN AND ACCESS STATEMENT

AND

HERITAGE STATEMENT

ALTERATIONS AND EXTENSION TO
EXISTING DWELLING

Harris Garth,
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Harris Garth, Burton in Lonsdale

INTRODUCTION

This statement has been written to accompany the Full Planning and Listed Building Consent Applications submitted to Craven District Council, seeking consent for a porch extension and alterations to the ground floor interior.

SITE LOCATION AND DESCRIPTION OF SITE

The site is accessed off High street, Burton in Lonsdale, Camforth. The property is a Grade II listed house dating from the 19th Century and is directly adjacent to a listed church. It is situated within the Burton conservation area. The existing property is watershot masonry with slate roofing, with a rear garden adjoining the church yard. There is a driveway to the west parallel to the main entrance.

Internally there are two storeys of accommodation plus a largely unconverted cellar. The house is accessed via a front porch, with an additional entrance at the Southern end of the property, entering directly into the kitchen.



Figure 1 - Aerial View of Harris Garth, Burton in Lonsdale

THE PROPOSALS

The proposals include the following:

- New single storey side porch
- Existing stair hall and dining room to be opened up, including the removal of the existing (modern) under-stair WC.
- Existing dining room window to be enlarged in height, as indicated on elevations.
- Existing cupboard door and basement access to be altered and a new downstairs WC and Utility room formed.
- Existing draught lobby glazed door and screen to be removed and adapted for re-use in the location indicated.

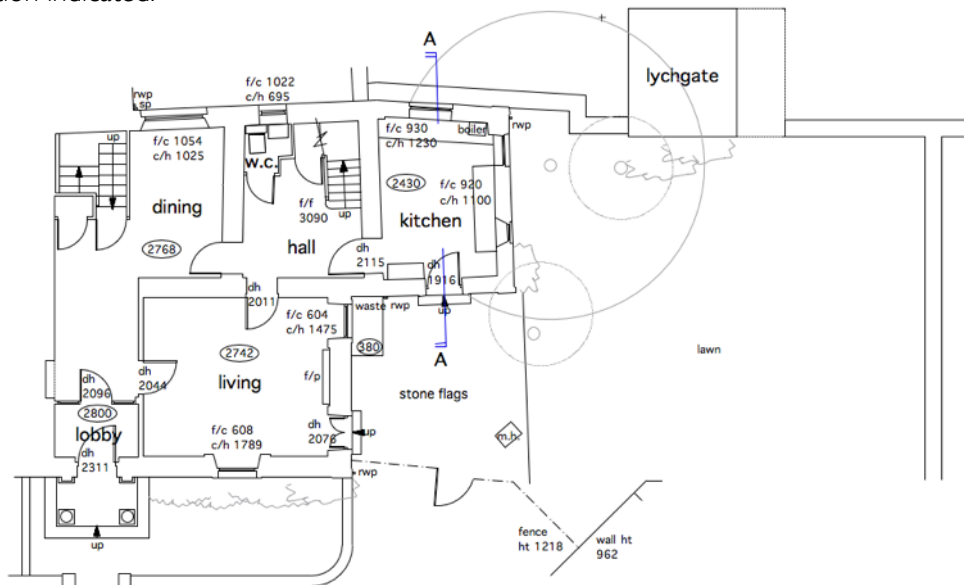


Figure 2 – Existing ground floor plan

Describing the proposed works

Internally, the applicants wish to create a more generous and practical open plan dining area. The previous sub-division of Harris Garth left only the front sitting room as a substantial room and by opening up the two adjacent spaces, the family will have a more practical, open plan arrangement.

The proposals also include a modest porch extension to the later two storey side extension of the house, a window alteration, and interior alterations on the ground floor: The current arrangement with an external door directly into the kitchen space is impractical and the house lacks a family and dog friendly access point that offers storage and draught separation.

Within the existing property, there are minor alterations:

- The existing stair hall and dining room are to be opened up, including the removal of the existing under-stair WC. By creating the required new dining space within the existing entrance hall, the proposed alterations within the existing main part of the building are kept to a minimum. The Existing dining room window is to be enlarged in height, as indicated on elevations, to make this space lighter and brighter.
- The existing cupboard door and basement access bare to be altered and a new downstairs WC and Utility room formed, this will create even more space in the dining room an provide a more practical location for the downstairs WC.
- The existing (non-original) draught lobby glazed door and screen are to be removed and adapted for re-use in the location indicated, giving a larger threshold space from entering the building.

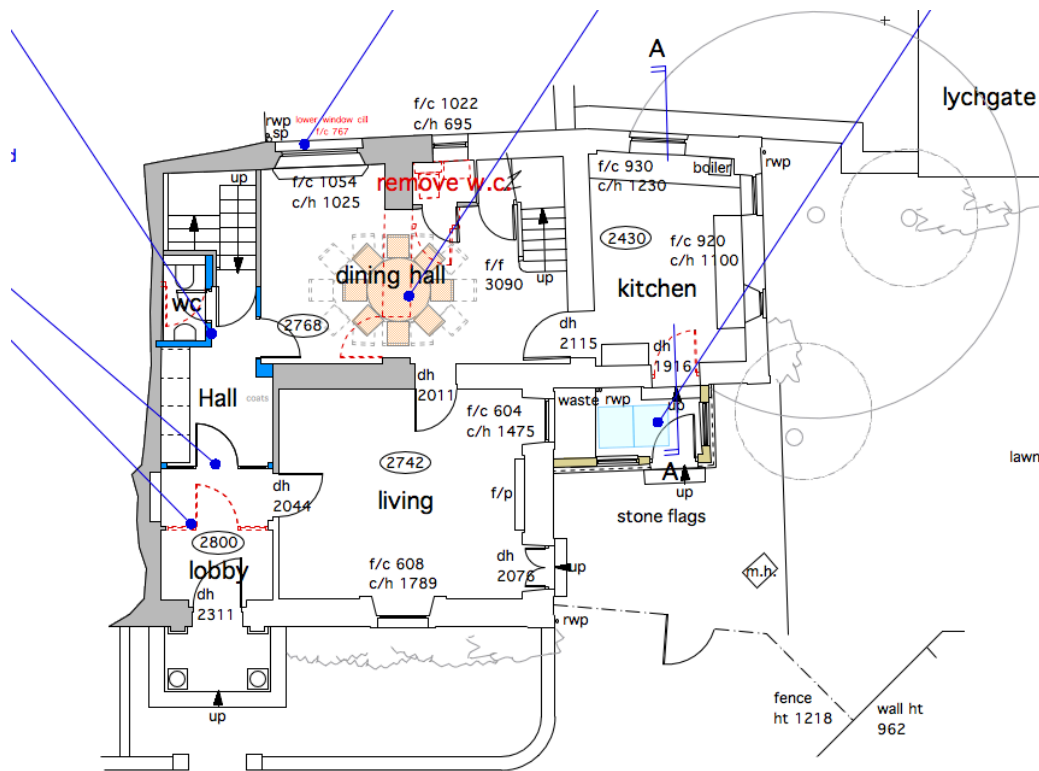


Figure 3 – Proposed ground floor plan

ACCESS

There are no proposed changes to the access arrangements.

DESIGN, LAYOUT AND SCALE

The location, scale and massing of the porch extension have been carefully considered to provide the family with the space needed to provide a practical new family living space whilst minimising the impact on the existing property and the other adjacent heritage assets.

APPEARANCE AND MATERIALS

The proposed porch extension has elements of traditional design with painted hardwood frame and painted timber boarding with the base walls in a natural, local stone with traditional lime pointing. The new roof will be finished in natural blue/grey slates, with a conservation rooflight to 'borrow' as much light as possible to the existing, retained sitting room window. The palette of materials chosen is sympathetic towards the existing dwelling.

FOUL DRAINAGE

The scheme will continue to utilise the existing mains sewage.

SUMMARY

This application seeks consent for new extension of a small porch, alterations to an existing rear facing window and internal alterations to the ground floor to create a more practical modern living space, whilst retaining the traditional features and architectural elements of the property. The proposals are modest interventions.

HERITAGE ASSESSMENT

The proposal relates to an existing 19th Century Grade II listed dwelling set within the Burton in Lonsdale conservation area, with Grade II listed neighbouring properties including All Saints Church.

Within this document, we must make a professional judgement on the significance of the building and the impact of the proposals to the neighbouring properties ensure that they are not detrimental to the significance of the heritage asset or its setting.

ASSESSING SIGNIFICANCE

The property, *Listing NGR SD 6512572173*, is an example of an early 19th century local vernacular building within the Burton in Lonsdale conservation area, dating back to 1837. The listing is as follows:

“BURTON IN LONSDALE HIGH STREET SD 67 SE (south side) 2/6 Harris Garth and Stone Bower and garden wall and gateposts (formerly listed as Stone Bower) 20.2.58 GV II Formerly one house, now two. Dated 1837 in left-hand return. For Grace Hetherington. Watershot masonry, stone dressings, slate roof. 2 storeys, 3 bays. Central entrance porch has 2 Tuscan columns and 2 engaged pilasters; entablature and moulded cornice; 6 panel door, upper 4 consisting of 2 octagonal and 2 circular glazed panels; rectangular fanlight with geometrical glazing. 2 ground-floor and 3 upper floor windows have plain surrounds and sashes. Upper floor sill band. Chamfered quoins. Paired eaves modillions. Right-hand gable-end ridge stack. Left-hand hipped roof at junction with Stone Bower. Left-hand return: 2 storeys, 2 bays. Entrance to left of centre has plain surround; 6 panel door, upper 4 glazed. 2 windows with plain surrounds and sashes per storey.”

The property was built in 1837 for a Grace Hetherington, daughter of William Hetherington (esq of Burton in Lonsdale and Tortola, British Virgin Islands at the time).

The name 'Burton in Lonsdale', known as Borctune in the Domesday, means 'farmstead with or near a fortification' (as described in the North Yorkshire and Yorkshire dales historic environment records gazetteer of Wyher sites within 500m of site centre), giving the site some historical context for its past. In the early-medieval to medieval age the land was under Norman occupation as demonstrated by the motte and bailey records.

It later became an industrial settlement from the post-medieval period to the early twentieth century with many potteries, a couple of lime kiln sites, and a watermill with some mining activity too, increasing the size of the settlement.

The grade II* listed church adjacent to the applicant's property named "Church of all saints", Listing SD 6511272139 which is the dominant, landmark building within the conservation area. It dates back to 1868, some thirty years later than Harris Garth.

The significance of the property is at least partly linked to its siting or grouping with the Church and the adjacent heritage properties around the church 'green'. Harris Garth is prominently positioned when entering the village from the West and contributes to a 'moderately significant fixed view' in the Conservation Area Appraisal (2016).

The property also has some exterior architectural significance in its own right, with its fine façade, proportions and dressed stone entrance porch.



Figure 4– Front (West) Elevation as Existing and as Proposed

The interior of the house was fundamentally altered when the house was split into two properties some time ago. The entrance hall which would have been a central feature of the original layout, accessing the principal reception rooms is now at the edge of the remaining floor plan. The existing sitting room does have some attractive period features, with well-proportioned plaster cornices, boxed shutters, although the internal doors have been replaced with reclaimed 6 panel doors by the last owner. The rear rooms, including the Dining Room and Stair Hall are comparatively simple in features and detailing.





Figure 5 - Existing Kitchen Dining room

On the Front, west elevation (as seen below) there is a later two storey extension, suitably subservient to the original form, rendered with dressed stone quoins and set well back from the principal frontage. There are two existing traditional sash windows to the side elevation of the sitting room, overlooking a patio area. In the corner, there is an existing low stone wall to a covered 'coal hole'.



ASSESSING THE IMPACT OF THE PROPOSALS

Externally, the proposals consist of two elements:

- New single storey porch
- Enlargement of existing window to rear elevation.

The applicant proposes the construction of a new single storey, lean-to porch over the existing kitchen doorway to create a more practical secondary entrance and draught lobby. The porch is modest in size

and would stretch approximately two thirds of the length of the later two storey extension and would leave the stone quoins to the corner of the annexe fully exposed and therefore limiting the impact of the new porch.

Whilst visible from the churchyard, the proposal sits neatly into the existing building's façade and the sympathetic, high quality materials will contribute positively to the overall composition of the house.

The proposed extension has elements of traditional design with painted hardwood frame and painted boarding with the base walls in a natural, local. The new roof will be finished in natural blue/grey slates, with a conservation rooflight to 'borrow' as much light as possible to the existing, retained sitting room window. The palette of materials chosen is sympathetic towards the existing dwelling.

Due to the position of the proposed porch, it will be hidden from the main road and the heritage buildings opposite.



Figure 5 –Rear (South) Elevation as Existing and as Proposed



Figure 6 – Principal Rear (East) Elevation as Existing and as Proposed

The proposed porch has been designed to extend over the existing 'coal-hole' sited in the North East corner of the existing patio yard. That means the porch would be constructed over one of the existing sitting room windows. Although the window, including its existing stone surround would be retained in situ, untouched, the window would no longer be visible externally.

The existing dining room window consists of a pair of 2 over two painted timber windows separated by a timber mullion. The existing external lintel and projecting cill appear to be in-situ cast concrete. It is highly likely that this is a relatively recently formed opening. The proposed enlargement of the existing dining room, as well as the replacement of the existing concrete lintel and cill with a matching natural stone head and cill would represent an enhancement of the heritage asset, as well as markedly improving the outlook of the enlarged Dining area of the house.

Internally, the proposed alterations are as follows:

The Opening up of the existing Dining Room and Stair Hall

This would improve the rather tight Dining area significantly. It would involve the removal of a long section of existing masonry wall (the original gable wall) at Ground Floor level, and the retained area of wall would be supported with a new steel beam. Nibs would be retained at both ends of the opening and a downstand would be left below ceiling level to leave clear identification as two previous, separate rooms. As part of this work, the existing modern under-stairs WC would be removed, improving the proportions of the enlarged room.

The alterations to the Entrance Hall.

The intention is that a modest new Utility Room and Ground Floor Wc be created in the existing Entrance Hall. This would include the construction of new timber stud partitions in this area and some localised work to provide services. The existing entrance screen would be relocated.

The work noted above would enable the upgrading of the existing Ground Floor accommodation of the house, whilst avoiding any material alterations to the most historically significant room, the Sitting Room. The proposals are largely restricted to previously altered areas of the house and are therefore considered to have a lower overall impact upon the heritage asset.

SUMMARY

This application seeks to add a single storey porch extension, alter a modern window opening to the rear elevation and some interior opening up works and alterations to Harris Garth, a Grade II Listed property in Burton in Lonsdale.

Careful consideration has been given to the impact of the proposals, with a focus on maintaining as much of the original, historic fabric of the building, whilst sensitively modernising the existing internal layout.

HISTORIC MAPS



Figure 7 – 1890 Historic OS map of Burton in Lonsdale



Figure 8 – 1910 Historic OS map of Burton in Lonsdale

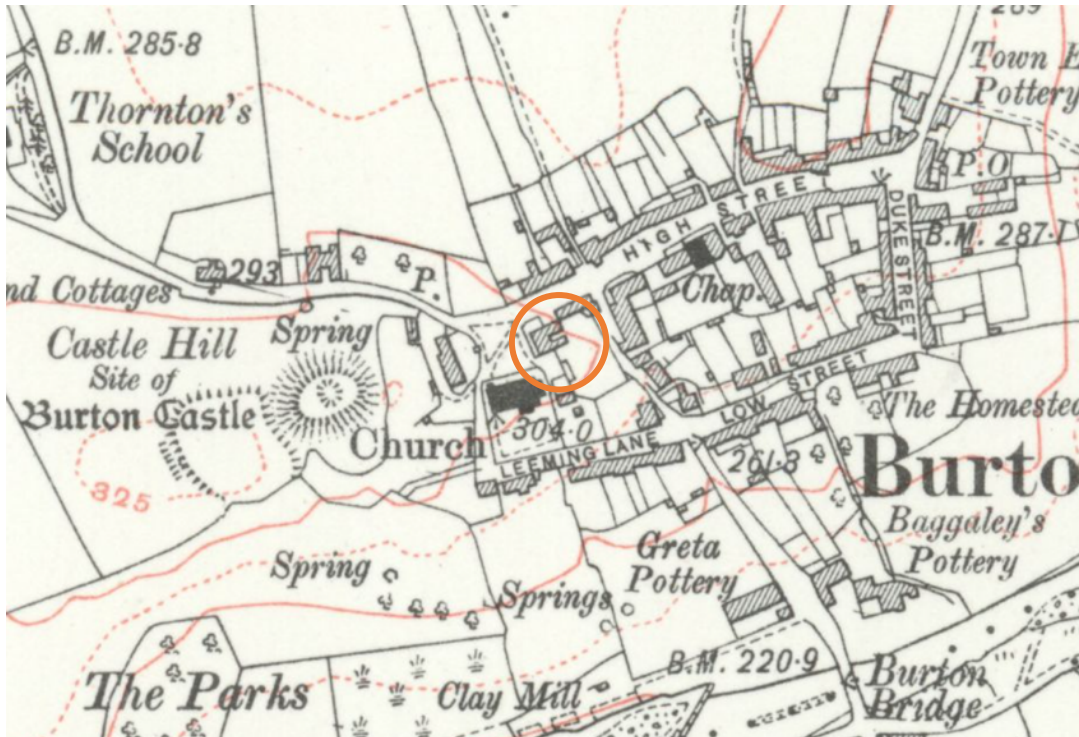


Figure 9 – 1915 Historic OS map of Burton in Lonsdale

As indicated in the historical maps in Figures 6, 7 and 8, it is clear that the dwelling appears on all shown maps. As observed, very little has changed across the immediate site and its surroundings across the maps obtained.

APPENDIX PHOTOS



Figure 10 – view of dwelling from roadside



Figure 11 - Existing rear elevation – the view of the dwelling from the Church graveyard



Figure 12 - Existing rear elevation – Dining Room window



Figure 13 - Existing rear elevation – the view of the dwelling from the Church. Coal-hole in the foreground, right of centre



Figure 14 - Existing front porch



Figure 15 - Existing kitchen entrance and patio / yard



Figure 16 - Existing sitting room



Figure 17 - Existing Entrance hall and screen



Figure 18 - Existing stair, Wc partition and door to the left hand side