

Metal anchor straps if required from timber framed wall to roof joists to overcome wind pressure

Roof dormer cheeks to be timber framed construction fixed to party wall and new perimeter floor joists with 100mm kingspan insulation and foil backed plasterboard internally

New PVC gutter and fascia board with ventilation grill to roof level

New flat roof joists

Existing roof rafters if retained are to be strengthened with additional roof rafters in between existing.

Metal anchor straps if required from timber framed wall to roof joists to overcome wind pressure

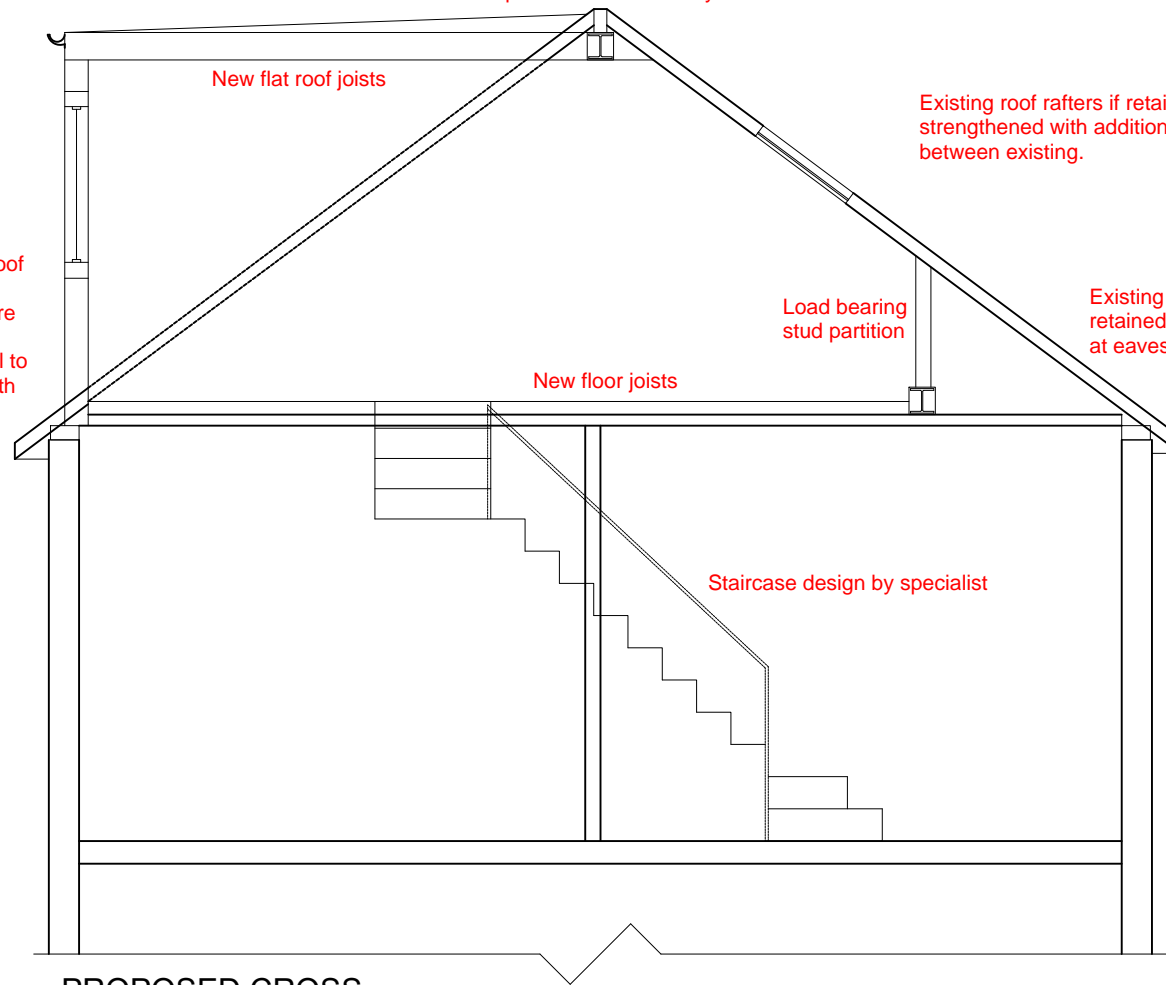
Load bearing stud partition

Existing pitched roof retained and ventilated at eaves and ridge

Timber framed external to form front of dormer with insulation between framework 100mm kingspan or similar

New floor joists

Staircase design by specialist



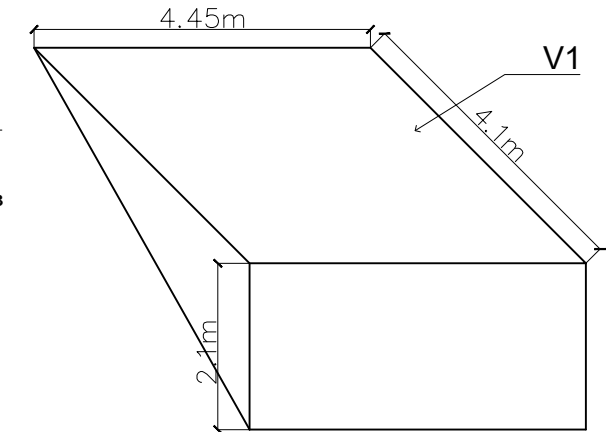
PROPOSED CROSS SECTION A-A (1:50)

Matching materials to be used for loft conversion.  
Dormer to be set back 200mm from rear wall.  
Rooflights not to be projected over 150mm above roof level.  
Dormer fave and cheeks to be tile hung.

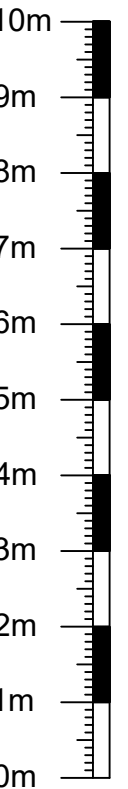
**MAIN ROOF DORMER AREA - V1**

L X W X H X  $\frac{1}{2}$

$3.335 \times 5.45 \times 2.04 \times \frac{1}{2} = 18.54 \text{ m}^3$



METERS @ 1:100



THE AGENT WILL NOT BE RESPONSIBLE FOR THE CONTRACT AFTER HAVING OBTAINED PLANNING PERMISSION AND/ OR BUILDING REGULATION APPROVALS AND THAT THERE CAN BE NO GUARANTEE THAT PLANNING PERMISSION OR BUILDING REGULATION WILL BE OBTAINED. ANY WORKS WHICH ARE STARTED BEFORE APPROVALS WILL BE AT OWNERS RISK. NO RESPONSIBILITY WILL BE TAKEN FOR WORKS WHICH ARE UNFORESEEN AND FOR ANY SUBSEQUENT ALTERATIONS MADE WHICH ARE BEYOND THE CONTROL OF THE AGENT.

**GENERAL NOTES**

**1. DIMENSIONS**

All dimensions to be checked on site.  
Contractor to check site thoroughly & report any discrepancies.

**PROPOSED SECTION**

254 Roman Road  
East Ham  
E6 3SQ  
London

PAGE SIZE : A3  
SCALE : 1:50  
DATE : 09/05/2022  
DRAWN BY : SK

Dwg. No:  
254-RR-04