



# Design and Access Statement

at:

Cobble Cottage, Lerryn, Lostwithiel, Cornwall PL220PX

## Project Description:

Single Storey Householder Extension

Client:

Miss D Pragnell-Smith.

### Document Revision:

A:	Initial Issue	13/01/22
B:	Diagrams updated	20/01/22

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## 2 INTRODUCTION

### GENERAL

- 2.1.1 This Design and Access Statement attaches to the planning application for a proposed single storey extension (Balcony), for Miss D Pragnell-Smith [applicant], submitted by Hone Architecture Ltd. [Agent].
- 2.1.2 This D&A statement is a pre-requisite of submission in a conservation area – and broadly follows guidelines by CABE's guidance.

### SITE

- 2.1.3 The site lies on an unnamed road directly off the centre of Lerryn. The dwelling is one of a smallish terrace of dwellings facing Lerryn River.
- 2.1.4 To the front boundary is an unnamed road, a dead end, which is fully tarmacked and trafficked by vehicles. To the rear of the terrace is a rather small byway which is a public right of way, which ultimately joins the unnamed road further West.
- 2.1.5 The site follows a rapid slope, whereby the property is three storey on the riverside road, and two storey on the rear public right of way – please refer to elevation drawings.



Figure 1 – aerial location

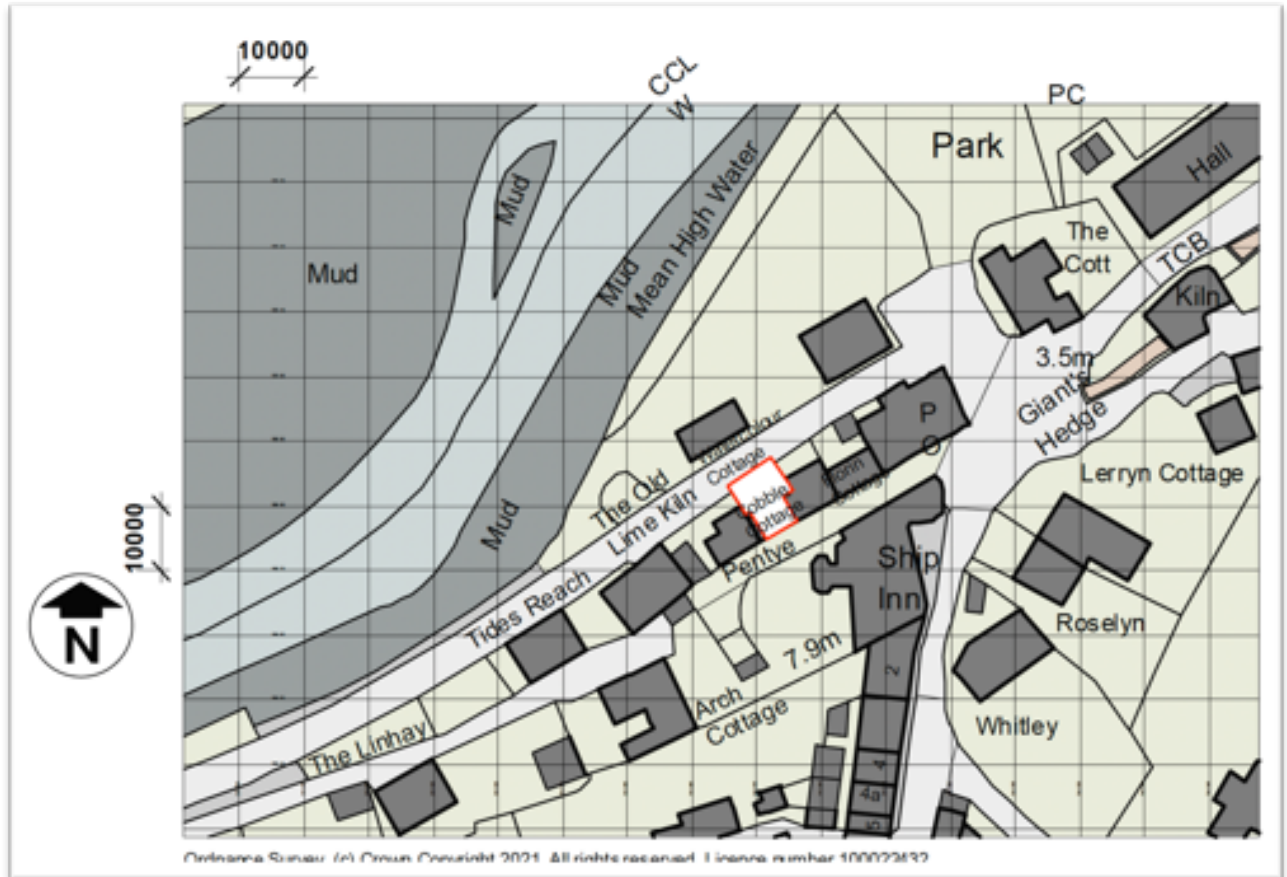


Figure 2 – Ordnance survey location

2.1.6 The property is currently a family dwelling with some rental in peak months, with 2 double rooms – no changes to this use are proposed with this application.

### 3 USE

#### **PLANNING POLICIES**

- 3.1.1 Cornwall Council governs the village of Lerryn and this has in turn been designated as a conservation area. Although no conservation area appraisal report currently exists.



Figure 3 – Lerryn conservation area

- 3.1.2 The site use is residential, Use class C3 as designated by the Town and Country Planning [Use Class] Order 1987, as amended 1<sup>st</sup> September 2020.
- 3.1.3 The site falls within an Article 1[5] Land of The Town and Country Planning (General Permitted Development) Order 1995. This is the Lerryn conservation area. [which discounts/restricts permitted development rights].
- 3.1.4 The existing house has also been extended, over two storey's, before the current owner purchased the property and therefore it is assumed that any Class A permitted development rights have been Fully utilized –not forgetting 3.1.3 above.
- 3.1.5 Cornwall Council's Local plan is fully consistent with the National Planning Policy Framework (NPPF) and sets out local planning policies for dealing with proposals.
- 3.1.6 Cornwall Council's Adopted Local Plan Policy, adopted Nov 2016, provide planning policies which maybe pertinent to consider for this application. These include:
- **Policy 1: Presumption in favour of sustainable development**



- **Policy 12: Design**
- **Policy 14: Renewable and Low Carbon Energy**
- **Policy 24: Historic environment**
- **Policy 26: Flood Risk management and coastal change**

### 3.1.7 Policy analysis:

#### **POLICY:**

##### **Policy 1: Presumption in favour of sustainable development**

When considering development proposals the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework and set out by the policies of this Local Plan.

We will work with applicants, infrastructure providers and the local community to find solutions which mean that proposals will be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

Planning applications that accord with the policies in this Local Plan and supporting Development Plan (including, where relevant, with policies in Neighbourhood Plans) will be regarded as sustainable development and be approved, unless material considerations indicate otherwise.

When considering whether a development proposal is sustainable or not, account will be taken of its location, layout, design and use against the three pillars of economic development, social development and environmental protection and improvement.

Where there are no policies relevant to the application or 13 relevant policies are out of date at the time of making the decision the Council will grant permission unless material considerations indicate otherwise – taking into account whether:

- a) Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the National Planning Policy Framework taken as a whole; or
- b) Specific policies in that Framework indicate that development should be restricted

- 3.1.8 While this policy is aimed at overarching sustainability of the principle of a development, it still applies to the minor level.
- 3.1.9 Very minimal changes are proposed with the majority being internal refurbishments, extending the property life/usability/adaptability. However, a solar panel array is proposed to the rear elevation facing South, which would not be visible from the ground level right of way, but would be considered from farther views.
- 3.1.10 The array, should this gain approval, will be calculated for this building/usage and be in line with the principles of SPD - Improving Energy Efficiency in Historic Cornish Buildings particularly Appendix 3 – Microgeneration.
- 3.1.11 Appendix 3 points out that Solar panels are not always suitable, and guide their location to rear or hidden roof pitches – which this proposal follows:
- PVs are not always suitable for use on historic buildings but can be sited on inner or rear roofs, outbuildings or on ground based arrays.

- 3.1.12 Following this we have sited the PVs on the rear roof face, facing almost directly South. We would also suggest that PV technology has moved on so quickly most are fitted with anti-glare coats and would not present a glare issue to other properties.

## **POLICY**

### **Policy 12: Design**

The Council is committed to achieving high quality safe, sustainable and inclusive design in all developments. Development must ensure Cornwall's enduring distinctiveness and maintain and enhance its distinctive natural and historic character. Development should demonstrate a design process that has clearly considered the existing context, and how the development contributes to the social, economic and environmental elements of sustainability through fundamental design principles.

1. As part of a comprehensive place-shaping approach, proposals will be judged against fundamental design principles of:

a. **character** – creating places with their own identity and promoting local distinctiveness while not preventing or discouraging appropriate innovation. Being of an appropriate scale, density, layout, height and mass with a clear understanding and response to its landscape, seascape and townscape setting; and

b. **layout** – provide continuity with the existing built form and respect and work with the natural and historic environment; high quality safe private and public spaces; and improve perceptions of safety by overlooking of public space; and

c. **movement** – creating a network of safe well connected routes which are easy to read and navigate by the use of landmarks, spaces, views and intersections; and

d. **adaptability, inclusiveness, resilience and diversity** – building structures can be easily altered, particularly internally, to respond to both climate change and changing social and economic conditions and provide a mix and pattern of uses; and

e. **engagement process** – undertaking community engagement, involvement and consultation in the design process proportionate to the scheme.

2. In addition development proposals should protect individuals and property from:

a. **overlooking** and unreasonable loss of privacy; and

b. **overshadowing** and overbearing impacts; and

c. **unreasonable noise** and disturbance.

3. For larger developments a balance needs to be achieved between private, semi-private and public open space, which includes allotments, sports facilities, children's play area provision and natural open space provision. The Council will seek the provision of larger areas of multifunctional green space rather than multiple smaller areas as appropriate in larger developments.

- 3.1.13 The designs put forward in this application do not seek to radically change the current footprint and layout of the property, but it is worth considering here Policy 12.1a character and Policy 12.2a overlooking.
- 3.1.14 The character of the terrace of original worker dwelling has been altered over time with various additions and material modifications, however stone is still prevalent and showing on nearly all properties Along with traditional Natural slate roofing.
- 3.1.15 The dwelling has been historically extended to the front with the stone to the ground storey painted white, a rendered addition to first floor level and a large slate clad dormer added to the roof.



Figure 4 – Unnamed road view looking South-East at Cobble Cottage (white building with dormer)



- 3.1.16 The terrace of buildings reflect a domestic scale, not exceeding three storeys and no change to this is proposed by this application.
- 3.1.17 The existing dormer, it is unsure of date of construction, is clad in slate and can be considered rather large in hindsight. As part of this application it is proposed to address the cladding of the dormer to reduce the mass of dark slate with a lighter material – suggested planking to reflect some of the neighbour vernacular buildings.
- 3.1.18 Similarly the addition of a small balcony with glass balustrading, witnessed in several adjacent properties, is aimed to help break down the vertical mass of the property.
- 3.1.19 The character of the proposals are aimed at retaining a local feel, while attempting to help reduce the mass, and to renovate the property where needed.
- 3.1.20 The proposals also consider overlooking with the extent of the balcony kept specifically away from either side boundary. The submitted site plan also indicates neighbouring views from principle windows – 11m window to gable and 21m window to window. Neither of these are being breached by the proposals.

## **POLICY 14:**

### **Renewable and low carbon energy**

1. To increase use and production of renewable and low carbon energy generation development proposals will be supported that:

- a. maximise the use of the available resource by deploying installations with the greatest energy output practicable taking into account the provisions of this Plan;
- b. make use, or offer genuine potential for use, of any waste heat produced; and
- c. in the case of wind turbines, they are within an area allocated by Neighbourhood Plans for wind power and avoid, or adequately mitigate shadow flicker, noise and adverse impact on air traffic operations, radar and air navigational installations; and
- d. do not have an overshadowing or overbearing effect on nearby habitations.
- e. in the case of solar development, noise, glint and glare is mitigated adequately.

2. Support will be given to renewable and low carbon energy generation developments that:

- a. are led by, or meet the needs of local communities; and
  - b. create opportunities for co- location of energy producers with energy users, in particular heat, and facilitate renewable and low carbon energy innovation.
3. When considering such proposals, regard will be given to the wider benefits of providing energy from renewable sources, as well as the potential effects on the local environment; including any cumulative impact of these proposals.
4. In and within the setting of Areas of Outstanding Natural Beauty and undeveloped coast, developments will only be permitted in exceptional circumstances and should generally be very small scale in order that the natural beauty of these areas may be conserved.
5. When considering proposals for renewables that impact upon the Area of Outstanding Natural Beauty and its setting and / or the World Heritage Site or other historic assets and their settings, applicants should apply other relevant

policies in the Plan.

- 3.1.21 *As part of these proposal Solar panels have been discussed elsewhere and will be finished with an anti glare finish, but broadly would fall in line with Policy 14.1.e.*
- 3.1.22 *The positioning of the solar panels does consider Policy 14.2.4, and considers the location of solar panels in an Area of Outstanding Natural Beauty, and while the applicant has made a point of mentioning the wonderful view over the River Lerryn – this property is only on one side of the river basin. The South bank of the River Lerryn would therefore obviously place its solar panels on the South side of properties affording a relatively solar panel free view from the North bank.*
- 3.1.23 *Placing the solar panels on the rear South facing roof of the dwelling would seem to be the least obtrusive position to retain the Area of Outstanding Natural Beauty and retaining the River side public walk into the forest.*

## **POLICY 24**

### **Historic environment**

*Development proposals will be permitted where they would sustain the cultural distinctiveness and significance of Cornwall's historic rural, urban and coastal environment by protecting, conserving and where appropriate enhancing the significance of designated and non-designated assets and their settings.*

*Development proposals will be expected to:*

- sustain designated heritage assets;*
- take opportunities to better reveal their significance;*
- maintain the special character and appearance of Conservation Areas, especially those positive elements in any Conservation Area Appraisal;*
- conserve and, where appropriate, enhance the design, character, appearance and historic significance of historic parks and gardens;*
- conserve and, where appropriate, enhance other historic landscapes and townscapes, including registered battlefields, including the industrial mining heritage;*
- protect the historic maritime environment, including the significant ports, harbours and quays.*

*Development within the Cornwall and West Devon Mining Landscape World Heritage Site (WHS) and its setting should accord with the WHS Management Plan. Proposals that would result in harm to the authenticity and integrity of the Outstanding Universal Value, should be wholly exceptional.*

*If the impact of the proposal is neutral, either on the significance or setting, then opportunities to enhance or better reveal their significance should be taken.*

*All development proposals should be informed by proportionate historic environment assessments and evaluations (such as heritage impact assessments, desk-based appraisals, field evaluation and historic building reports) identifying the significance of all heritage assets that would be affected by the proposals and the nature and degree of any effects and demonstrating how, in order of preference, any harm will be avoided, minimised or mitigated.*

*Great weight will be given to the conservation of the Cornwall's heritage assets.*

*Where development is proposed that would lead to substantial harm to assets of the highest significance, including un-designated archaeology of national importance, this will only be justified in wholly exceptional circumstances, and substantial harm to all other nationally designated assets will only be justified in exceptional circumstances.*

*Any harm to the significance of a designated or non-designated heritage asset must be justified. Proposals causing harm will be weighed against the substantial public, not private, benefits of the proposal and whether it has been demonstrated that all*

reasonable efforts have been made to sustain the existing use, find new uses, or mitigate the extent of the harm to the significance of the asset; and whether the works proposed are the minimum required to secure the long term use of the asset. In those exceptional circumstances where harm to any heritage assets can be fully justified, and development would result in the partial or total loss of the asset and/or its setting, the applicant will be required to secure a programme of recording and analysis of that asset, and archaeological excavation where relevant, and ensure the publication of that record to an appropriate standard in a public archive. Proposals that will help to secure a sustainable future for the Cornwall's heritage assets, especially those identified as being at greatest risk of loss or decay, will be supported.

3.1.24 While not a registered heritage asset, Cobble Cottage does form Riverside frontage in an Area of Outstanding Beauty, and the proposals seek to emulate other building refurbishments in the local area.

3.1.25 The image below highlights the Listed buildings and grades, within the immediate area.



Figure 5 – listed buildings in local area.

**POLICY:****Flood risk management and coastal change**

1. Development should take account of and be consistent with any adopted strategic and local flood and coastal management strategies including the Shoreline Management Plan and Catchment Flood Management Plans for Cornwall and the South West River Basin Plan.

2. Development should be sited, designed, of a type and where necessary relocated in a manner that:

a. increases flood resilience of the area, taking account of the area's vulnerability to the impacts of climate change and coastal change and the need to avoid areas of flood risk, in the first instance, taking into account the vulnerability of the use proposed; and

b. minimises, or reduces and where possible, eliminates flood risk on site and in the area; and

c. enables or replicates natural ground and surface water flows and decreases surface water runoff, particularly in Critical Drainage Areas, through sustainable urban drainage systems (SUDS), utilising green infrastructure where possible and as guided by local standards, including Cornwall drainage guidance; and

d. the safeguarding of land, where it is identified to be functional flood storage, to make space for water at times of flood; and

e. where applicable, supports community-led local solutions to managing flood risk and coastal change; and

f. does not create avoidable future liability for maintenance for public bodies and communities.

3. Development proposals of 10 dwellings or more or over 0.5 ha should provide a long term water management plan, which includes maintenance of surface water drainage systems, measures to improve the network of surface water drainage systems on and around the site (e.g. culverts etc.) and identifies opportunities and funding for future enhancement.

3.1.26 The site falls within Flood zone 3.

3.1.27 While no change or intensification of use are proposed it should be noted that the site does flood through tidal water, and while the use is considered a vulnerable use (residents sleeping), it should be remembered that the floor plans do not house any habitable accommodation on the ground floor.

3.1.28 While the flood map and previous owners have recorded river water approaching the lower step of the ground floor, the ground floor store has temporary sand bag flood resilience used in exceptionally high tides combined with heavy rainfall.

3.1.29 It is generally accepted that a freeboard of 600mm above tidal water would be considered acceptable. Should the tidal water breach the ground floor store floor level – refer to elevations, there is a further 1953mm before habitable accommodation is reached.

## 4 PROPOSED AREAS

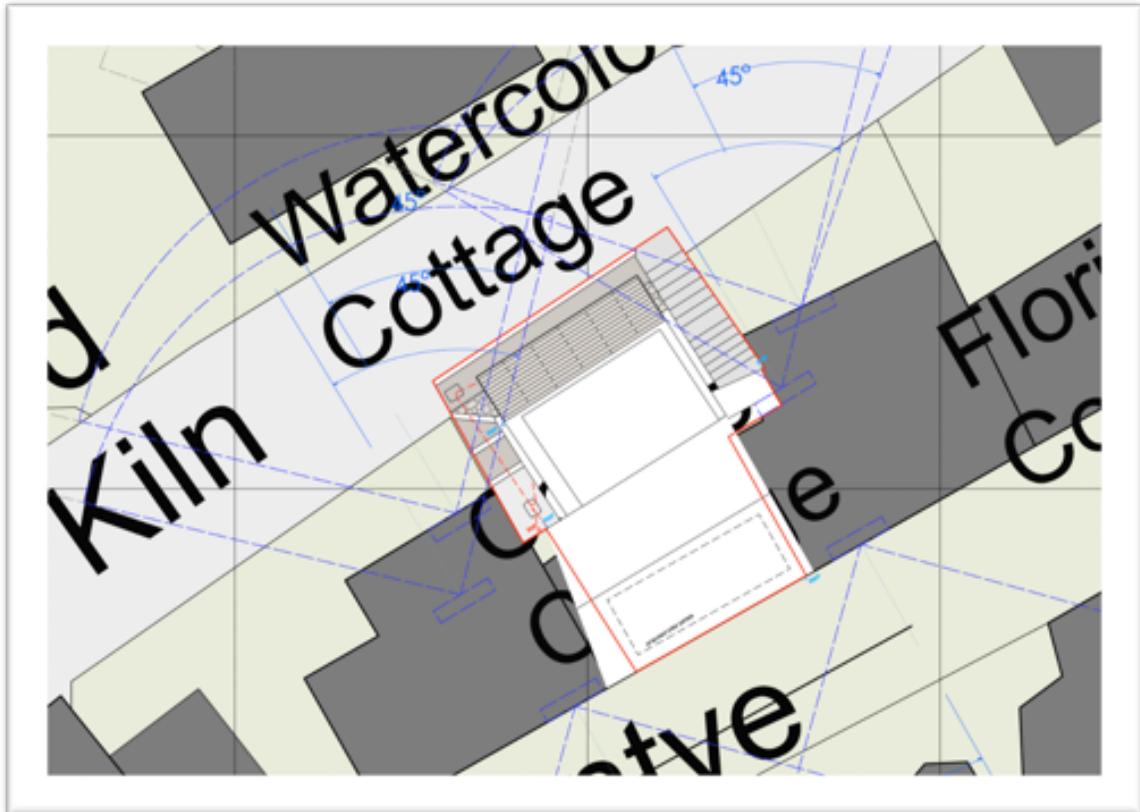


Figure 6

### AREAS

4.1.1 The total site area shown by the red dotted line on the proposed site plan amounts to:

Area = 72.5 sq.m.  
Perimeter = 36.7 m

4.1.2 The existing floor plates equate to:

#### Ground Floor:

Gross External Area = 11.9 sq.m. [128 sq.ft.]  
Gross Internal Area = 6.2 sq.m. [67 sq.ft.]

#### First Floor:

Gross External Area = 47.1 sq.m. [507 sq.ft.]  
Gross Internal Area = 37.7 sq.m. [406 sq.ft.]

#### Second Floor:

Gross External Area = 41.9 sq.m. [451 sq.ft.]  
Gross Internal Area = 35.5 sq.m. [382 sq.ft.]

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Gross Internal Area = 35.5 sq.m. [382 sq.ft.]

**SITE COVERAGE**

Site coverage can generally be calculated in percentage terms with the following equation:

$$\text{Site coverage \%} = \frac{\text{Total Building area [GEA on 1<sup>st</sup> Assumed floor only]} \times 100}{\text{Total Site area}}$$

$$\text{Site coverage \%} = \frac{47.1 \times 100}{72.5}$$

$$\text{Site coverage \%} = \frac{4,710}{72.5}$$

$$\text{Site coverage \%} = \mathbf{65\%}$$

**PLOT RATIO**

Plot Ratio can generally be calculated in percentage terms with the following equation:

$$\text{Plot Ratio \%} = \frac{\text{Total Building area [GEA on ALL floors]} \times 100}{\text{Total Site area}}$$

$$\text{Plot Ratio \%} = \frac{[11.9+47.1+41.9] \times 100}{72.5}$$

$$\text{Plot Ratio \%} = \frac{10,090}{72.5}$$

$$\text{Plot Ratio \%} = \mathbf{139.2\%}$$

## 5 LAYOUT

### ORIENTATION

- 5.1.1 The site has historically, been orientated to follow the existing geometry of the vernacular roads and byways and facing the river view. The applicant would like to propose a similar balcony to adjacent local buildings to increase the aspect towards the River Lerryn.

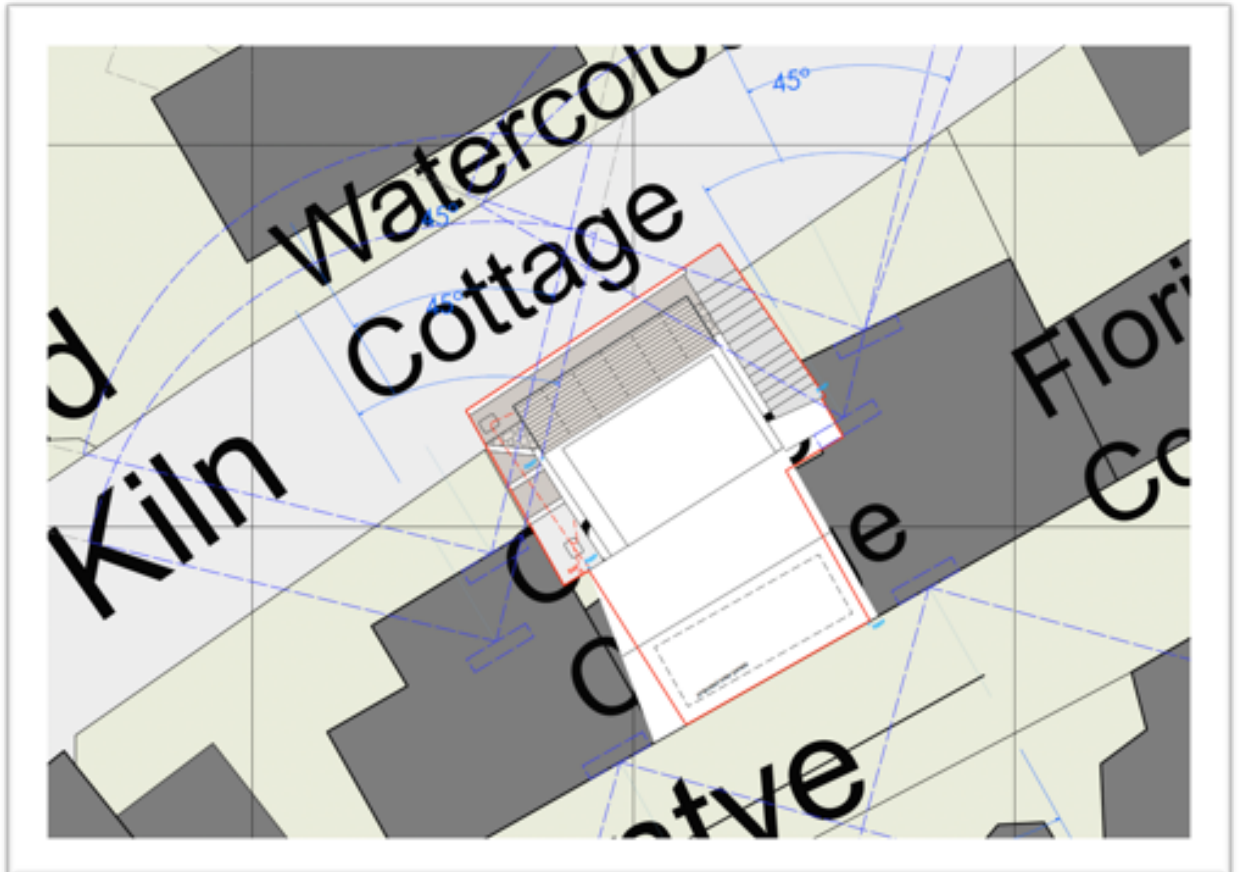


Figure 7 – site plan

- 5.1.2 These proposals aim to address the rear elevation to the garden. A small planter either side of the orangery bookends the steps that address the small level change from the garden to the main house floor level.
- 5.1.3 The floor level of the main house has been matched throughout the proposals which means the floor level cuts into the rising ground levels of the garden – this will mean the floor and walls will need tanking.

## 6 SCALE

- 6.1.1 No increase in habitable accommodation is proposed and the scale remains within the existing ridge line. The elevation above show a proposed re-cladding of the existing dormer and the proposed external addition of a balcony facing the river view.

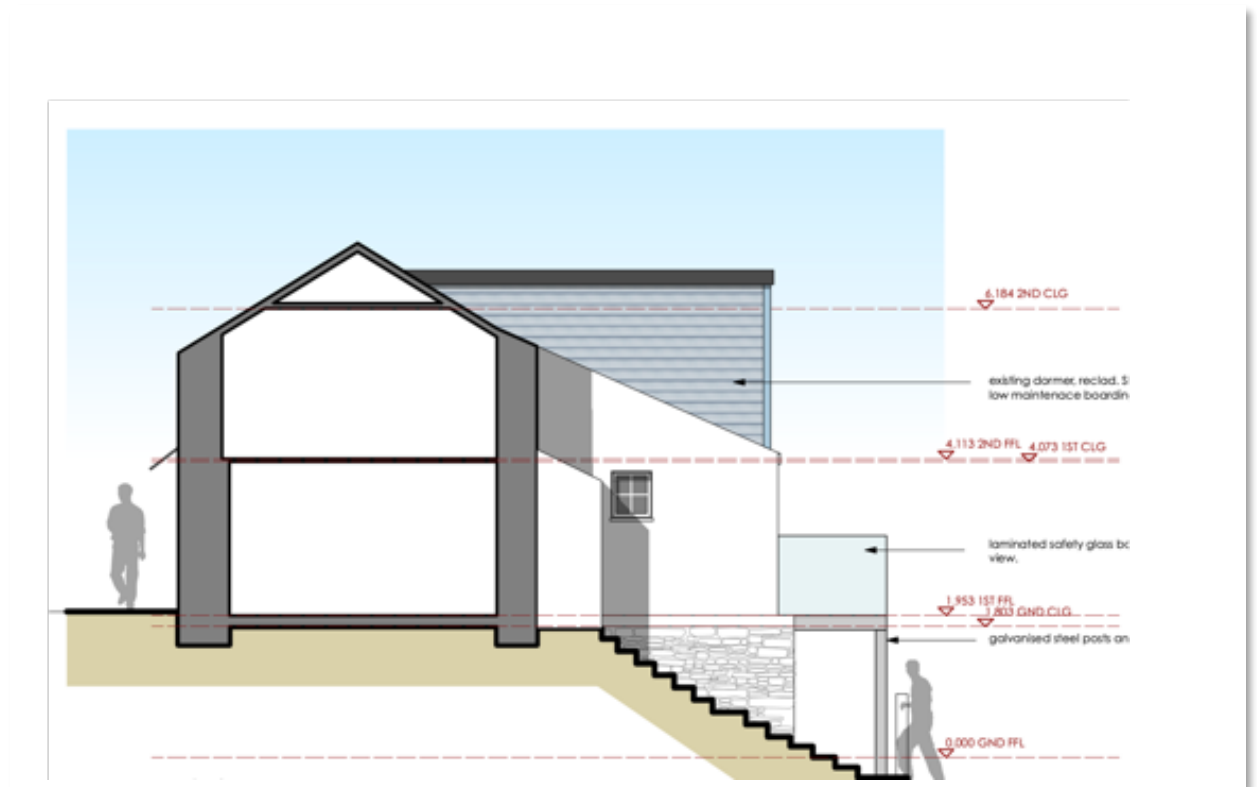


Figure 8 – side elevation/section

## 7 LANDSCAPING

- 7.1.1 The existing site is tightly bound by neighbouring terraced building either side (West and East), and an unnamed road to the North, and byway (a pedestrian right of way) to the South. Very little landscaping is afforded on the existing site plan, but this is not dissimilar to the adjacent terraced buildings, with many utilising small water gardens (surface water percolating into planters) and potted planting to enhance domestic landscaping.
- 7.1.2 The site falls within an Area of Outstanding Natural Landscape and no decreasing of existing landscaping is proposed.



Figure 9 – Area of Outstanding Natural Beauty

## 8 APPEARANCE

### ARCHITECTS DESIGN RATIONALE



Figure 10 – River Lerryn View

8.1.1 The proposals can be described as three main elements:

- Dormer re-clad
- Proposed Balcony (North elevation)
- Proposed Solar Photovoltaic array (South Elevation)

8.1.2 Dormer Re-clad – the applicant seeks to re-clad the dormer with an inert colour fast planked system, something like Hardie Plank, to tidy the aging slate clad dormer and help to reduce the vertical mass of a large dark coloured mass at the top of the three storey dwelling. The applicant favours a boarded solution over slate re-cladding, and we suggest a materials condition be considered should the proposals find favour, so samples can be planner approved. Should the planner prefer a simple re-clad of slate, the applicant would consider this but would prefer a boarded solution.

8.1.3 Proposed Balcony – several of the images enclosed highlight adjacent and local balconies styles and types. The River Lerryn is only 35m away from the closest boundary and the panoramic image captures the River view which is outstanding.

8.1.4 The proposed board is intended to be a lighter colour and given the large bulk of the existing dormer form, aims to enhance the street scene without drastically altering the form.

8.1.5 Introducing a lightweight steel structure surrounded by a simple un-obstructive glass balustrade aims to provide the platform at the least built structure. It is not proposed to utilise a handrail on the glass and the applicant is considering a simple glass clamp product like Taperloc, and a simple glass sheet only.



- 8.1.6 The size of the balcony is commensurate with adjacent property balconies and is considered a minimum for a couple of chairs to enjoy the view.
- 8.1.7 The proposed solar panels positioned on the rear (South) facing elevation are still to be accurately calculated, but the proposal here is to provide a grouping of panels (normally 2x1m) to micro generate power for sole use within the dwelling. It is unlikely to provide 100% of power usage of the dwelling and it is anticipated that the dwelling would utilise Feed in Tarriffs which would offset the power usage and generation.
- 8.1.8 Not forgetting there are no permitted development rights for this property, we would however anticipate that solar panels are fitted relatively tight to the roofing and less than 200mm and be constructed with an anti-glare finish.

## MATERIALS

- 8.1.9 The Dormer re-clad is proposed to use a low maintenance, flame resistant, horizontal boarding, i.e. Hardie Plank, Marley board
- 8.1.10 The horizontal boarding as a vernacular element is witnessed within the conservation area. With timber and metal cladding boards being used. The general emphasis in re-cladding is to move away from materials that create a maintenance need or fire risk. The aim of re-cladding the dormer is to increase the thermal efficiency of the wall thickness and to enhance the aesthetics, while providing a longer term maintenance reduction at height.
- 8.1.11 The balcony is proposed as a simple galvanised steel post and beam structure with a stainless steel glass clamp, holding a simple safety glass sheet balustrade. Below are some existing Neighbouring examples:



Figure 11 – above, The Cottage above the public car park



Figure 12 – above, Adjoining Lerryn River Stores



Figure 13 – above, The Old Lime Kiln, Unnamed Road.

## **9 ACCESS**

### ***TOPOGRAPHY/ACCESS***

- 9.1.1 No alteration to existing access is proposed.
- 9.1.2 The existing site falls over three 3 metres from the rear South elevation, the the front boundary on the North elevation.
- 9.1.3 The main front door (residents' access) is positioned at first floor level on the North elevation accessed via a set of steps, and there is no intention to change this.
- 9.1.4 There is also a resident's access door to the rear (South elevation) by way which access directly into the first floor.

### ***CAR PARKING ON SITE***

- 9.1.5 The is no onsite parking, however, there is non-permitted street parking freely available along the unnamed road, and free public parking off of Fore Street less than one hundred metres away. There is no proposal to alter the or worsen the current situation.

### ***CYCLE PARKING ON SITE***

- 9.1.6 The ground floor is currently a store and could take storage of cycles. The only fixed fittings in this space is a washing machine and tumble dryer. The proposals do not seek to alter or worsen the cycle storage.

### ***INCLUSIVE ACCESS***

- 9.1.7 The building currently does not provide inclusive access, or facilities, and would need substantial renovations to achieve this.
- 9.1.8 Currently under Part M of the building regulations there is no requirement to better an existing private dwelling.