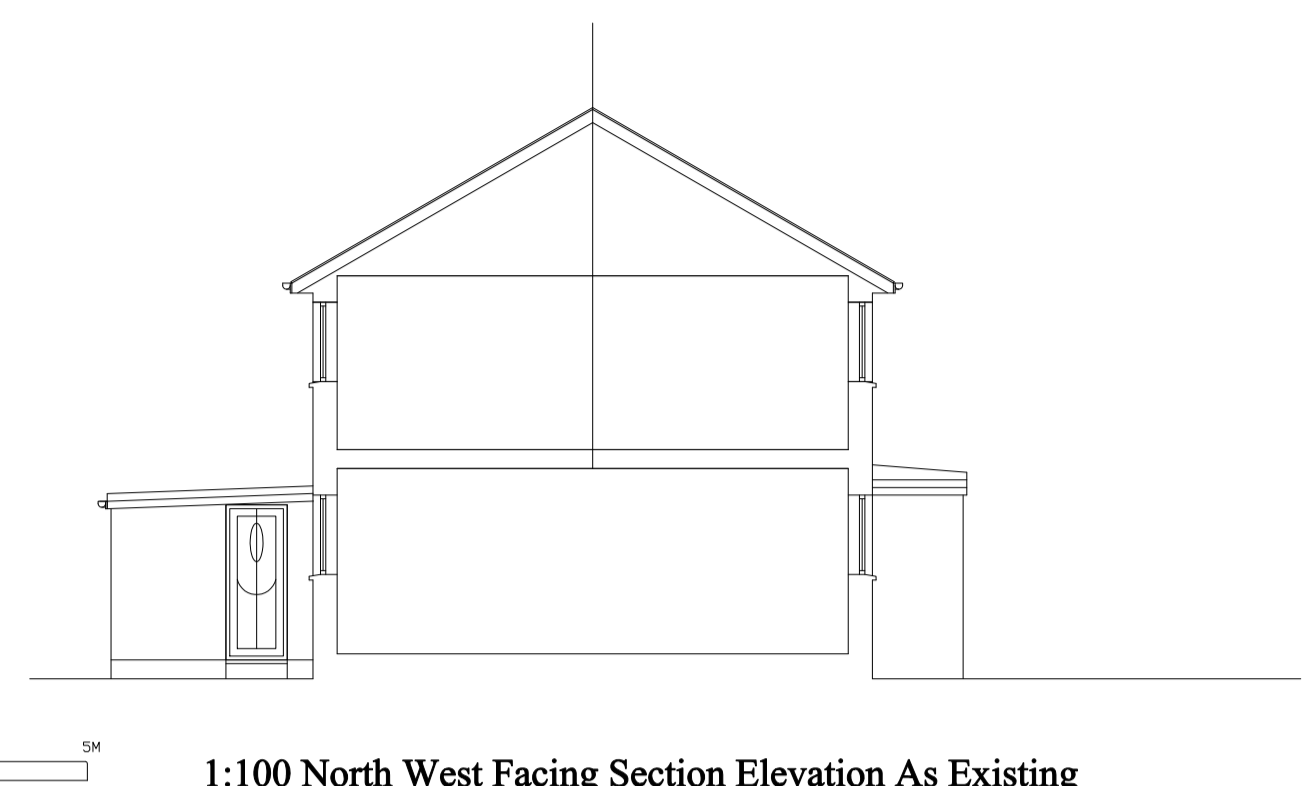
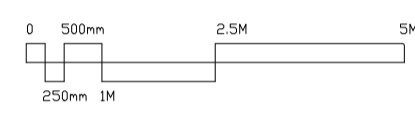


1:100 North East Facing Elevation As Existing



1:100 North West Facing Section Elevation As Existing

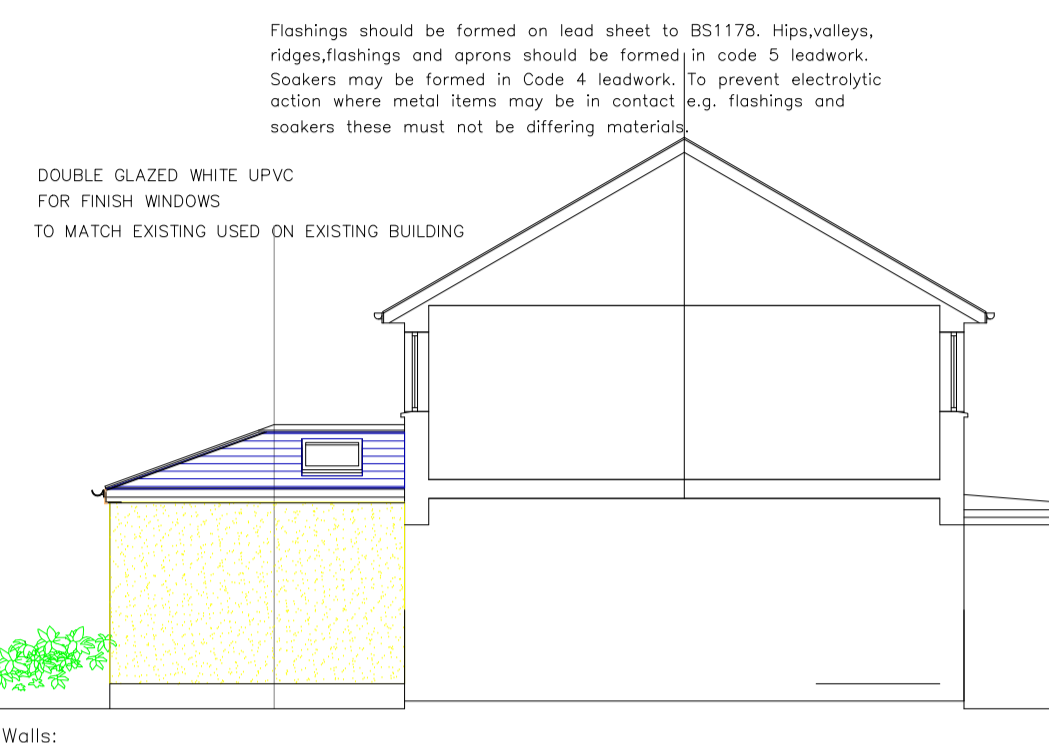


DRAINAGE:
The storm water drainage pattern is to be route to discharge into existing storm water drainage system.
All drainage work shall be carried out to the satisfaction of and in accordance with the rules, regulations and requirements of the local authority and shall be fully tested to their satisfaction and on the completion of installation.



DOORS:
External door screen to garden room area is to be formed in white UPVC finish.
All external doors are to be fitted with proprietary weather seal bar and weather stripping to ensure no possibility of weather penetration. Stain finish to match to clients specification
All subject to the satisfaction of the Planning Department

1:100 North East Facing Elevation As Proposed

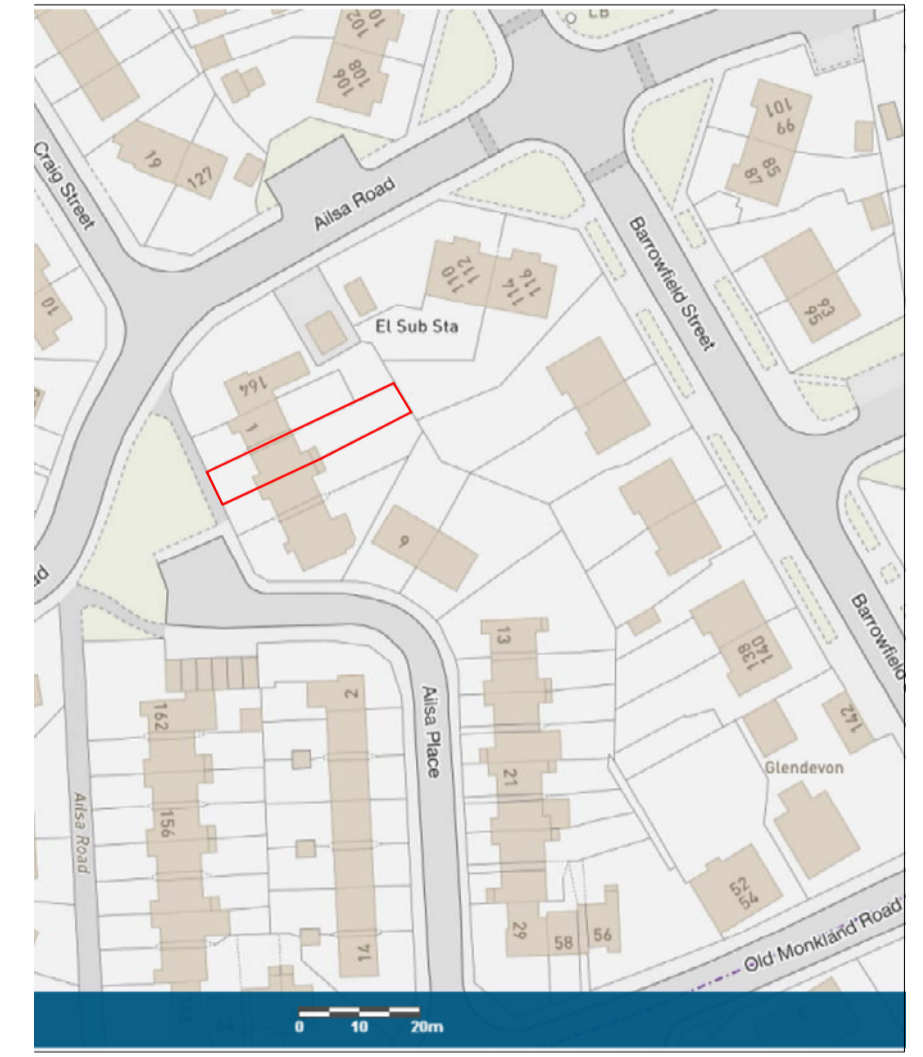


Flashings should be formed on lead sheet to BS1178. Hips, valleys, ridges, flashings and aprons should be formed in code 5 leadwork.
Soffers may be formed in Code 4 sootwork. To prevent electrolytic action where metal items may be in contact i.e. flashings and soakers these must not be differing materials.

DOUBLE GLAZED WHITE UPVC FOR FINISH WINDOWS TO MATCH EXISTING USED ON EXISTING BUILDING

Walls:
Walls to new proposed extension to be formed in roughcast finish to match existing.
Basecourse to be formed in smooth cement render colour to match existing, and all in accordance with general performance specification.
All subject to the satisfaction of the Planning Department

1:100 North West Facing Section Elevation As Proposed

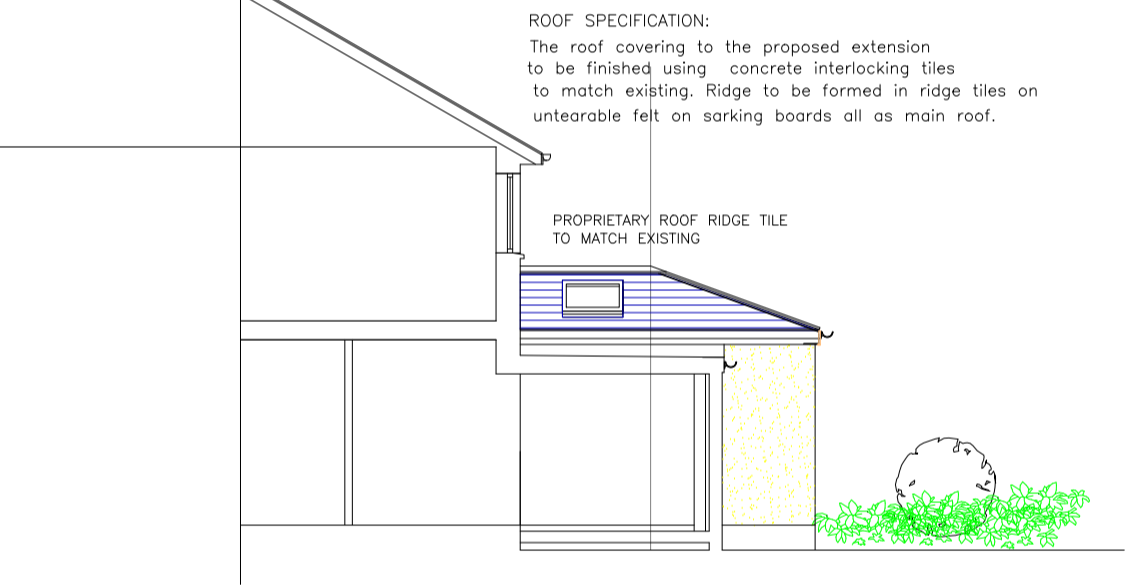


1:1250 LOCATION PLAN

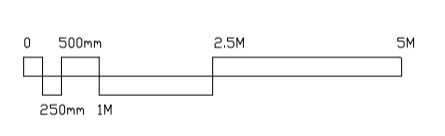
Windows to be provided complete with hit or miss ventilators in the head. Windows to be sealed round with clear silicone mastic.

WINDOWS:
All windows are to be white finished UPVC windows of a top hung opening as supplied by Specialist upvc supplier. Window sizes should be as per detailed drawing.
All to match existing windows

All gutters and downpipes to be formed in white pvc gutters securely in place with proprietary gutter straps oil by Marley Plastics Limited with the complete installation formed in accordance with the manufacturers site work instruction. All to match existing.
Eaves fascia and soffits to be formed in white Upvc finish to match existing.

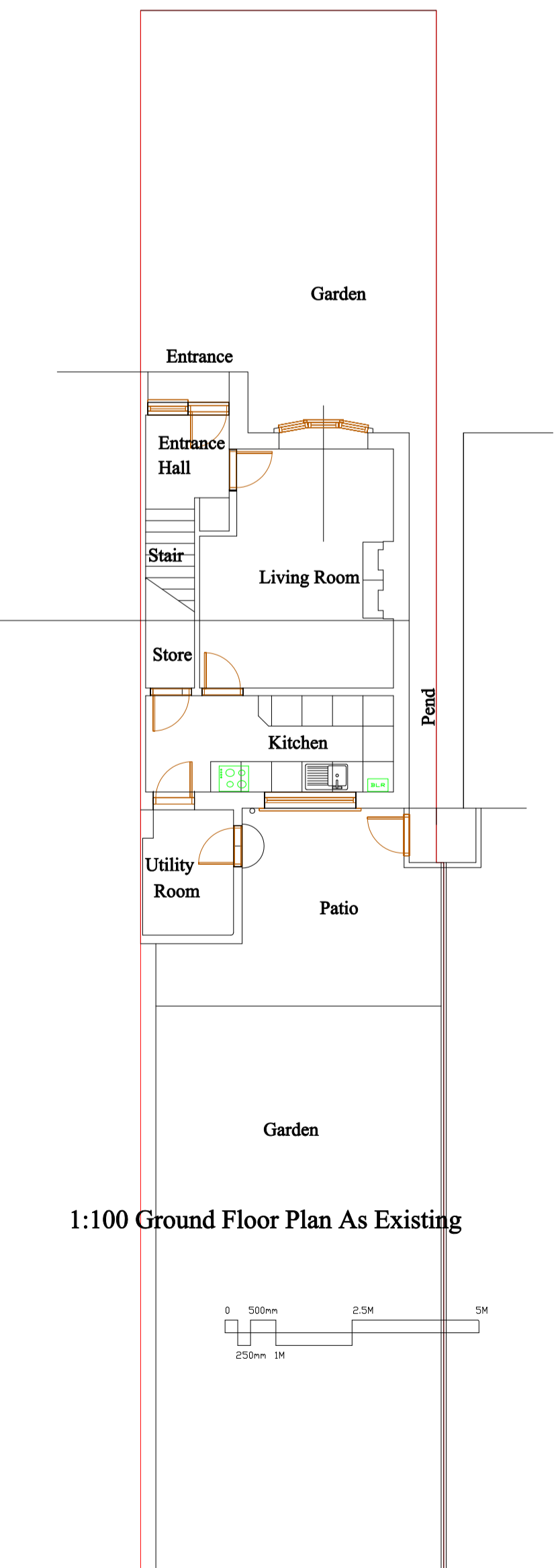


1:100 South East Facing Section Elevation As Proposed

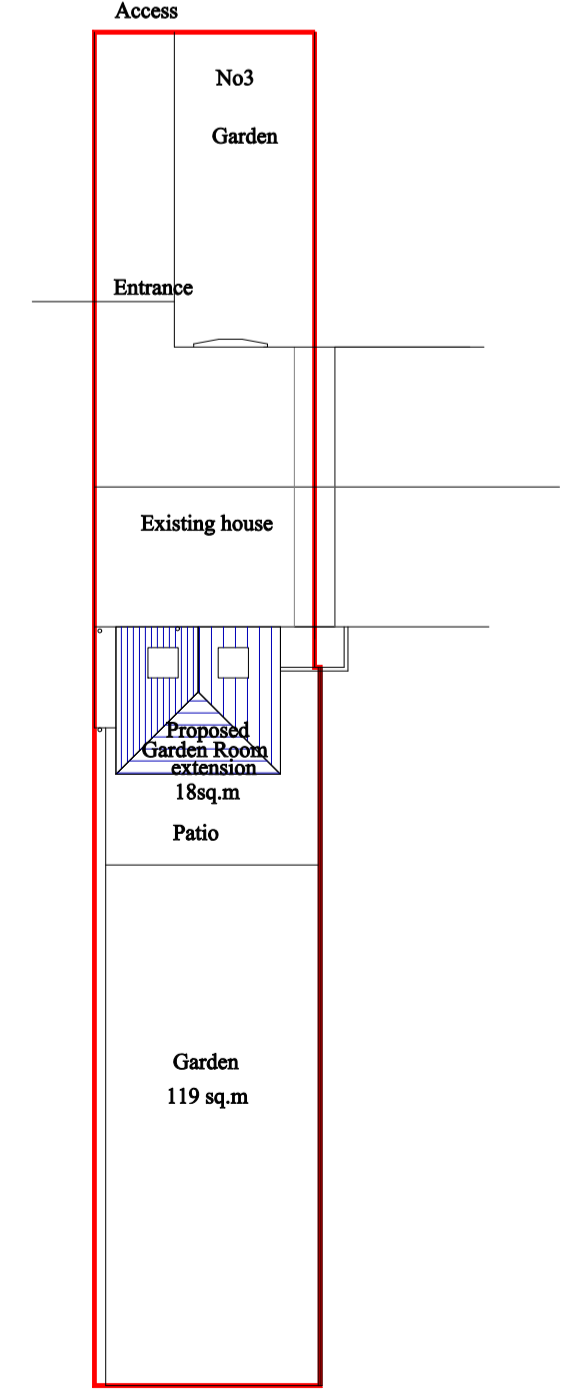
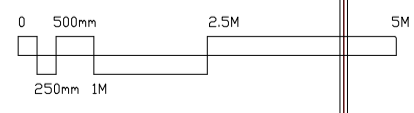


ROOF SPECIFICATION:
The roof covering to the proposed extension to be finished using concrete interlocking tiles to match existing. Ridge to be formed in ridge tiles on untearable felt on sarking boards oil as main roof.

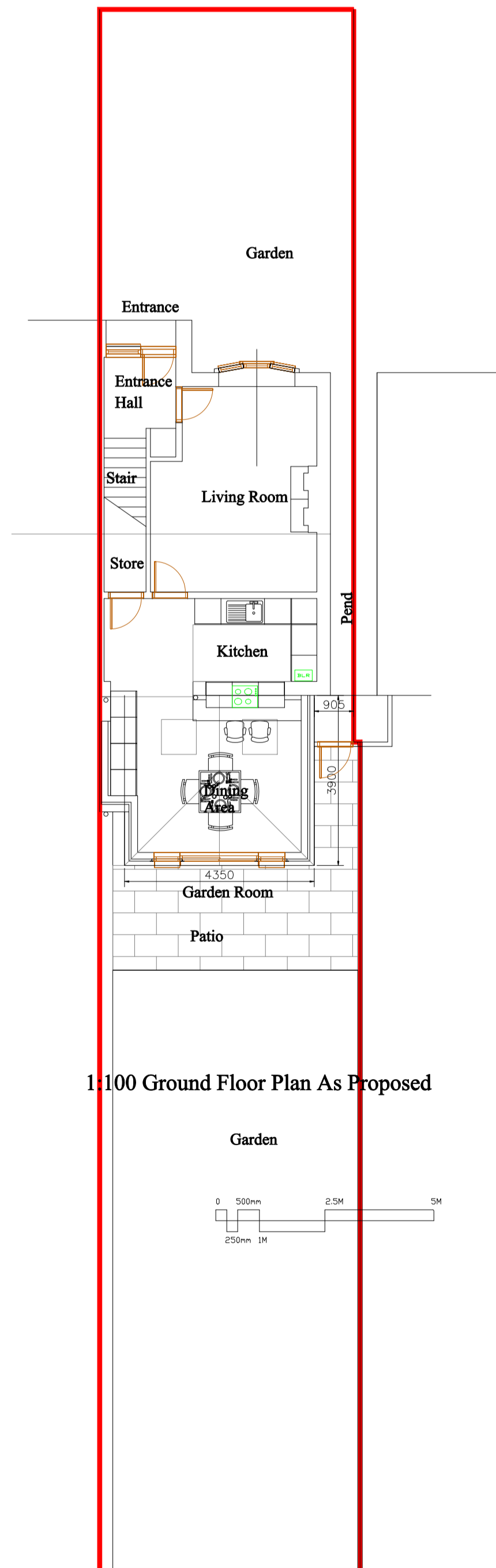
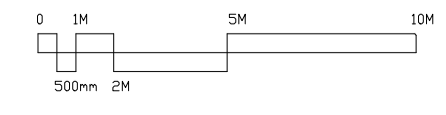
PROPRIETARY ROOF RIDGE TILE TO MATCH EXISTING



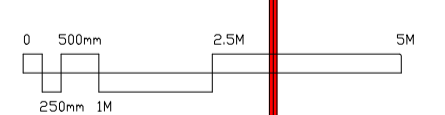
1:100 Ground Floor Plan As Existing



1:200 SITE PLAN AS PROPOSED



1:100 Ground Floor Plan As Proposed



NOTES		
DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ENGINEERS DRAWINGS.		
ALL DIMENSIONS ARE IN MILLIMETRES		
ALL DRAINAGE TO BE TO SATISFACTION OF LOCAL AUTHORITY.		
ALL ELECTRICAL WORK TO COMPLY WITH I.E.E REGULATIONS 18th EDITION.		
ALL ELECTRICAL WORK TO COMPLY WITH B.S. 7671 :2018.		
ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR ON SITE PRIOR TO FABRICATION OR ERECTION.		
ANY DISCREPANCIES ON THIS DRAWING OR BETWEEN DRAWINGS SHOULD BE REPORTED TO THE ARCHITECT AND CLARIFICATION REQUESTED PRIOR TO PROCEEDING WITH WORK.		
The contractor must note that prior to the start of site operations covered by a Building Warrant they should ensure that the required Start Notice has been issued by either the Architect of the Employer, and at the stages of formation of the foundations and open track drains that the Department of Building Standards must be informed to allow any necessary inspection.		
The contractor must note that even if the works are not F10 notifiable to the Health and Safety Executive all work must be completed in accordance with all current Health and Safety Regulations and Recommendations C.D.M. Guidance		
1. Working at Height Use scaffolding, towers or work platforms. Reduce use of ladders. Form staircases as early in construction as possible. Identify risks from fragile materials. Guard openings with railings to prevent falls.		
2. Risk Controls Reduce use of noisy and high vibration equipment. Control dust generation and use dust extraction. Control use of hazardous materials. Provide mechanical handling for heavy materials. Remove debris and surplus materials regularly. Store materials in an orderly manner. Avoid trailing cables and leads, loose materials. Keep walkways and platforms as clear as possible. Provide adequate lighting natural or artificial.		
2. Site Management Ensure a competent, trained person controls site. Provide adequate training, P.P.E. and risk assessments. Check sub-contractors risk assessments and method statements. Ensure safety of the public especially children. Control site access at all times. Control vehicular movement into and around site. Provide guidance on fire risk and escape measures. DO NOT SCALE THIS DRAWING.		

- FOR DISCUSSION
- BUILDING WARRANT
- DRAFT
- TENDER
- PLANNING
- CONSTRUCTION

DATE	DESCRIPTION	REVISION

O.K. Architectural Consultants

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Kirkintilloch,
Glasgow, G66 3BT
Tel: 07701029118
e-mail: okarchconsultants@gmail.com

CLIENT
Mrs LOUISE FULTON

PROJECT
PROPOSED EXTENSION
TO EXISTING HOUSE, 3 ALISA PLACE
COATBRIDGE, ML5 5JA

DRAWING
PLANS ELEVATIONS
AS PROPOSED AND EXISTING

DATE	DRAWN BY	SCALE
MARCH 2022		AS SHOWN

DRAWING N.	REVISION
SD/2204/01	