

HERITAGE STATEMENT
IN SUPPORT OF
PROPOSED WORKS
AT
NUTTERCOTE COTTAGE THORNTON-IN-CRAVEN, NORTH
YORKSHIRE BD23 3TT

Date: 29 March 2022

Our Ref: 211436



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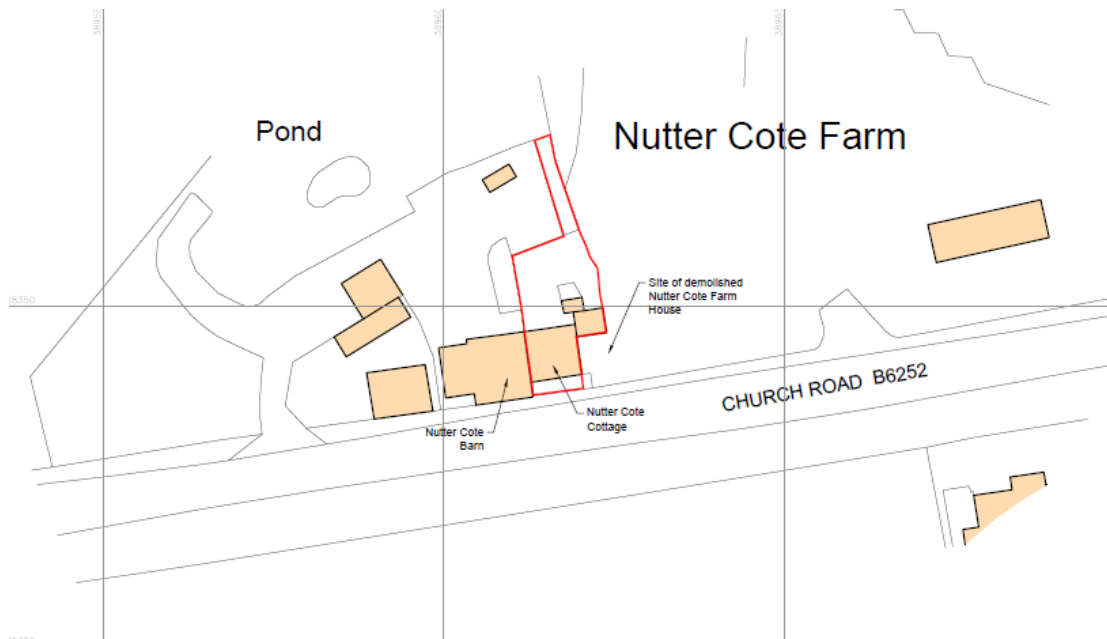
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1.0 Introduction

1.1 This Heritage Statement has been prepared by Smithers Purslow in support of a Planning and Listed Building Consent Application to propose works at Nuttercote Cottage situated in North Yorkshire.

2.0 Application Site

2.1 The application site is Nuttercote Cottage located at Thornton-In-Craven, North Yorkshire BD23 3TT.



3.0 Overview of the Works

3.1 The works broadly comprises the following:

- Tanking to walls and floor in the Ground Floor Dining Room
- Remedial works to the internal face of party walls
- New pitched roof to Dining Room with associated rainwater goods
- Remedial works to the main house pitched roof
- Associated work to stonework to party walls
- Construction of a new outer leaf of stonework to the south and east elevations to the dining room.

4.0 Description and history of Nuttercote Cottage

4.1 Description

Nuttercote Cottage was built circa in the late eighteenth century and it was extended sometime in the nineteenth century. The external construction comprises squared rubble stone with a slate roof. It is a two-storey cottage.

There is an original cottage plain doorway to the right side, towards the right hand gable, and a 4-light recessed square mullion window to each floor, with a blocked 2-light window also to the first floor.

The cottage projects forward to the left with a catslide roof. To the right is another doorway flanked by windows without mullions, all with plain surrounds. To the first floor there is another and a similar two-light window. It originally had two chimney stacks, but only one is currently in place.

4.2 History

The owners of Nuttercote Farm demolished their property circa April 2016. This exposed a previously enclosed upon party wall to the subject premises and a ground floor dining room.

Reinstatement of the adjoining property; Nuttercote Farm, has yet to commence. During the interim repairs have been undertaken to the now exposed party wall and the dining room has been weatherproofed to protect it from the elements.



Image 1 Nuttercote Cottage as at June 2018. Nuttercote Farm was to the right of the property before its demolition.



Image 2 Exposed party wall as at 21 June 2018. Dining Room to the property is in the single storey addition to the right of this photograph.



Image 3 View of infilled hole in the party wall when exposed following demolition of Nuttercote Farm.



Image 4 Lean to and rear of the Dining Room with temporary roof over above.

5.0 Summary of significance

5.1 Features of this rural cottage that are deemed significant are as follow:

- Original squared rubble stone
- Original slate roofing tiles
- Original head and cill features (the windows appear as though they are later additions)
- Original doors with surrounds
- Original chimney stack (official listing states there were two originally, but there is only one on place)

6.0 Statutory Listed Building Description

6.1 Nuttercote Cottage is Grade II Listed. The list description is as follows:

Official list entry

Heritage Category: Listed Building

Grade: II

List Entry Number: 1316775

Date first listed: 31-Oct-1988

Statutory Address 1: NUTTER COTE, B6252

Location

Statutory Address: NUTTER COTE, B6252

The building or site itself may lie within the boundary of more than one authority.

County: North Yorkshire

District: Craven (District Authority)

Parish: Thornton in Craven

National Grid Reference: SD 89617 48342

Details

SD 84 NE THORNTON-IN-CRAVEN B6252

4/140 Nutter Cote

II

Laithe house, probably late C18, enlarged C19. Squared rubble, stone slate roof. Two storeys. The older portion to the left has plain doorway towards the right hand gable, and a 4-light recessed square mullion window to each floor, with a blocked 2-light window also to first floor. The laithe comes forward to the left under a catslide roof. To the right is another doorway flanked by windows without mullions, all with plain surrounds. To the first floor there is another and a similar two-light window. Two stacks.

Listing NGR: SD8961748342

Legacy

*The contents of this record have been generated from a legacy data system.
Legacy System number: 324518
Legacy System: LBS*

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

7.0 Impact and Mitigation of Proposed Works

7.1 See table below.

Feature	Description	Heritage significance	Proposed works	Impact of proposed works on heritage significance
External walls and floor to the Ground Floor Dining Room	External walls: Original stone rubble walls with internal plaster finish. Floor: solid stone floor. Current condition is poor.	External walls and floor are original and considered highly significant. Water ingress has caused deterioration and as such the tanking proposed is essential to preserve the heritage asset.	Tanking to external walls where below existing ground levels and floor in the Ground Floor Dining Room: <ul style="list-style-type: none"> • Careful removal of existing plaster back to structural wall surface • Application of tanking by specialist • New plaster application where tanking has been applied 	Partial removal of existing plastered surfaces. Providing tanking to this area is considered less harmful than leaving the heritage asset in its current state whereby it will deteriorate further with damp.
Party Walls	Original stone rubble walls with internal plaster finish. There is mould growth and damaged / disturbed plaster. Current condition is poor.	These now external walls are original and considered highly significant. Water ingress has caused deterioration and as such the proposed works are considered necessary to preserve the heritage asset.	Remedial works to the internal face of party walls: <ul style="list-style-type: none"> • Cleaning to remove mould growth; • Carefully remove and make good damaged or disturbed existing plaster; • Prepare and re-decorate; • Paint type and colour all to be agreed prior to application. 	Proposed works to this area are considered less harmful than leaving the heritage asset in its current state whereby it will deteriorate further with damp.

Feature	Description	Heritage significance	Proposed works	Impact of proposed works on heritage significance
New Pitched Roof	Missing roof to the Dining Room / Bathroom area. Current condition is poor.	Previous removal of the roof was detrimental to the heritage asset.	New pitched roof to Dining Room with associated rainwater goods. For a detailed description of the roof build up, please refer to the Architect's drawings.	Proposed works to this area are considered less harmful than leaving the heritage asset in its current state whereby it will deteriorate further with damp. The new pitched roof is considered a positive impact to the heritage asset.
Main Pitched Roof	Original slate roof.	The main roof is considered highly significant.	Remedial works to the main pitched roof: <ul style="list-style-type: none"> • Proposed replacement of ridge tiles to match existing, interlinking existing ridge tiles to new. • Removal of stone slates along the verge to the party (now gable) wall. • Supply and fit new wider stone slates, including additional underlying slates to match existing roof covering and to allow a uniform overhang to the party wall • Point verge with appropriate lime-based mortar to specification agreed with conservation officer. • For a detailed description of works, please refer to the Architect's drawings. 	Proposed works to the main roof is considered less harmful than leaving the heritage asset in its current state.

Feature	Description	Heritage significance	Proposed works	Impact of proposed works on heritage significance
Stonework to Party Walls	Remains of South wall to Nuttercote Farm, considered highly significant.	The party walls are considered highly significant.	Associated work to stonework to party walls: <ul style="list-style-type: none"> • Take down remains of south wall to Nuttercote Farm and carefully take out stones where necessary at junction with party wall (now external wall) to repair stone masonry with re-claimed stone from Nuttercote Farm dressed into party wall at corner. • Mortar to be lime based to specification agreed with Conservation Officer. • For a detailed description of works, please refer to the Architect's drawings. 	Proposed works to this area are considered less harmful than leaving the heritage asset in its current state.
Ground Floor structure	Existing Ground Floor build-up to the Hallway to Nuttercote Cottage, considered significant.	The ground floor is considered highly significant.	Works required to inspect Ground Floor structure: <ul style="list-style-type: none"> • Lift existing quarry tiles to hall floor, inspect floor beneath, carry out repairs as required, and re-lay/replace with new quarry tiles to existing floor level. • For a detailed description of works, please refer to the Architect's drawings. 	Proposed works to the are considered somewhat harmful to the heritage asset, however, the inspection below the quarry tiles is required to determine the settlement / movement and cracking that has occurred. Therefore, the works are deemed necessary to protect the heritage asset from further decay.

Feature	Description	Heritage significance	Proposed works	Impact of proposed works on heritage significance
Electrical Works to Ground Floor	Electrical cupboard located in the Dining Room.	The cupboard is not considered highly significant; however its location is.	Ground Floor electrical works: <ul style="list-style-type: none"> • Electrical apparatus in electric's cupboard above door to dining room to be tested for damage, repaired as required, and certified by an approved competent Electrician. • For a detailed description of works, please refer to the Architect's drawings. 	Proposed works to the are considered less harmful than leaving the heritage asset in its current state.
Stone wall additions to South and East Elevations (at ground floor)	Stone wall additions to the Dining Room external party walls	The existing building external stone fabric is considered highly significant.	<ul style="list-style-type: none"> • Remove embedded timber in existing masonry and make good with stone. • Construct new outer leaf on foundations to structural engineer's design. New outer leaf to comprise 150mm random re-claimed stone to match party wall (now external wall). • Mortar to be lime based to specification agreed with conservation officer. • Further detailed description is shown on the Architect's drawing. 	Proposed works to the are considered less harmful than leaving the heritage asset in its current state.
External stone wall to South and East Elevations (at first floor)	Building of section of stone wall upwards to outside of alcove.	The existing building external stone fabric is considered highly significant.	<ul style="list-style-type: none"> • Extend existing section of stone wall upwards to outside of alcove in rubble stone to match existing. Dress stone into existing stone masonry and cap with code 5 lead flashing chased into existing 	Proposed works to the are considered less harmful than leaving the heritage asset in its current state.

Feature	Description	Heritage significance	Proposed works	Impact of proposed works on heritage significance
			wall above top of alcove opening. • Finish internally and make good plaster where disturbed using Izonil waterproof and breathable plaster.	

8.0 SUMMARY

- 8.1 The works proposed to reinstate the roof arrangements, waterproofing to the ground floor, party walls and external stonework will have a positive and non-detrimental impact to the heritage asset. Where reinstatement of external walls and roofs are required, original materials must be salvaged from the application site where possible, to match the original cottage.

When removing temporary works (roof over the Dining Room, for example) the utmost care and diligence is to be taken to not harm or damage the heritage asset any further.

The work proposed is to restore the cottage to its former original layout, and thus, this is considered a positive proposal for the heritage asset.

9.0 PHOTOS



View looking towards gable elevation (East Elevation)



View looking towards the West Elevation



View looking towards North Elevation



View looking towards North Elevation



Closer view looking towards North Elevation