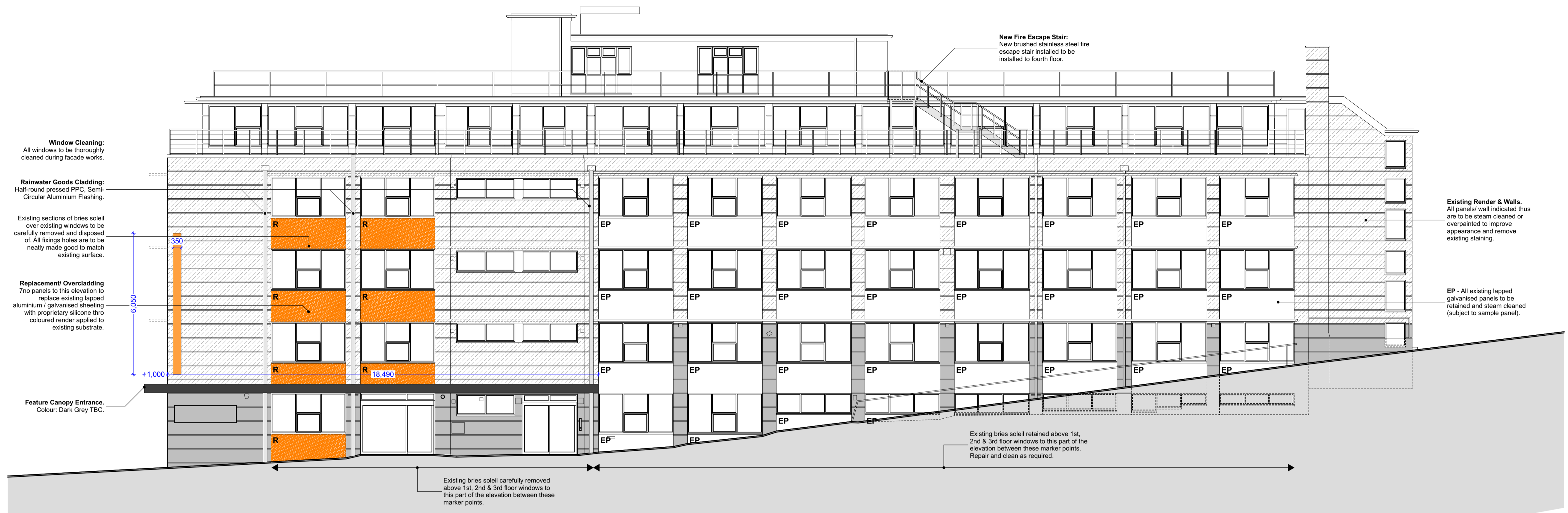


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Source File: P183-B-25 210930 Working.pln

Rev	Date	Drawn	Note
P02	01/09/20	JSJ	Fire Stair added.
T01	17/03/21	JSJ	Signage area halved. Removal of Signage for planning clarity. Re-Addition of Signage for Advertising consent. Addition of cladding information into notes.
T02	10/05/21	JSJ	Cladding fire barrier system shown vertically and at head and base of cladding in line with recent CDF fire guidance.
C01	02/07/21	JSJ	Updated to 'Construction Issue'.
C02	10/02/22	DMB	External works design amended.
C03	28/04/22	DMB	Amendments to elevations



Proposed North Elevation
Scale: 1:100

Note:
External cladding refurbishment to proposed areas of replacement render to existing panels above and between windows.
North Elevation area = 692m²
25% = 173m²
Proposed works area = 26.5m²

Elevation Legend

- R** Replacement/ Overcladding
Replace lapped aluminium / galvanised sheeting with StoRend Cote Flex, coloured render system (stippled K finish) in strict accordance with Sto instructions.
Colour Grey 37108
- R** Replacement/ Overcladding
Replace lapped aluminium / galvanised sheeting with StoRend Cote Flex, coloured render system (stippled K finish) in strict accordance with Sto instructions.
Colour Orange 32101
- Existing Building & Render.**
All areas indicated thus to be fully cleaned using steam cleaning techniques such as DOFF (low pressure), subject to sample area being undertaken.
- Existing Building & Render - Low Level**
All areas indicated thus to be repainted with Dulux Weathershield following, to low levels areas following good surface preparation
OONN 31/000 - Grey
- EP** Existing Cladding.
Existing lapped aluminium cladding to be fully steam cleaned and repaired as necessary.
- Projecting Feature Signage.**
Colour: Bright Orange TBC.
- Feature Canopy Entrance.**
Colour: Dark Grey RAL 7016.
- Rainwater Goods Cladding**
Pressed PPC, Semi-Circular Aluminium Flashing, RAL 7016.

Notes:
Windows to be reviewed and refurbished subject to findings and fully cleaned externally at same time as render cleaning works.
Any sundry items fixed to elevations to be removed to generally leave a clean and tidy appearance.

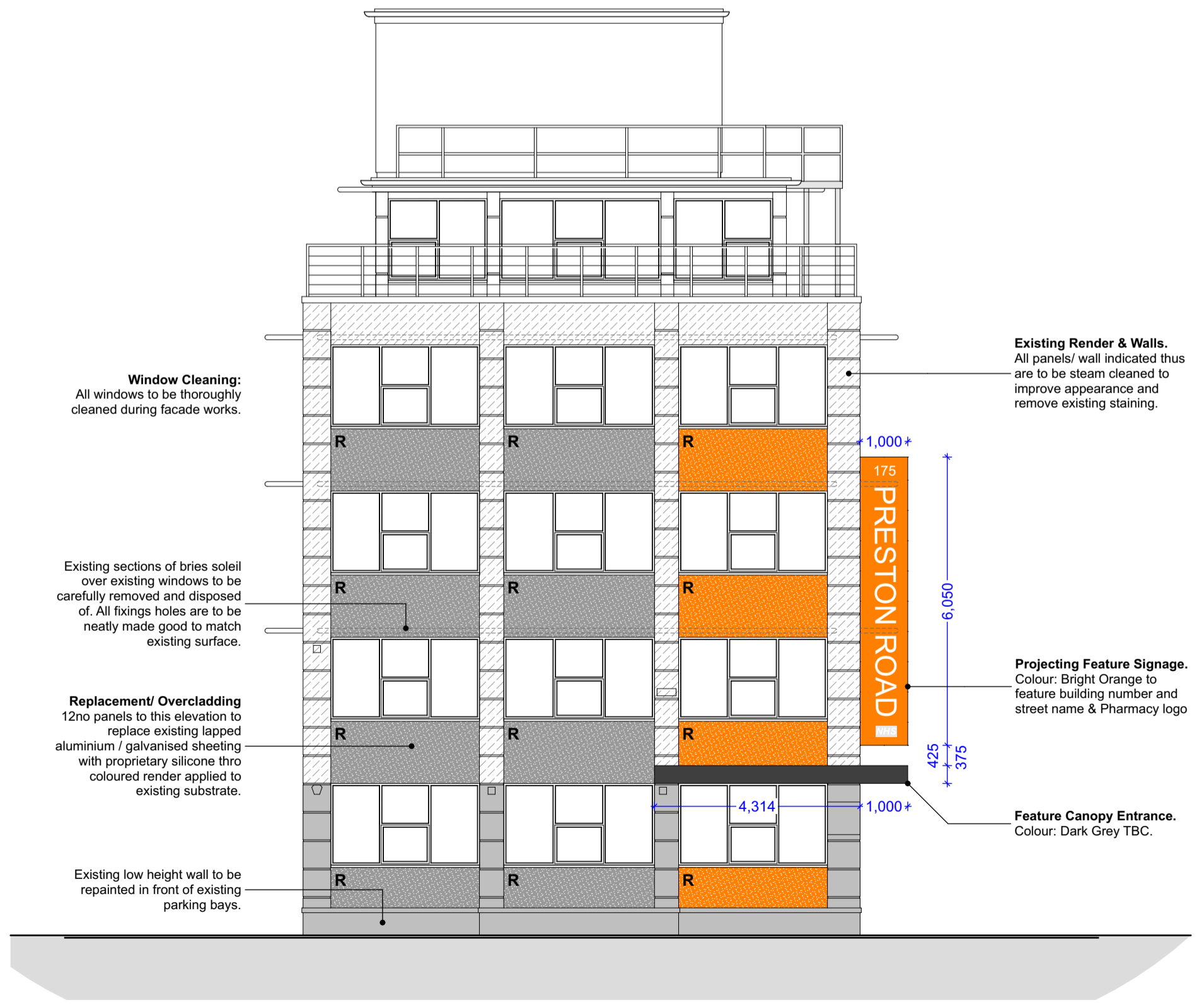
Proposed Paint Colour for existing render at base of building.
Dulux Weathershield

Colour 37108
RGB: 174, 176, 172
L*, a*, b*: 71.59801619, -0.875087241, 0.866877182
Luminosity: 43.00
Class: 01

Proposed Render Colour
Light Grey
Sto Rend

Colour 32101
RGB: 240, 161, 79
L*, a*, b*: 72.49528344, 22.23294825, 52.69475726
Luminosity: 44.00
Class: 03

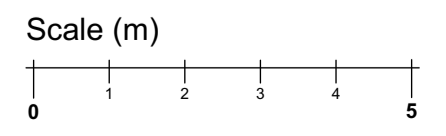
Proposed Feature Render Colour
Orange
Sto Rend



Proposed East Elevation
Scale: 1:100

Note:
External cladding refurbishment to proposed areas of replacement render to existing panels above and between windows.
East Elevation area = 205m²
25% = 51.25m²
Proposed works area = 43.7m²

Note:
All external Signage TBC and subject to advertising consent. Sizes indicative from planning officer comments.



Client: Primary Healthcare Properties

Project Title: Refurbishment of 175 Preston Road Brighton

Drawing Title: Elevations

Drawing Status: Construction

Scale(s)	Original Paper Size
1:100	A1

Drawn By: JSJ
Checked By (if the copy only):
Date: 14.08.20

Project Reference: P183-BRP-00-XX-DR-A-4000-C03