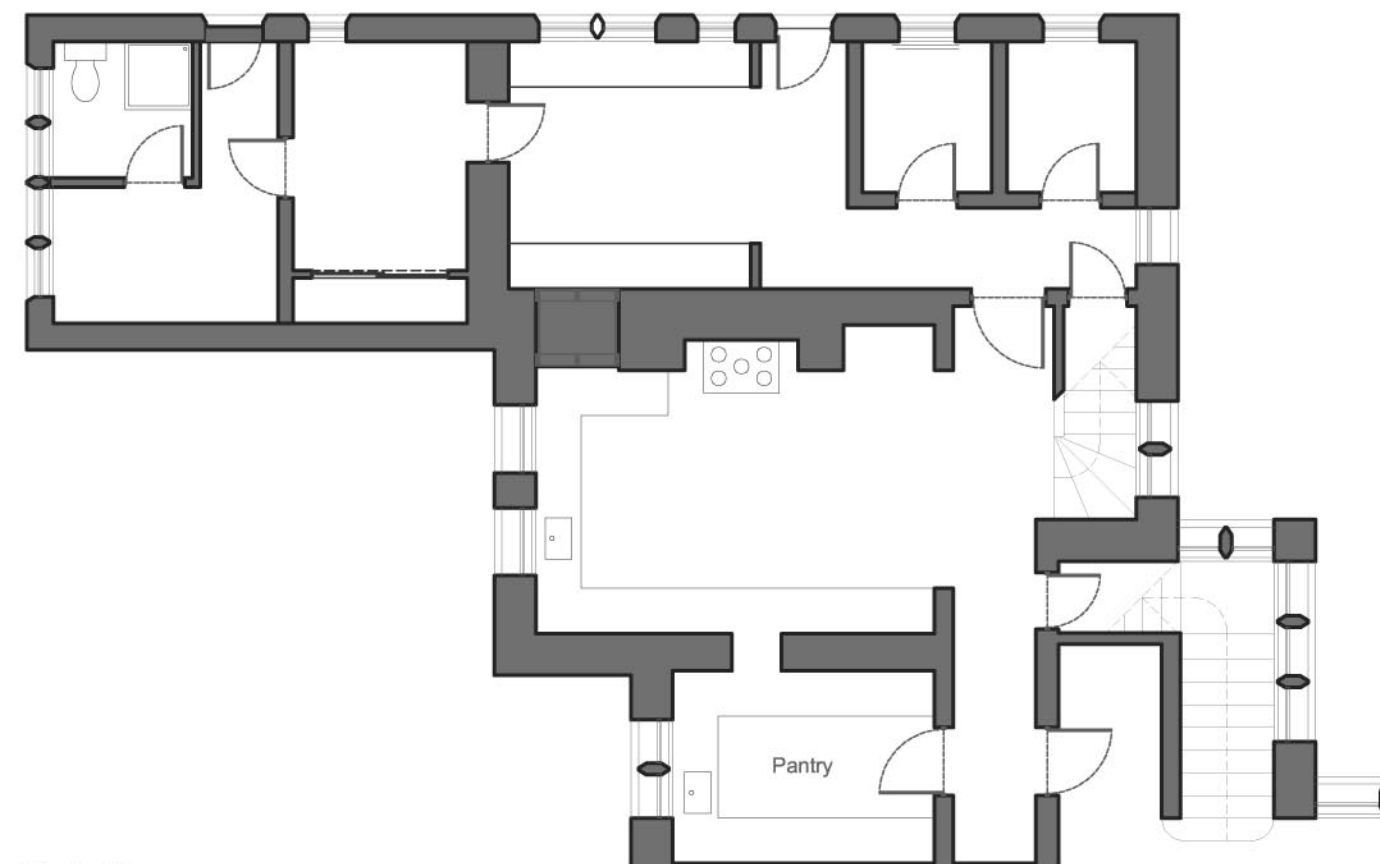
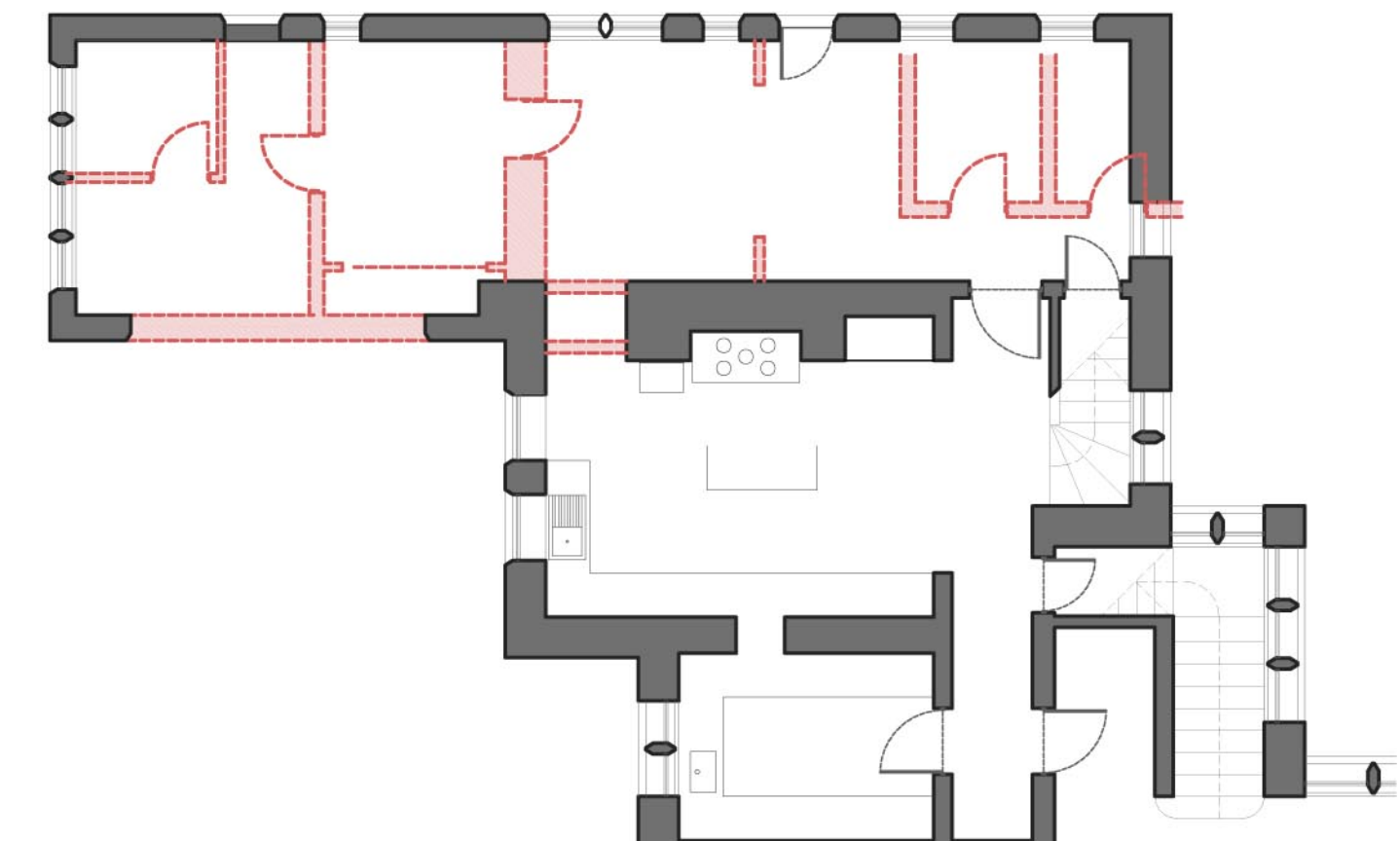


Existing



Existing Ground floor - 1:100



Downtakings Ground floor - 1:100



**Existing Building**

No glazing on proposed elevation.  
Section of building under discussion sits to the rear, north-east corner of the house.  
Given the topography of the site and the scale of the existing house adjacent to this, these works will have no impact on the Listed building.



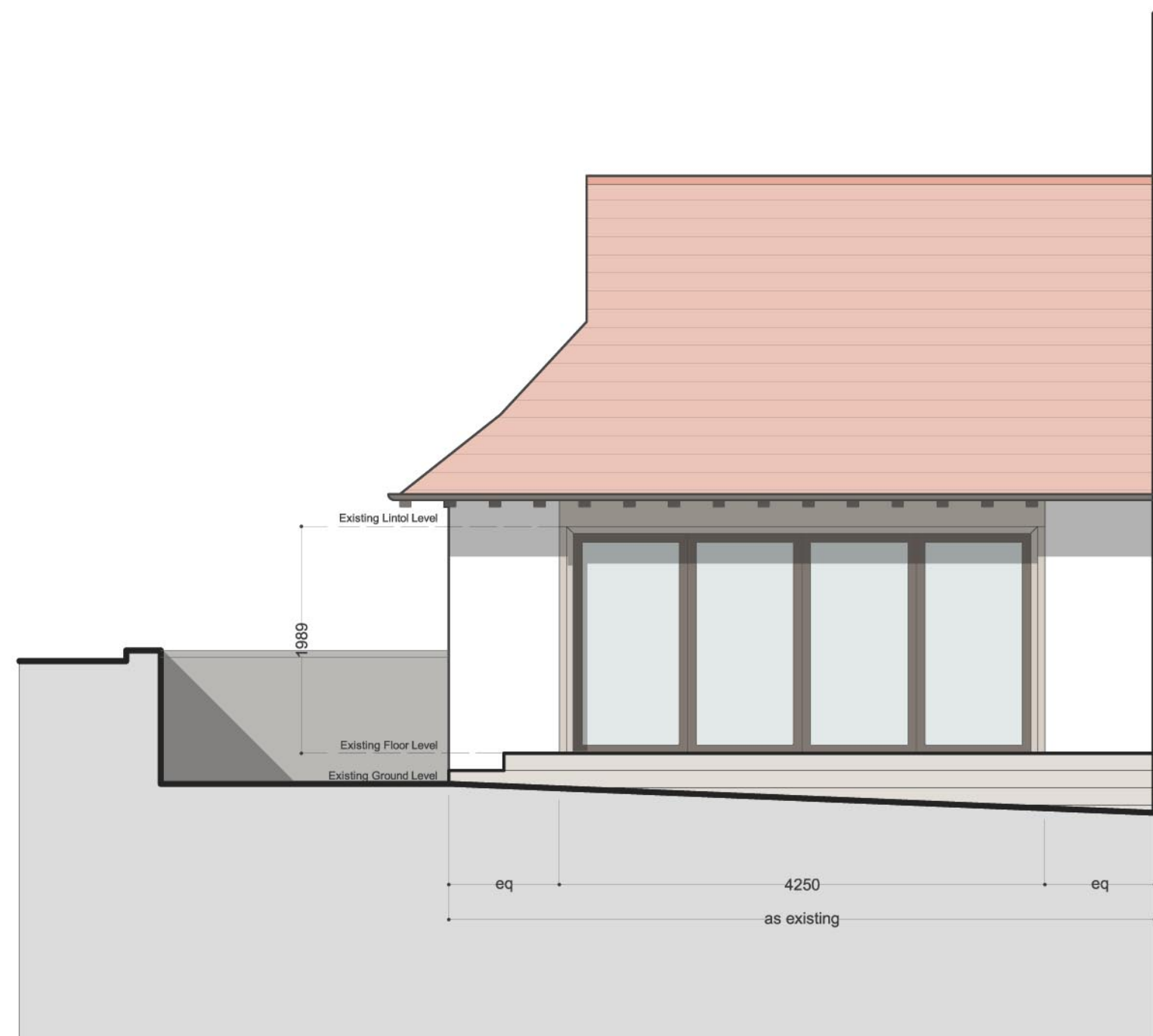
**Existing Glazing**

The existing house is a mixture of glazing styles and forms. The over arching form is for vertical glazing forms, on the main elevations. However, on secondary elements the glazing takes on more horizontal emphasis where windows are grouped together. The areas of half-timber boarding have a strong horizontal emphasis.  
To the back of the house, where these alterations are proposed, windows are grouped together with stone lintols and jambs, that create "blocks" in the harled walls.  
These proposals offer an aesthetic that matches these existing conditions - the four glazing elements are grouped together within stone lintol and jambs.



**Existing Door**

Existing to be fixed in place as external feature, to allow wall space internally.



Proposed Part Elevation - 1:50

**Roof -**  
No works proposed to roof

**Lintol and jambs -**  
New lintol and jambs to match existing house.  
Sandstone with chamfers to match existing profile.

**New Bi-fold screen -**  
Timber, colour to match existing windows in house - "brown".

**Existing wall finish -**  
No change to existing external finish.

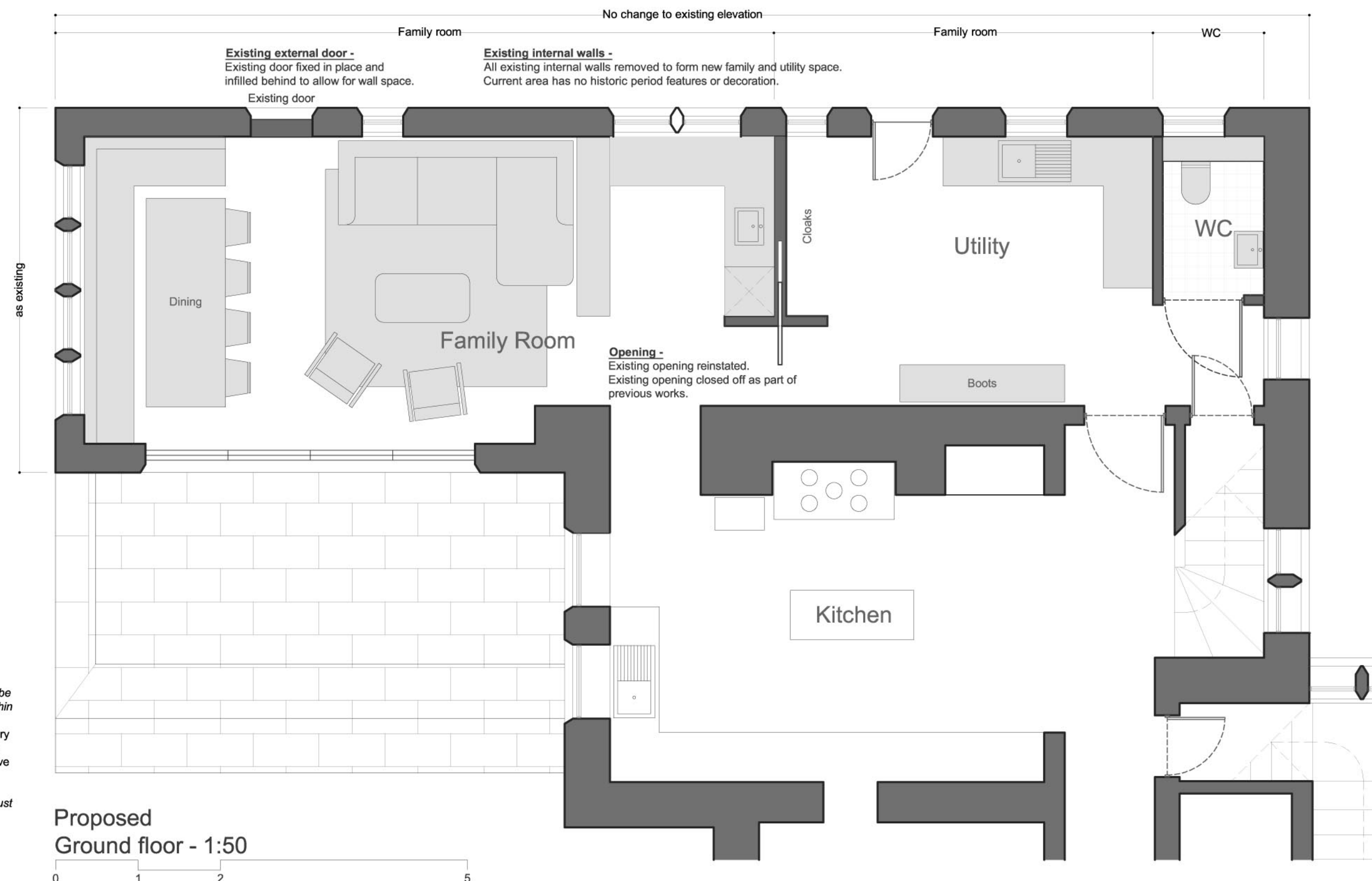
**New Glazed Screen**

**Works to South Elevation -**  
New glazed screen

**Policy -**  
SG: Historic Environment Windows and Doors May 2019

**5. Other Alterations**  
5.1 **Openings** Alterations to existing openings will not normally be considered on main elevations of Listed Buildings or buildings within conservation areas.  
The proposed new opening is to the rear of the building, on a secondary element. This particular area is not visible from any public vantage point. There will be no impact on the on the Listed Building or any negative impact to the Conservation Area.

5.3 Any proposed new openings and associated windows or doors must relate closely to the existing fenestration and detailing of the building. The existing lintol and jamb detailing will be replicated. The colour will match the existing glazing - brown.



Proposed Ground floor - 1:50

**Listing Information**

"Uplands" Abercromby Drive, Bridge of Allan FK9 4EA  
"Uplands" is a large detached villa to the north east of Bridge of Allan

William Leiper 1907. English traditional manner. Large detached mansion house. 2-storey and attic sneaked rubble part harled, part half-timber; mullioned windows with transoms at ground floor. Entrance front on E; gabled porch set in finely sculptured architrave, small round arched bipartite fanlight over, half-finished gable, 4 round-arched lights on flank; SE corner bay 2-storey, upper half timber with balcony roof and oriel feature; S front has centre cantilevered bay section through all floors, top stage corbelled out with 2-light windows, broad-eaved conical roof with balustrade. Section to right half-timber, 1st floor and attic with broad-eaved twin gables, each with oriel, glazed lean-to porch addition to left; W front has S cantilevered bay, timber at

1st floor and above, cantilevered to square and gabled at attic, drop pendants at angles; NW gabled projection with half-timber gable, roof swept down into that of gambrelled single-storey and attic back wing.

**Statement of Special Interest**  
Fashionable early-late Victorian watering place based on the mineral waters at Ardrey. Became a Police Burgh 1870.  
Built for Pullar family. Became domestic science school during 2nd World War. Now again, privately owned.

**Conservation Method statement - Works to Listed Building**

- New Walls and Openings**
1. Prior to commencement of works a full photographic survey of the areas of wall affected by the construction works will be carried out and hard and digital copies held on record.
  2. Any new slappings will be formed by careful downtakings of the stone work. No "Stihl" saw cutting to be carried out. All large stones will be laid aside to be cut and dressed to finish exposed edges to new opening.
  3. All ferrous materials to be carefully removed from stonework.
  4. Existing natural stone lintels to be maintained in any new openings.
  5. Walls will be rebuilt and made good using stone from downtakings. Use pinning stones to make larger stones secure.
  6. New walls will be constructed using mortar mix of 2:5 hydraulic lime to sand.
  7. Any new walls which will become internal to be re-pointed. Rake out joints to a depth of at least 30mm. Deeper holes to be filled by tamping with mortar in 10-mm thickness. All raked out joints to be treated with a herbicide to prevent any regrowth of vegetation. All re-pointing to left 3-mm back from stone face. Once mortar has set brush down with a bristle brush to expose the aggregate.

Refer to Historic Scotland publication re-pointing rubble stonework and chapter on mortar pointing in care & conservation of Georgian houses.

Issued for Planning & Listed Building Consent applications  
Rev Amendments Date



t: 01786 230 348  
e: info@bobbyhalliday.co.uk

**Project:** 21.10  
Proposed Alterations and New Screen  
"Uplands" - 15 Abercromby Drive  
Bridge of Allan  
FK9 4EA

**Client:**  
Spence

**Drawing No:**  
22.10 PL 001 Rev-

**Status:**  
Planning

**Drawing Title:**  
Planning General Arrangement

Drawn by: GWM  
Scale: as noted @ A1  
Paper Size: A1

**ONLY SCALE FOR PLANNING PURPOSES. DO NOT SCALE FOR CONSTRUCTION PURPOSES.**  
Contractor and all suppliers to verify all dimensions on site prior to commencing work of construction materials.  
Any discrepancies to be reported to Bobby Halliday Architects.  
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