



PLANNING & LISTED BUILDING APPLICATION  
**DESIGN AND ACCESS STATEMENT**

FLAT H 18-20 EATON SQUARE, LONDON, SW1W 9DD

21st JUNE 2022

**Planning Consultant:** **JJA Planning LLP**  
43 Bonnington Square  
London  
SW8 1TF  
Contact: Joanna Jones

**Architect:** **TFF Architects Ltd**  
Quadrant House  
250 Kennington Lane  
London  
SE11 5RD  
Contact: David Field

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## 1.0 BACKGROUND & INTRODUCTION

Flat H 18-20 Eaton Square is a third floor apartment and is situated in the Belgravia Conservation Area and within a listed grade II\* grand terrace of houses (List Entry Number 1066852). The property is situated opposite Eaton Square Gardens and in-between Upper Belgrave Street to the north-east and Belgrave Place to the south-west.

The residential garden square of Eaton Square itself was built by the landowning Grosvenor family during the time they developed the main part of Belgravia in the 19th Century. The initial part of the development in 1827 was laid out and largely designed by Thomas Cubitt. The terrace of townhouses were included in the Statutory List of Historic Buildings in February 1958 and listed for the integral part they play in the planned layout of Eaton Square.

The terrace of houses underwent significant alteration during the post-war period which included the sub-division of the original townhouse terraces into a number of residential apartments. Flat H is one of these lateral conversions (Photo 1, 2 & 3) and spans across both no.19 and 20 Eaton Square (with access via no.18 Eaton Square). The works in 1949 included openings through party walls, installation of a lift and communal stairs and removal of original stairs from properties no.19 and no.20 as a result of the conversion works. This is shown on the previous plan (Figure 01) which was produced in 1949. The internal features of Flat H were therefore fully modernised as part of these significant alterations prior to the property's listing in 1958.



Photo 1: Existing photo of Flat H 18-20 Eaton Square (Hallway).

Photo 2: Existing photo of Flat H 18-20 Eaton Square (Kitchen).

Photo 3: Existing photo of Flat H 18-20 Eaton Square (Dining Room).

Looking at the current Existing Floor Plan (Figure 02) there are many areas which are not in the original form, although it can also be observed that there are still some other areas likely from the original form. From 1949 and perhaps even earlier internal walls have gone through various removals and new layout alterations in different locations. The internal layout to Flat H has also been updated in the recent past with new ceilings, walls and floor finishes (see photos 1-3 above). Ceilings and walls are lined with modern plasterboard with modern cornices, skirtings, architraves and doors. It appears that only the existing brickwork and potentially some isolated areas of studwork are original but there is no visible historic fabric which exists.

As a result of the sub-division of the whole building into flats and later alterations, the apartment is devoid of any visible original features of architectural or historic interest.

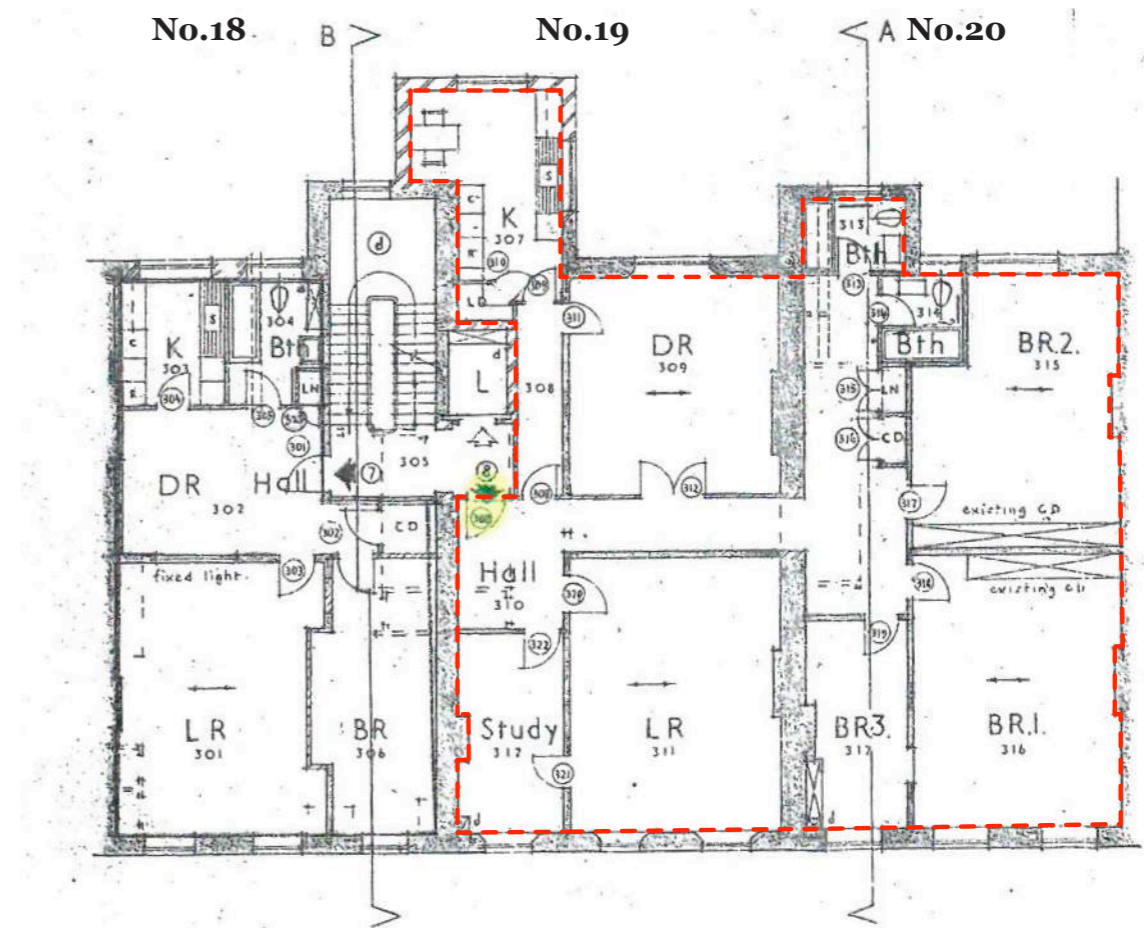


Figure 01: 1949 Floor Plan showing proposed layout alterations as part of the lateral conversion and sub-division of the original townhouses into apartments of third floor 18-20 Eaton Square. Flat H shown in dashed red outline.

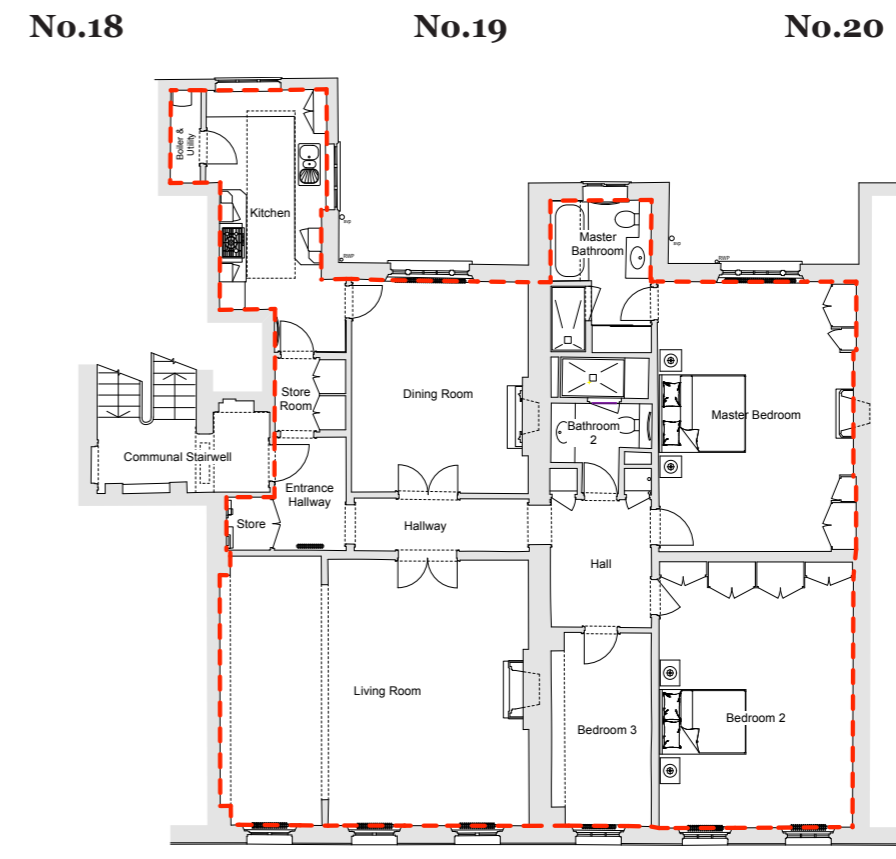


Figure 02: Existing Floor Plan of third floor Flat H 18-20 Eaton Square. Flat H shown in dashed red outline.

The current owners of the property are seeking planning permission and listed building consent to replace six non-traditional modern casement and PVC windows with traditional hardwood sash windows, carry out some internal refurbishment and updating works along with some minor alterations and minor fit out of the property.

TFF Architects have prepared this listed building and planning application submission to set out the proposed alterations. They mainly involve minor changes to modern fabric and layouts which will be sympathetic to the property and deliver an overall enhancement to the property's design quality and contribution to the Conservation Area.

The following pages provide descriptions of the key proposals. This document is to be read in conjunction with TFF Architect's set of drawings.

JJA Planning consultants have provided a supporting cover letter, planning and heritage statement. This gives background information and assesses the impact of the proposed changes on the listed building.

## **2.0 OVERVIEW OF PROPOSED ALTERATIONS**

An overview of the proposals is provided below:

Proposed External Restoration Works:

- Replacement of two modern PVC double glazed casement windows on rear elevation with traditional hardwood sash windows with slimline double glazing with shallow frame profiles.
- Replacement of one modern casement window on rear elevation with a traditional hardwood sash window with slimline double glazing.
- Replacement of three modern two panel casement windows to front elevation with traditional hardwood sash windows with single glazing.

Proposed Internal Alterations:

- Entrance Hallway partition alterations.
- Dining Room partition alterations.
- Bathroom partition alterations.
- Master Bedroom alterations.
- New bathroom fit outs.
- Replacement of modern kitchen joinery.
- Replacement of modern wardrobes.
- Removal of modern replica fire surrounds.
- Profiled metal framed glass screen to Entrance Hallway.

General:

- Replacement of modern floor finishes.
- Replacement internal doors, architraves, skirtings and cornices to replace existing modern.
- Updating electrical and mechanical services.
- Updating lighting control and lighting design.

### 3.0 PROPOSED EXTERNAL RESTORATION WORKS

#### 3.1 REPLACEMENT OF MODERN PVC DOUBLE GLAZED CASEMENT WINDOWS ON REAR ELEVATION

The rear elevation has two modern PVC double glazed casement windows, one on the Kitchen side elevation (Figure 03 & 04) and one in the Master Bathroom (Figure 05 & 06). There is also an additional modern casement window to the Kitchen on the rear elevation (Figure 07 & 08).



Figure 03: Existing Kitchen side elevation PVC double glazed casement window.



Figure 04: Existing Kitchen side elevation PVC double glazed casement window.



Figure 05: Existing Master Bathroom PVC double glazed casement window.



Figure 06: Existing Master Bathroom PVC double glazed casement window.



Figure 07: Existing Kitchen rear casement window.



Figure 08: Existing Kitchen rear casement window.

These three windows have a negative impact on the property and surrounding area. The proposal is to replace these three windows with traditional hardwood joinery sash windows with slimline double glazing, traditional sash weights and in matching paint finish (Figure 10). This will provide an improvement to the appearance of the rear elevation and make it more integral to Eaton Square.

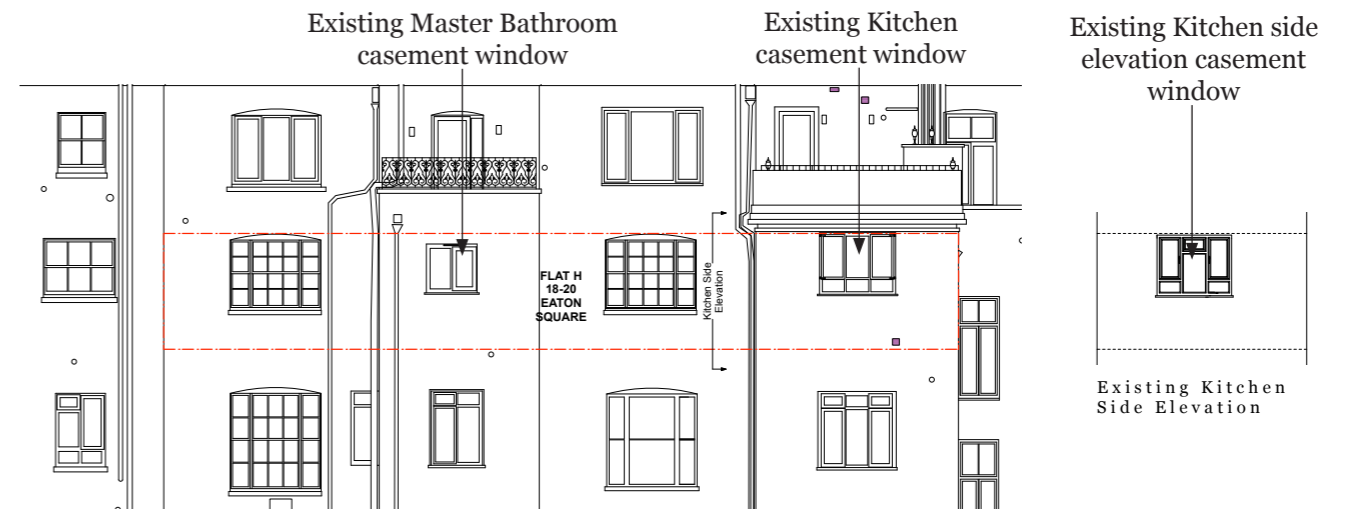


Figure 09: Existing Rear Elevation.

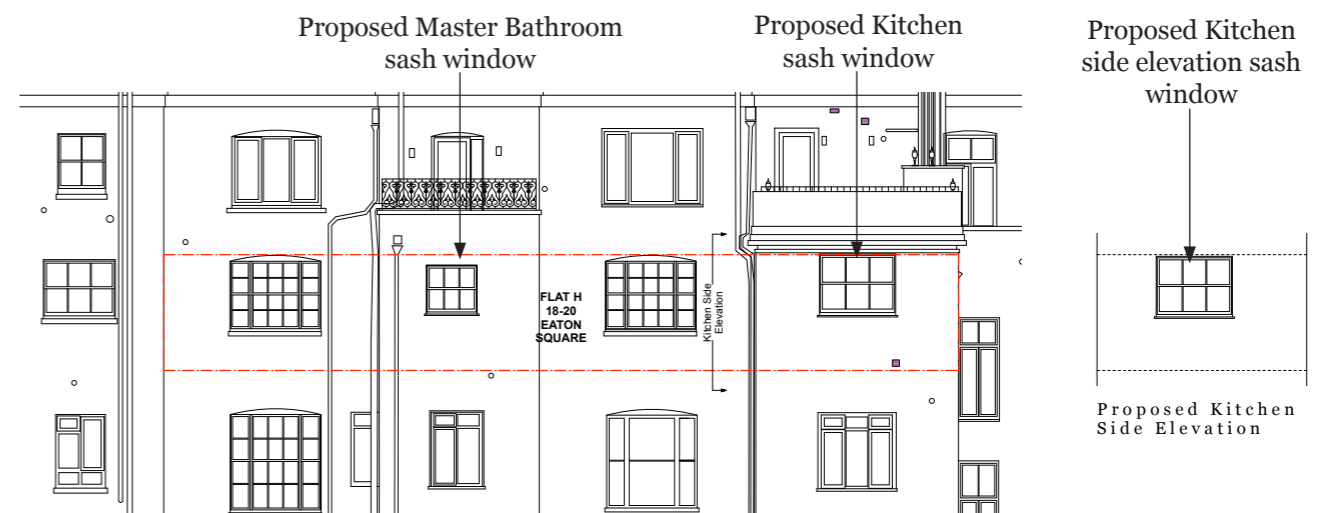


Figure 10: Proposed Rear Elevation.

### 3.2 REPLACEMENT OF MODERN TWO PANEL CASEMENT WINDOWS TO FRONT ELEVATION

The front elevation of Flat H 18-20 Eaton Square has three modern two-panel casement windows (Figure 11, 13, 14 & 16) and three traditional hardwood sash windows (Figure 12, 13, 15 & 16). The three casement windows are not consistent with adjacent third floor windows on Eaton Square.



Figure 11: Existing modern panel casement window.



Figure 12: Existing traditional hardwood sash windows.



Figure 13: Existing front facade with Flat H 18-20 Eaton Square at third floor highlighted in red.



Figure 14: Looking to the left of Flat H front elevation to neighbouring properties. The casement windows to Flat H are highlighted in red.



Figure 15: Looking to the right of Flat H front elevation to neighbouring properties. The sash windows to Flat H are highlighted in red.

The proposal is to replace the modern two panel casement windows with traditional single glazed hardwood sash windows (Figure 17) with traditional sash weights and in matching paint finish. These windows will have a glazing bar pattern to match adjacent windows on the third floor of Eaton Square. The front elevation will therefore become more integral with the look of adjacent properties at third floor level and Eaton Square as a whole.

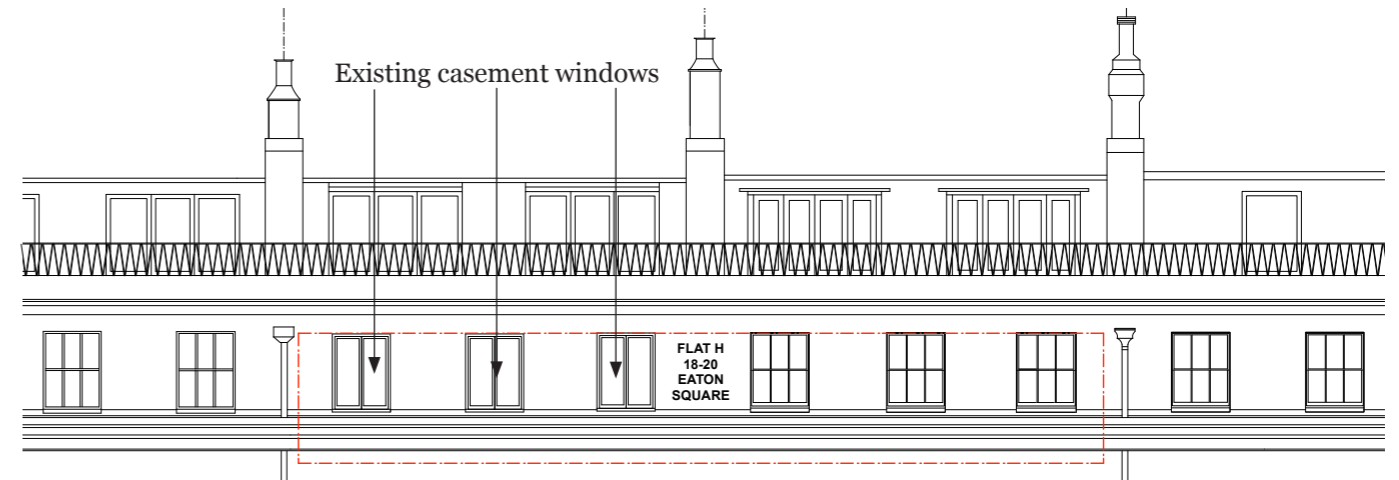


Figure 16: Existing Front Elevation.



Figure 17: Proposed Front Elevation.

## 4.0 ALTERATIONS TO INTERNAL PARTITIONS

### 4.1 BACKGROUND SUMMARY

The 1949 Floor Plan below (Figure 18) shows the early lateral conversion of Flat H and the internal layout at the time. By comparing this to the Existing Floor Plan (Figure 19) it is clear to see that the internal layout we see today differs in many areas of the apartment.

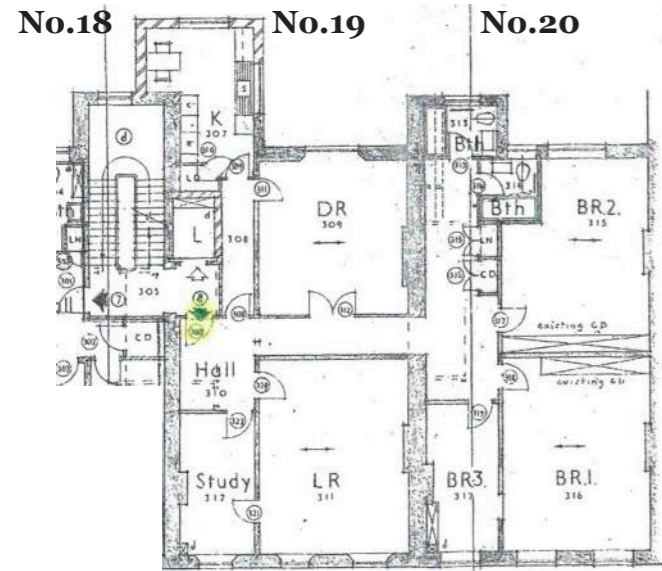


Figure 18: 1949 Floor Plan of third floor Flat H.

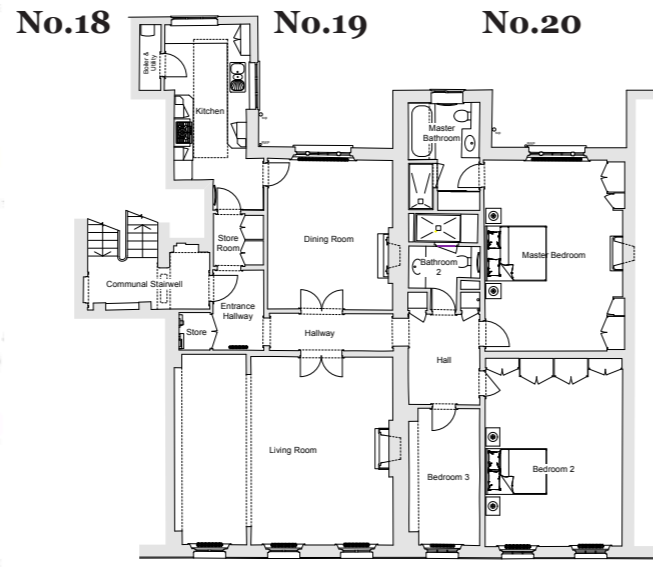


Figure 19: Existing Floor Plan

By overlaying the 1949 plan onto the Existing Floor Plan (Figure 20) we can see there are numerous locations where partitions for the 1949 works have since been removed meaning the existing layout has had more modern alterations on top of previous alterations. By analysing these plans further we can establish (as shown on Figure 21) where the more recent internal layout changes and new partition installations have occurred. The areas highlighted in blue show the numerous modern partition and layout alterations which are predominantly concentrated around the existing Dining Room, Hallway and Bathroom areas. The proposed alterations to the internal layout are described in each area in the next section.

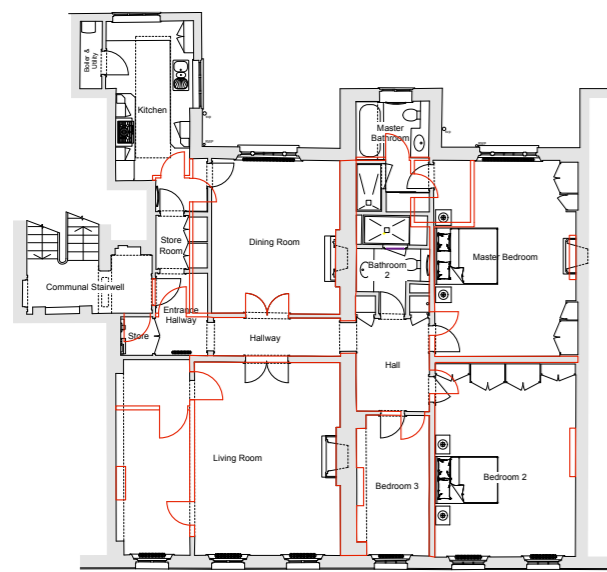


Figure 20: Existing Floor Plan with the 1949 Floor Plan overlaid in red.

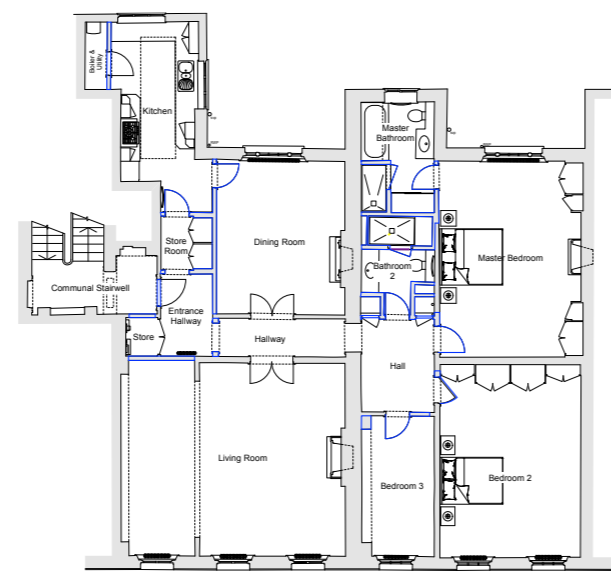


Figure 21: Existing Floor Plan with modern, post 1949 partitions shown in blue.

### 4.2 ENTRANCE HALLWAY PARTITION ALTERATIONS

There are existing modern studwork nib walls between the existing Entrance Hallway and Hallway (Figure 22 & 24). These are non-original and modern as they do not appear on the 1949 plan (Figure 23). The proposal is to remove these nibs to reference the older layout and create better access (Figure 25). Note that the size of the existing opening in the central party wall between no.s 19 and 20 is retained as to not deviate from the size of the opening made in 1949.



Figure 22: Existing Photo of nib walls between Entrance Hallway and Hallway.



Figure 23: Extract of 1949 Floor Plan.

No nib walls in this location.  
Wall between Hall and Study.

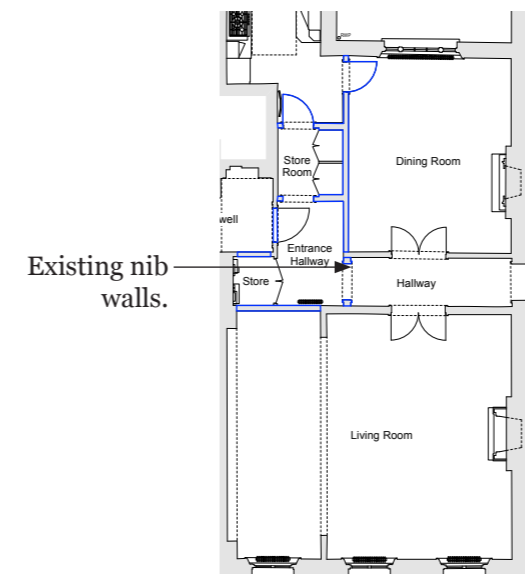


Figure 24: Existing Floor Plan with modern, post 1949 partitions shown in blue.

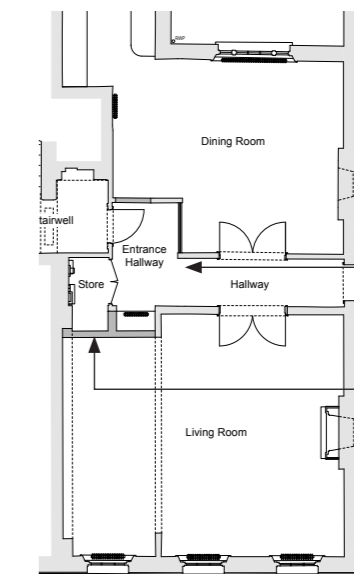


Figure 25: Extract of Proposed Floor Plan.

Existing nib walls.  
Modern nib walls removed.  
Proposed wall set back to reference 1949 layout.

The 1949 Floor Plan also shows a wall between the old Hall and Study which is in a further set back location than we see today (Figure 24). The proposal is to set this wall back again to create space for cloaks and a larger Store space whilst also referencing the previous older layout (Figure 25).

### 4.3 DINING ROOM PARTITION ALTERATIONS

There are existing modern studwork partitions between the Dining Room and Kitchen which also form the walls to the modern Store Room (Figure 26 & 27). None of these walls nor their locations can be traced back to the previous layout of the apartment (Figure 29).

The proposed layout (Figure 30) removes the Store Room and some modern partitions in order to create a larger Dining Room space which is linked to the Kitchen, creating a more open layout better suited to modern day living.



Figure 26: View into modern Store Room from Entrance Hallway.



Figure 27: Modern Store Room.



Figure 28: Existing Dining Room.

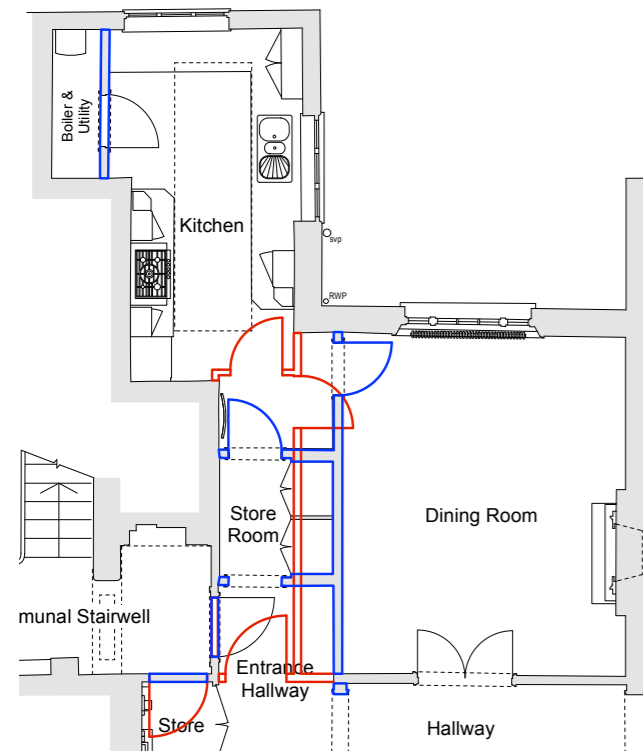


Figure 29: Existing Floor Plan extract with the 1949 Floor Plan overlaid in red and with modern, post 1949 partitions shown in blue.

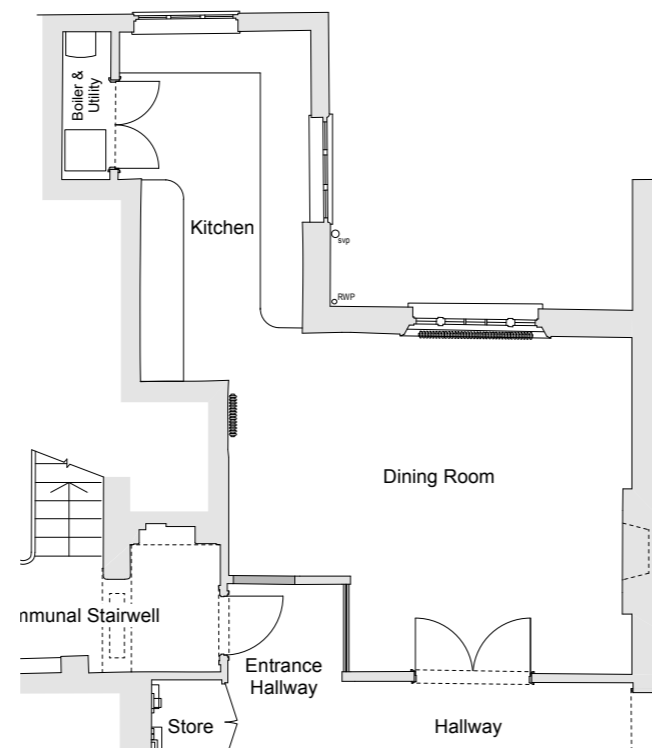


Figure 30: Proposed Floor Plan extract.

### 4.4 BATHROOM PARTITION ALTERATIONS

The partition walls and layout of the bathrooms have changed much over the course of the property's life as shown on the plan extracts below. The modern studwork walls are to be carefully removed and two bathrooms will be re-fitted with an additional third bathroom installed. The assumed original location of the wall aligning the Master Bedroom (as annotated on Figure 33) is to be retained in the new layout. Bathrooms will have improved layouts compared to the existing (Figure 32) and they will allow for greater accessibility whilst also working with existing service routes (the existing central drainage and plumbing service riser photographed on Figures 34 & 35 is maintained next to Bathroom 2 and access will be provided to this).



Figure 31: Extract of 1949 Floor Plan.

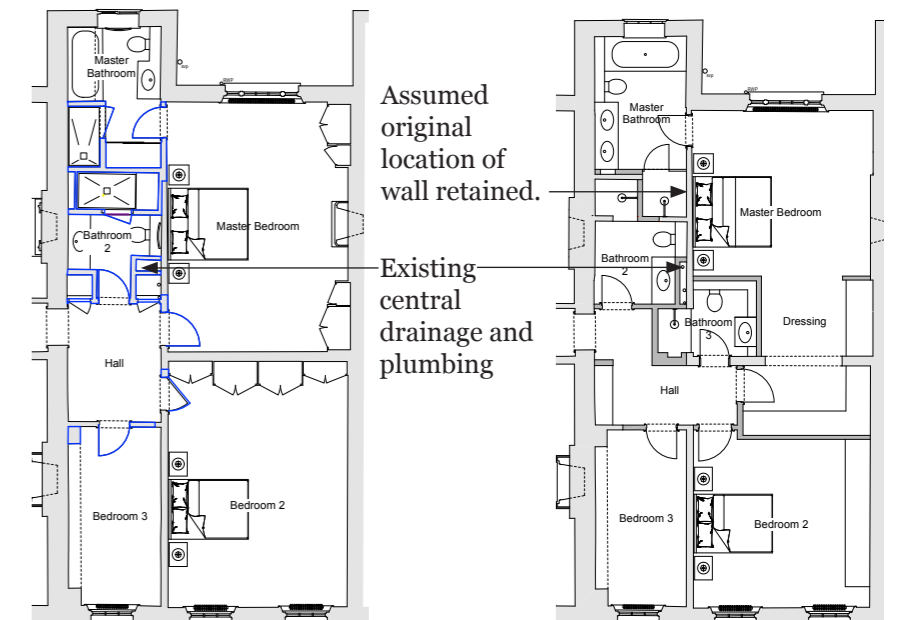


Figure 32: Existing Floor Plan with modern, post 1949 partitions shown in blue.

Figure 33: Extract of Proposed Floor Plan.



Figure 34: Existing drainage and plumbing within cupboard next to Bathroom 2.



Figure 35: Existing drainage and plumbing within cupboard next to Bathroom 2.



#### 4.5 MASTER BEDROOM ALTERATIONS

The existing Master Bedroom layout is slightly different from the previous 1949 layout as shown on plan extracts below. To facilitate the overall proposed layout of the apartment an opening is proposed in the existing wall of the Master Bedroom (Figure 38 & 39). A downstand beam will be retained as to keep reference to the existing layout.

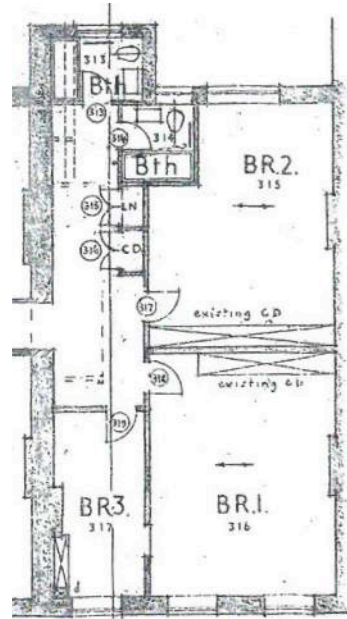


Figure 36: Extract of 1949 Floor Plan.

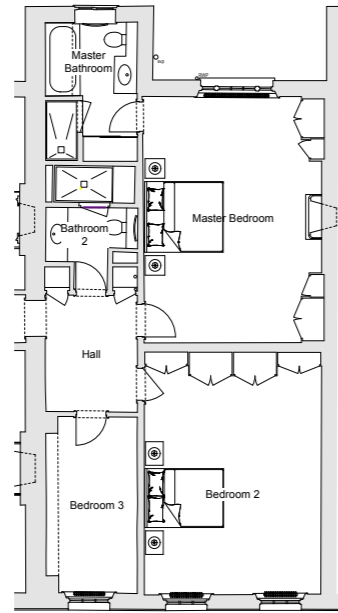


Figure 37: Extract of Existing Floor Plan.

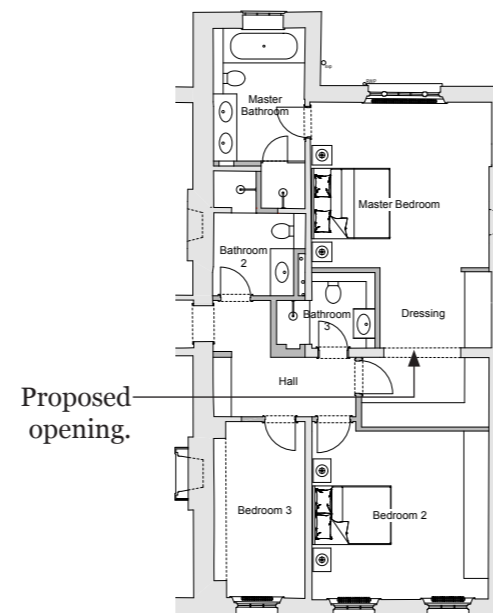


Figure 38: Extract of Proposed Floor Plan.

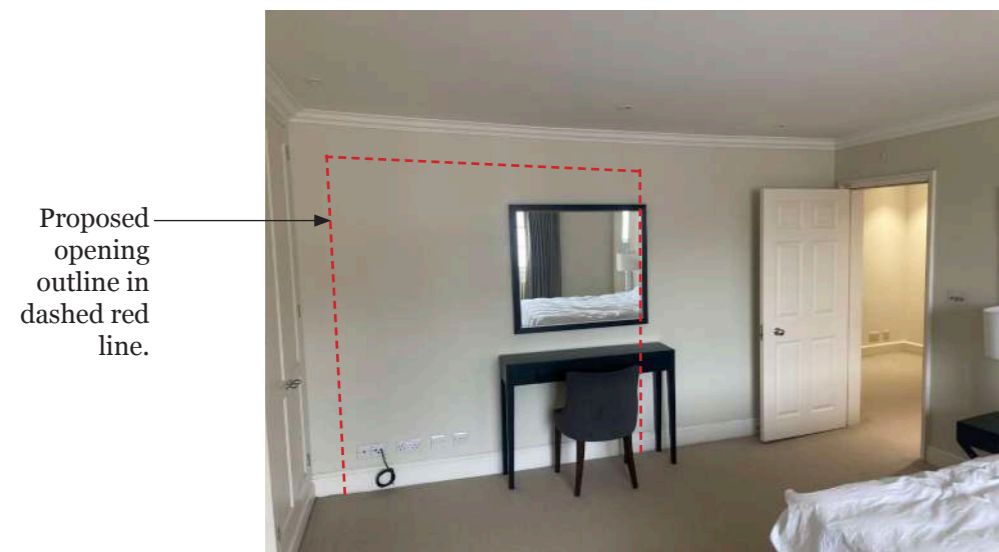


Figure 39: Photo of existing wall where opening is proposed .

## 5.0 OTHER PROPOSED ALTERATIONS

### 5.1 NEW BATHROOM FIT OUTS

The existing bathrooms are modern fit-outs with modern finishes and existing layouts are poorly designed. The proposed fit out will use materials sympathetic to a property of this quality with stone floors to replace modern tiled floors and a higher quality finish than existing.



Figure 40: Existing modern fit-out & finishes in Master Bathroom.

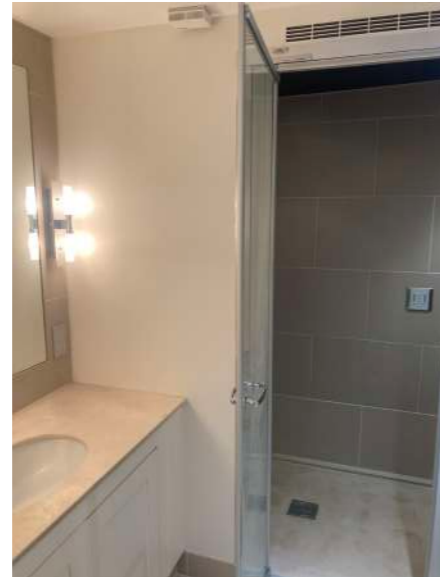


Figure 41: Existing modern fit-out & finishes in Bathroom 2.



Figure 42: Existing modern fit-out & finishes in Bathroom 2.

### 5.2 REPLACEMENT OF MODERN KITCHEN JOINERY

The existing modern kitchen joinery is to be removed with proposed joinery installed with a consistent layout. The unsightly dropped ceiling (Figure 43) will also be removed.



Figure 43: Existing modern Kitchen.



Figure 44: Existing modern Kitchen.

### 5.3 REMOVAL OF MODERN WARDROBES

The existing modern wardrobes in the Master Bedroom (Figure 45) and Bedroom 2 (Figure 46) are to be carefully stripped out. New traditional joinery wardrobes are proposed in areas as shown on the proposed plans and will be of a higher quality finish than existing.



Figure 45: Modern wardrobes in Master Bedroom.



Figure 46: Modern wardrobes in Bedroom 2.

### 5.4 PROFILED METAL FRAMED GLASS SCREEN TO ENTRANCE HALLWAY

It is proposed to install a profiled metal framed glass screen in the Entrance Hallway (location as per Figure 47). This is within the modern partition wall which has modern finishes and will bring light into an otherwise artificially lit Entrance Hallway.

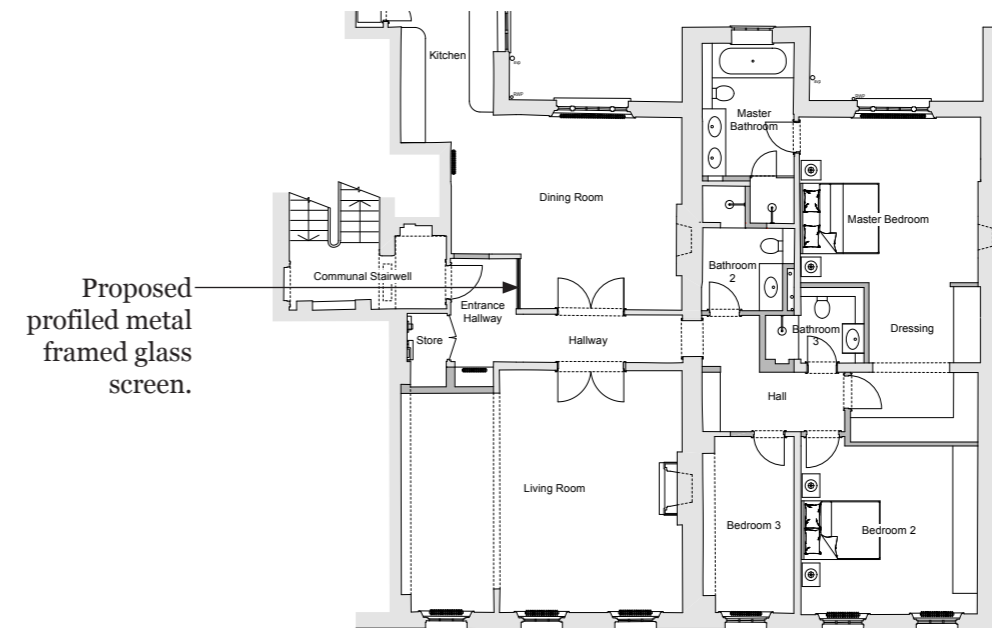


Figure 47: Extract of Proposed Floor Plan.

## 5.5 REMOVAL OF MODERN REPLICA FIRE SURROUNDS

There are existing modern replica fire surrounds & hearths in the Living Room, Dining Room and Master Bedroom as per photos below. Those in the Living and Dining Rooms are currently blocked up at top of chamber (Figure 49 & 52). The proposal is to remove all existing fire surrounds and hearths in the three locations. In the Dining Room and Master Bedroom the wall opening will be blocked off by stud walling with the chamber opening behind retained. For the Living Room there will be a replacement fire surround and hearth. Note that the bricked chimney breasts remain as existing.



Figure 48: Existing Living Room fire surround.



Figure 49: Existing Living Room top of chamber blocked up.



Figure 50: Existing Master Bed fire surround.



Figure 51: Existing Dining Room fire surround.



Figure 52: Existing Dining Room top of chamber blocked up.

## 6 GENERAL FIT OUT PROPOSALS

### 6.1 REPLACEMENT OF MODERN FLOOR FINISHES

The existing modern floor finishes in the flat are to be replaced throughout. Engineered timber flooring is proposed in place of modern carpet in the Dining, Living Room and Bedrooms and also in place of the existing modern tiles to the Kitchen. Stone flooring is proposed in place of carpet in the Hallway and in place of modern tiles in Bathrooms. The works will not involve the loss of any existing floorboards or floor joists unless found to be severely decayed or in a state of disrepair.

### 6.2 PROPOSED INTERNAL DOORS, ARCHITRAVES, SKIRTINGS AND CORNICES TO REPLACE EXISTING MODERN ITEMS

The existing modern doors, modern architraves, modern skirtings and modern cornices are to be replaced with new in a traditional style. The cornices and skirtings will have mouldings of a suitable scale and hierarchy as expected for the third floor of this property.



Figure 53: Existing modern door leaf design.



Figure 54: Existing modern skirting & architrave design.

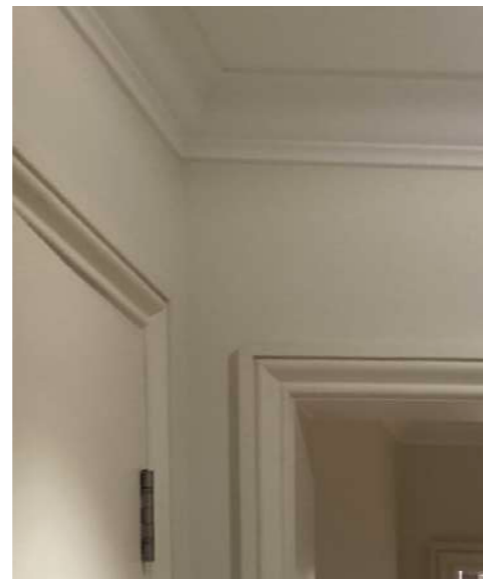


Figure 55: Existing modern cornice design.

### 6.3 UPDATING ELECTRICAL & MECHANICAL SERVICES

It is proposed to update some of the existing electrical and mechanical services to bring the services up to modern standards and replace equipment getting towards the end of its serviceable life. Care will be taken to minimise damage to the existing fabric and if required existing finishes will be carefully made good and restored as existing.

### 6.4 UPDATING LIGHTING CONTROL AND LIGHTING DESIGN

It is proposed to update the existing lighting control and lighting design and bring it up to modern standards and replace equipment getting towards the end of its serviceable life.

The proposed scheme will reduce the number of downlights throughout the property and include a more subtle traditional lighting design with the inclusion of pendants and wall lamps.

Care will be taken to minimise damage to the existing fabric and if required existing finishes will be carefully made good and restored as existing.

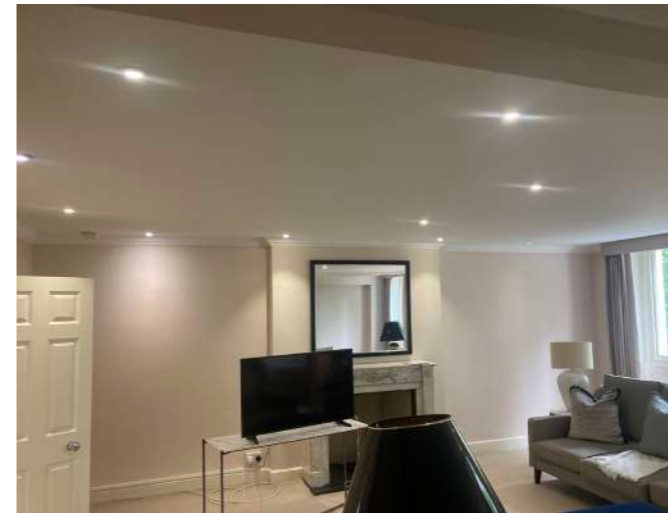


Figure 56: Existing lighting to ceiling in Living Room.



Figure 57: Existing lighting to ceiling in Dining Room.



Figure 58: Existing lighting to ceiling in Kitchen. The unsightly dropped ceiling will also be removed.



Figure 59: Existing lighting to ceiling in Bedroom 3.

## **7 ACCESS**

The proposals do not change the existing access arrangements in and out of the flat.

The communal access at ground floor street level from Eaton Square is unaltered, as is the internal front entrance door into the Flat.

## **8 CONCLUSION**

Overall these renovations will deliver an enhancement to the appearance of the property. The restoration of the existing PVC and non-traditional casement windows with traditional sash windows will be better in keeping with the rear elevation of this terraced row, enhancing the character and appearance of this listed building and the appearance of the Belgravia Conservation Area.

The internal works largely remove (e.g. nobs) or replace (e.g. bedroom and bathroom fittings) modern fixtures and fittings, non-original to the host building. The original planform of the property was significantly altered through its lateral conversion, prior to being listed, and these works respect the current plan form. The proposals have been carefully considered to work with the existing building service routes in the property to limit the scope of works to be undertaken.

The proposed works are sympathetic to the property, restoring traditional features and delivering an overall enhancement to the property's design quality and contribution to the Conservation Area.

The proposed works will invest in the building and enhance the heritage asset.

## 9 SCHEDULE OF PROPOSED WORKS

This section provides a summary of alterations included within this Listed Building Consent application. Please refer to the application drawings for further details.

### **External Restoration Works:**

1. Replacement of two modern PVC double glazed casement windows on rear elevation with traditional hardwood sash windows with slimline double glazing with shallow frame profiles.
2. Replacement of one modern casement window to rear of Kitchen on rear elevation with a traditional hardwood sash window with slimline double glazing.
3. Replacement of three modern two panel casement windows in Living Room to front elevation with traditional hardwood sash windows with single glazing.

### **Internal Works:**

1. Widen door opening within modern partition wall to Boiler & Utility room.
2. Replacement of modern Kitchen joinery in same general location.
3. Removal of modern dropped ceiling in Kitchen and installation of new ceiling at same height.
4. Removal of modern studwork walls between Dining Room and Kitchen.
5. Move small portion of modern studwork wall in Entrance Hallway and Store to create space for cloaks and a larger Store.
6. Remove existing modern studwork nibs between Entrance Hallway and Hallway.
7. Install a profiled metal framed glass screen in the modern studwork wall in Entrance Hallway.
8. Slightly widen the existing double door openings in Hallway which open into the Dining and Living Rooms.
9. Change modern partition layout to Master Bathroom and carry out internal fit out with replacement of modern ceiling.
10. Change modern partition layout to Bathroom 2 and carry out fit out with replacement of modern ceiling.
11. Installation of new Bathroom 3 with fit-out.
12. Change location of door into Bedroom 3.
13. Install new studwork wall to form entrance into Master Bedroom.
14. Create openings in existing Master Bedroom wall.
15. Replacement of modern wardrobes throughout.
16. Replacement of modern floor finishes throughout.
17. Replacement of modern skirtings and modern cornices throughout.
18. Replacement of modern internal doors and modern architraves.
19. Removal of modern replica fire surround and hearth in Master Bedroom.
20. Removal of modern replica fire surround and hearth in Dining Room.
21. Removal of modern replica fire surround and hearth in Living Room.
22. Install replacement fire surround and hearth in Living Room in location of existing.
23. Updating electrical and mechanical services.
24. Updating lighting control and lighting design.