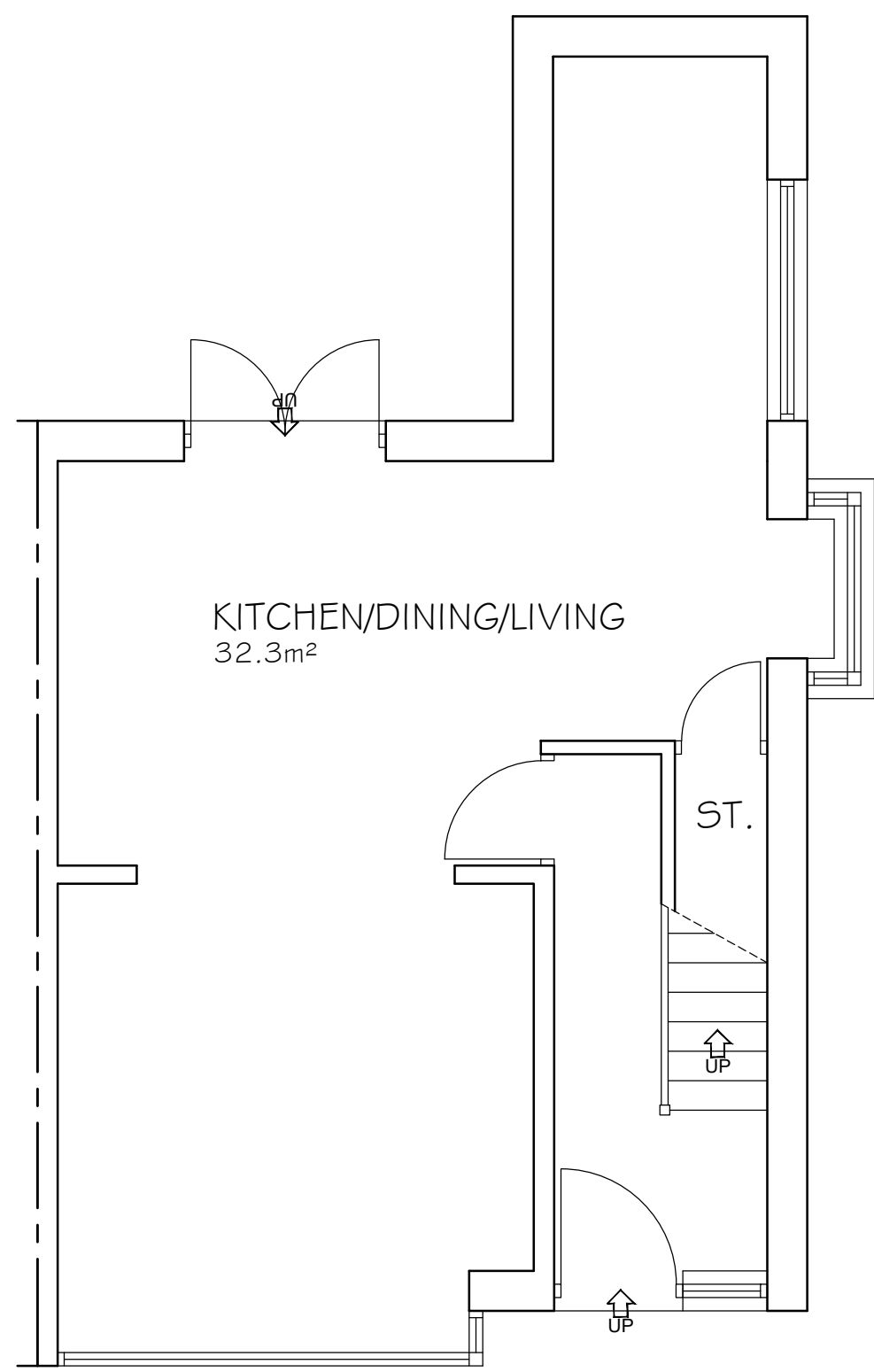


A B C D E F G H I J K L M N

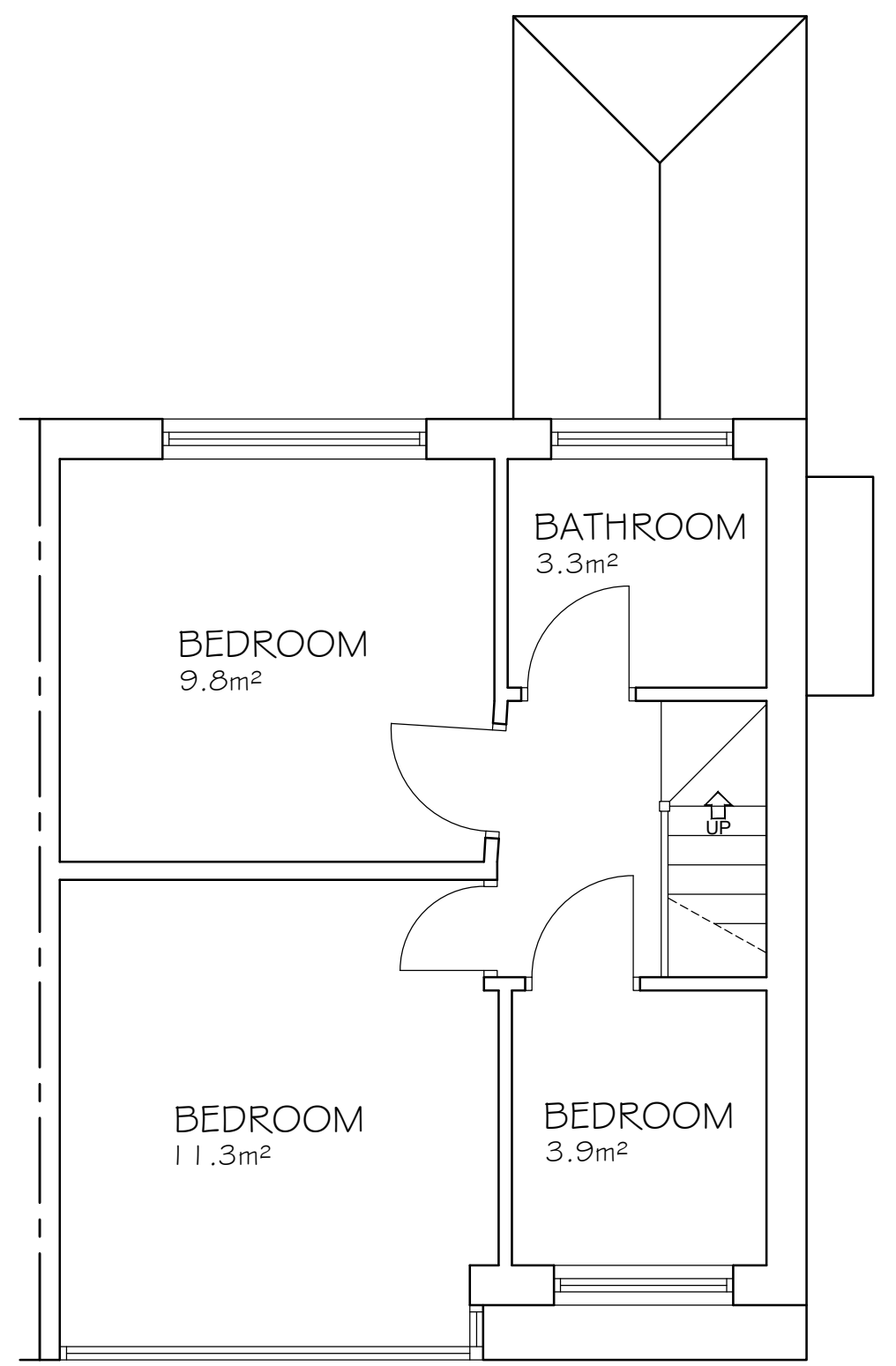
DO NOT SCALE DIMENSIONS FROM DRAWING

Revision  
DRAWING No. A022/062/5/01

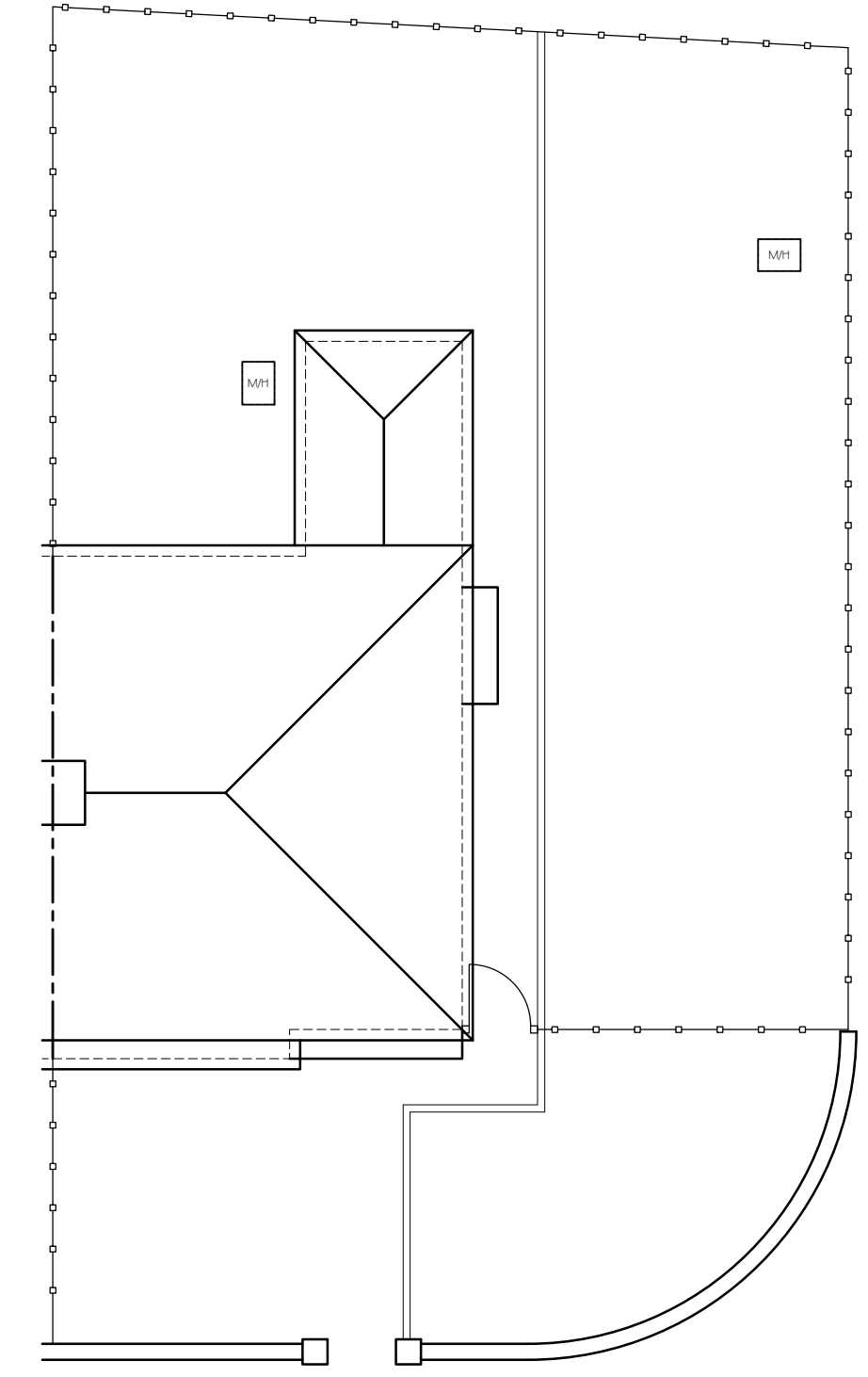
1  
2  
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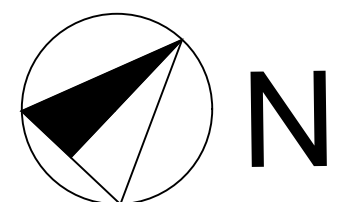
GROUND FLOOR  
SCALE 1:50



FIRST FLOOR



SITE GA  
SCALE 1:100



NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DO NOT SCALE FROM THIS DRAWING.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTS. THE USER SHOULD CONSULT THE DRAWING ISSUE REGISTER FOR DETAILS.
4. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
5. THE ENGINEER/ARCHITECT SHOULD BE CONTACTED IMMEDIATELY IF THE ASSUMPTIONS USED IN THE DESIGN DIFFER TO THAT FOUND ON SITE.

CONFIGURATION
TOTAL GROUND FLOOR AREA 39.3m <sup>2</sup> TOTAL FIRST FLOOR AREA 33.9m <sup>2</sup>
TOTAL SITE FLOOR AREA 203.6m <sup>2</sup>

MATERIAL SPECIFICATION
ROOF CLADDING RED CLAY TILES
EXTERNAL WALLS TOOLED UNPAINTED RENDER
GLAZING BROWN UPVC
DOORS BROWN UPVC
FASCIA & EAVES BOARDS BROWN UPVC
RAINWATER GOODS BLACK UPVC GUTTERING BLACK UPVC DOWNPIPES
BOUNDARY WALLS ROUGH FACED RED BRICK TIMBER FENCING

Rev.	Amendments	Date	By

**Keystone Design Associates Ltd.**

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PROJECT ADDRESS  
60 ROOKWOOD AVENUE, THORNTON CLEVELEYS,  
LANCASHIRE, FY5 3EX

PROJECT TITLE  
CHANGE OF USE

DRAWING TITLE  
EXISTING SURVEY

Client MR A DARWEN Scales@A1  
1:50/100 @A1

Drawn JG Checked Date 22/04/22

DRAWING No. A022/062/5/01 Revision

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