

# LLOYD MILLS

• HERITAGE CONSULTANCY •



## HERITAGE STATEMENT

ROSE COTTAGE  
CHURCH STREET  
THWAITE

JULY 2022

## CONTENTS

1.	Introduction .....	2
2.	Relevant Legislative and Policy Context .....	3
3.	The Heritage Assets .....	7
4.	Significance of Heritage Assets .....	8
5.	Impact of Application Proposals .....	13
6.	Conclusion .....	14

### Appendices:

Appendix 1 – Draft Policy LP21 - The Historic Environment  
Appendix 2 – List Entry

## 1. Introduction

- 1.1 This heritage statement has been prepared by Lloyd Mills IHBC in support of an application for listed building consent for the restoration of Rose Cottage, Thwaite, following significant fire damage.
- 1.2 This statement seeks to fulfil the requirements of paragraph 194 of the National Planning Policy Framework (NPPF) (2021), which states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.

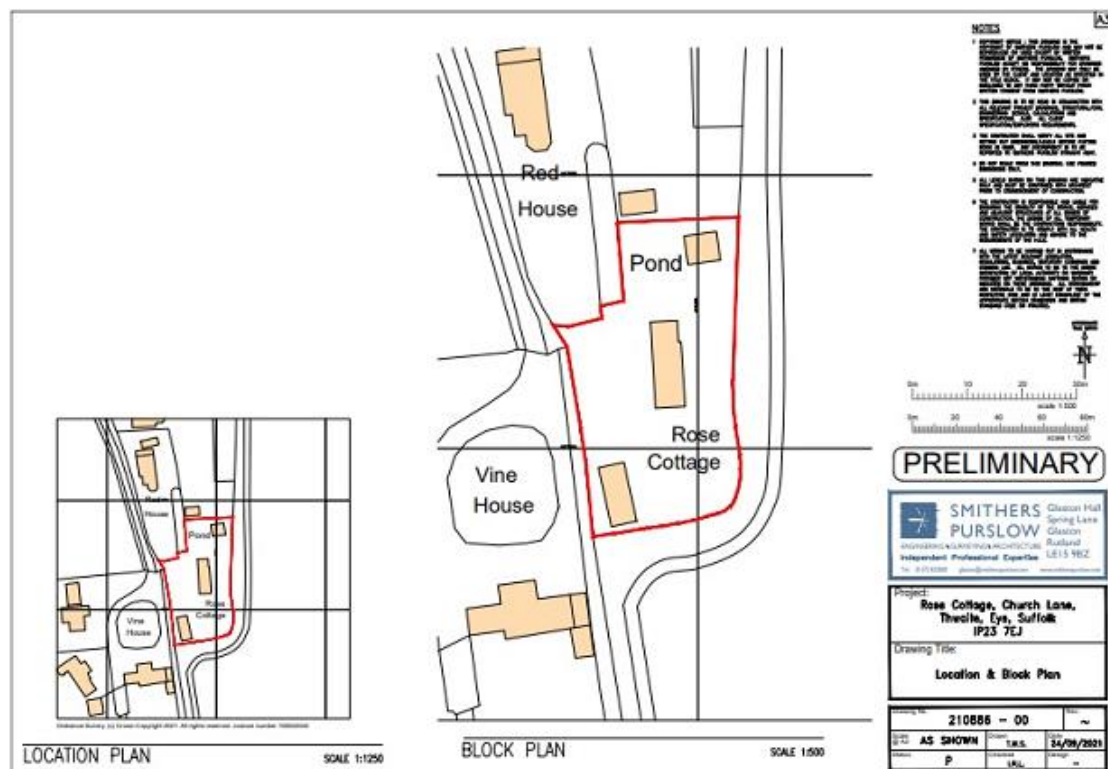


Figure 1: Site location

- 1.3 The application site is within the village of Thwaite, a small, rural settlement located on the A140 between Ipswich and Norwich. The site is situated around 250 metres south of the Church of St George (grade II\*). It is bounded by residential development to the north and west, and arable land to its east and south boundaries.
- 1.4 The application building is included on the statutory list at grade II in recognition of its national interest. It does not form part of a designated conservation area, or the setting of a conservation area.
- 1.5 As part of this assessment, Historic England data and the Suffolk Historic Environment Record (HER) have been consulted. The planning history for the site has also been reviewed. The relevant planning history is below:

- 0121/93/LB – Retention of replacement render on west, east and part south gable end elevations – APPROVED
- 0135/91/LB – Installation of three replacement windows in west elevation existing mullion window exposed on east elevation, internal alterations and improvements – APPROVED
- 0278/00/LB – Replace 3 no. external doors – APPROVED

## **2. Relevant Legislative and Policy Context**

### *Legislation*

- 2.1 The legislation that guides decision making in respect of listed buildings is set out in the Planning (Listed Buildings and Conservation Areas) Act 1990.
- 2.2 Section 16 of the Act states that “in considering whether to grant listed building consent for any works the local planning authority (or the Secretary of State) shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”
- 2.3 Sections 66 of the Act imposes a general duty upon local planning authorities to consider the impact of proposals for planning permission upon the settings of listed buildings. It states as follows:

In considering whether to grant planning permission [or permission in principle] for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

### *National Planning Policy*

- 2.4 National planning policy is set out in the National Planning Policy Framework (NPPF) (2021). Chapter 16 (paragraphs 189-208) of the document provides policy guidance for development affecting the historic environment.
- 2.5 Paragraph 189 recognises that heritage assets are an irreplaceable resource and should be conserved in a manner that is appropriate to their significance such that they can be enjoyed by existing and future generations.
- 2.6 Paragraph 190 requires local planning authorities to assess the significance of any heritage assets potentially affected to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposed development.
- 2.7 Paragraph 197 states that in determining planning applications, local planning authorities should take account of: the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities; and the desirability of new development making a positive contribution to local character and distinctiveness.
- 2.8 Paragraphs 199 onwards provide guidance for considering the potential impacts. Paragraph 199 states that when considering the impact of a proposal on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. This should be proportionate to its significance, the

more important the asset, the greater the weight should be. This is irrespective of whether the harm is substantial, total loss, or less than substantial.

- 2.9 Paragraph 200 goes on to state that any harm to, or loss of, the significance of a designated heritage asset, including through development within its setting, should require clear and convincing justification.
- 2.10 Paragraphs 200 and 201 deal with instances of substantial harm to a designated heritage asset. Development causing substantial harm should be refused unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or other criteria are met. Paragraph 202 guides that where a development would lead to less than substantial harm to a designated heritage asset, the harm should be weighed against the public benefits of the proposal, including where appropriate, securing its optimum viable use.
- 2.11 Interpretation of the NPPF is provided by the Planning Practice Guidance (PPG). This guidance note is divided into a series of chapters which is subject to regular review; the historic environment chapter was last updated in July 2019.
- 2.12 The historic environment chapter guides that understanding the significance of a heritage asset and its setting from an early stage in the design process can help to inform the development of proposals which avoid or minimise harm (paragraph 8). Paragraph 13 provides further guidance on setting, making clear that setting is not only related to visual attributes but other environmental factors such as noise, dust, smell and vibration as well as the relationship between places.
- 2.13 Paragraph 18 provides guidance on assessing harm. It is clear that proposed development may have no impact or may enhance an asset's significance such that no harm is caused. Where development would be harmful to a designated heritage asset, this needs to be categorised as either 'less than substantial' or 'substantial' harm. The level of harm can vary within these two categories. It goes to elaborate that substantial harm is a 'high test' and therefore is unlikely to arise in many cases. This harm may arise from works to the asset or from development within its setting

#### *Development Plan*

- 2.14 The development plan for the area comprises the saved policies of the Mid Suffolk District Local Plan (1998), the First Alteration to the Mid Suffolk Local Plan (2006), the Mid Suffolk District Core Strategy (2008), and the Mid Suffolk District Core Strategy Focused Review (2012).
- 2.15 Saved policies from section 2.2 of the Mid Suffolk Local Plan (1998) deal with heritage and listed buildings. In this instance the relevant policies are HB1 and HB3, which provide as follows:

Policy HB1 – Protection of historic buildings: The district planning authority places a high priority on protecting the character and appearance of all buildings of architectural or historic interest. Particular attention will be given to the settings of listed buildings.

Policy HB3 – Conversion and alteration of Historic Buildings: Proposals for the conversion of, or alteration to, listed buildings or other buildings of architectural or historic interest will only be permitted in exceptional circumstances and will be required to meet high standards of design, detailing, materials and construction. Listed building consent will be granted if the district planning authority is satisfied that: -

- The proposal would not detract from the architectural or historic character of the existing building or its setting;
- And, in the case of a timber framed, the structure of the frame including its infill materials remains largely unaltered.

2.16 The Mid Suffolk Core Strategy was adopted in September 2008 and subjected to a focussed review in 2012 (following publication of the NPPF). As the key development plan document, it sets out the vision, objectives, spatial strategy and core policies that will guide development across the district until 2025, and beyond.

2.17 Policy CS05 of the Mid Suffolk Core Strategy deals with aspects of the environment, including biodiversity and landscape. In respect of the historic environment, it states as follows:

All development will maintain and enhance the environment, including the historic environment, and retain the local distinctiveness of the area.

Design: Development will be of a high-quality design that respects the local distinctiveness and the built heritage of Mid Suffolk, enhancing the character and appearance of the district. It should create visual interest within the street scene and where appropriate encourage active uses at ground floor level, creating uses of public space which encourage people to walk and cycle.

Historic Environment: The Council will introduce policies in the other DPDs of the Local Development Framework to protect, conserve and where possible enhance the natural and built historic environment including the residual archaeological remains. These policies will seek to integrate conservation policies with other planning policies affecting the historic environment

#### *Emerging Planning Policy*

2.18 The above local plan documents are currently being replaced by a new joint local plan document for Barbergh and Mid Suffolk districts. This plan is currently at examination stage and therefore some weight applies. Draft policy LP21 relates to the historic environment (the draft policy text is at appendix 1).

### 3. The Heritage Assets

3.1 Heritage assets are defined at Annex 2 of the NPPF as follows:

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).

3.2 Designated heritage assets include World Heritage Sites, Scheduled Monuments, Listed Buildings, Protected Wreck Sites, Registered Parks and Gardens, Registered Battlefields or Conservation Areas designated under the relevant legislation.

3.3 As part of this assessment, heritage assets have been identified by reviewing the National Heritage List for England (NHLE), the Suffolk HER and data available on Mid Suffolk Council's website.

3.4 The application site includes a listed building, Rose Cottage, which is included on the statutory list at grade II. There are no other designated heritage assets in close proximity to the site. There are two listed buildings within a 350 metre radius. These are:

- Church of St George, Church Lane – grade II\* – list UID: 1032261
- Buck's Head Inn, Norwich Road – grade II – list UID: 1032262

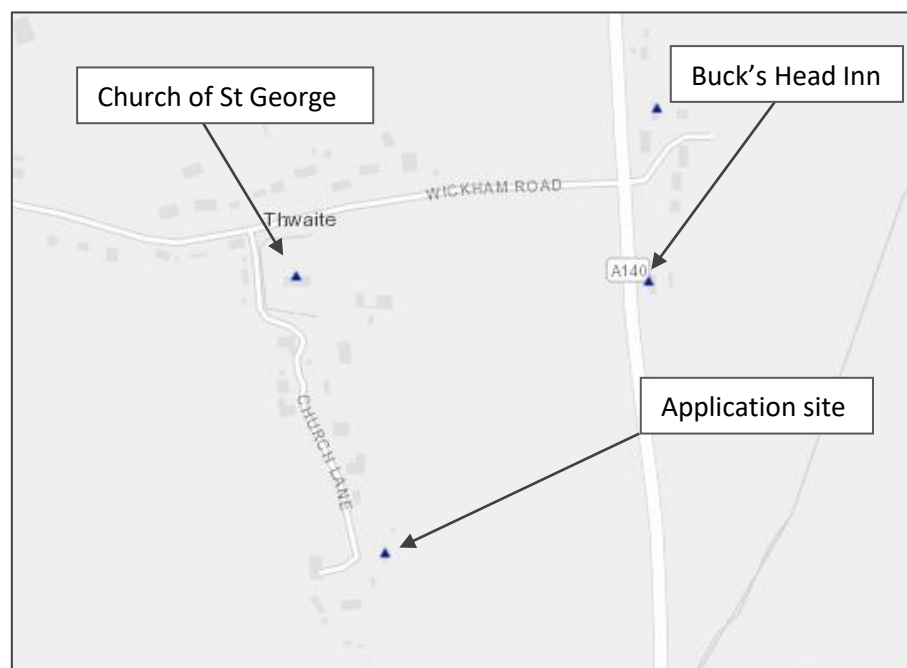


Figure 2: NHLE map extract, Historic England

3.5 Owing to the nature of the proposals, Rose Cottage is the only heritage asset considered to be impacted. Therefore, the following assessment focusses on this asset only.



## 4. Significance of Heritage Asset

### *Introduction*

- 4.1 Significance is described by the NPPF (2021) as the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. The PPG (2021) provides the following interpretation of each element of significance:

Archaeological interest: As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

Architectural and artistic interest: These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

Historic interest: An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

- 4.2 It is acknowledged that significance derives not only from a heritage asset's physical presence, but also from its setting.

### *Rose Cottage*

- 4.3 Rose Cottage was added to the statutory list at grade II in July 1988. It is therefore recognised as being of high significance. The building's list description provides as follows:

Former farmhouse. First half of C16 with early C18 kitchen addition to left. Timber framed and plastered, thatched roof. Older part has a 2-cell, end chimney form. 2 storeys and attic, 1½-storey addition. Various casement windows: 3 mid C20 standard windows on ground floor, one small-paned 2-light window above. Older windows at rear. Mid C20 6-panel door in cross-entry position, Old range has external stacks at each gable end, of narrow brick with axial shafts. Small pantiled colourwashed brick addition on right gable end. Interior. 3-bay frame with full-height studding, papered over in upper rooms. Upper bay of hall has deep sill of a projecting window. Hall ceiling has heavy plain joists and bridging beam with broach stop-chamfers. Joists in right cell concealed. In the hall chamber, former open truss has a slightly cambered arch-braced tie

beam. Plain crown-post roof with 2-way bracing. Kitchen addition has primary-braced studding and on-edge oak joists. Bread oven and range in situ. A very intact small C16 house which has not been heavily modernised.

4.4 The building is built over a rectangular plan on a north – south axis. It is constructed of timber frame under a thatched roof. The building consists of two main ranges; a principal range of two storeys with attic that is of C16 origin; and to the north/left-hand side there is a later, early C18 range of one-and-a-half storeys. At the south end there is a small, single-storey, lean-to addition, which is likely of C20 origin.

4.5 The principal range is of a box-frame construction with a wattle and daub infill and a cement render finish. The roof structure is made up of crown post trusses (four in total) and collared rafters. It comprises two rooms at ground floor with a central passage containing a winder staircase. There are two open fireplaces; the fireplace in the left-hand room is supported by a large bressummer.

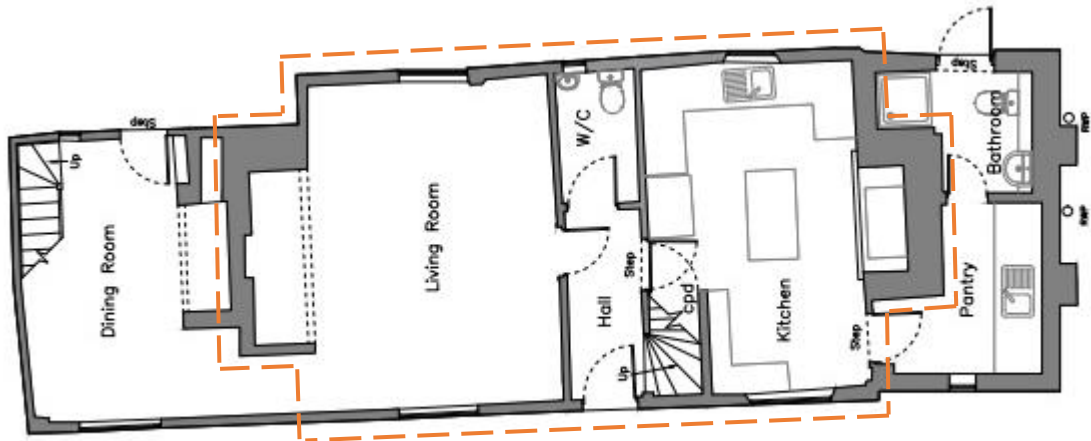


Figure 3: Ground floor plan highlighting extent of C16 range (Gateley Smithers Purslow)

4.6 The range on the left-hand side is also of a box-frame construction with a wattle and daub infill. It was built as a kitchen addition in the early C18. It contains a large range, with copper and bread oven in situ.



Figure 4: View of stairs and frame in C18 range Figure 5: View of oven in C18 range

- 4.7 At first floor level the principal bedroom/chamber occupies the left-hand portion (two bays in width), and over the right-hand side there is a bedroom and a bathroom, and also the attic stairs. The bathroom is a modern intervention. The C18 range includes a bedroom at this level, which is accessed independently of the main building.

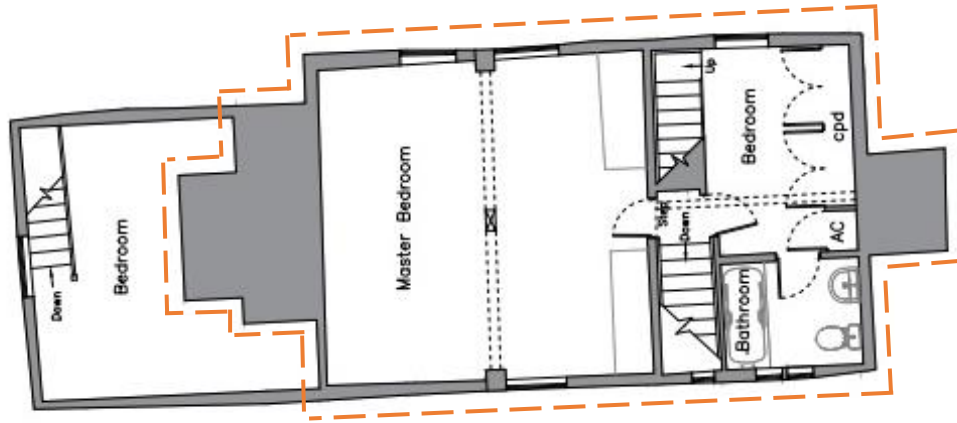


Figure 6: First floor plan highlighting extent of C16 range (Gateley Smithers Purslow)

- 4.8 The principal bedroom/chamber includes an open crown-post truss positioned in the centre of the room, between bays, as indicated on the first-floor plan. Also of note in this room is a timber mullion window, which is located on the rear elevation.



Figure 7: View looking south east showing open crown-post truss and timber mullion window in main chamber





*Figure 8: View looking north showing north gable frame of C16 range*

- 4.9 The roof structure over the C18 range appears of a clasped purlin construction; each rafter is numbered with roman numerals.



*Figure 9: View of roof structure over the C18 range*

- 4.10 The attic over the C16 range is positioned against the end chimney stack on the right-hand side. It is one bay in width and is accessed by a modern/replacement staircase.

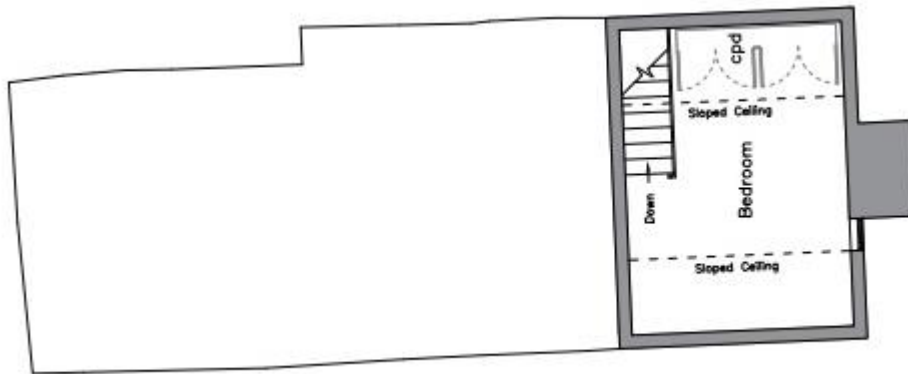


Figure 7: Attic plan highlighting (Gateley Smithers Purslow)



Figure 8: View of attic in C16 range

### *Summary of significance*

- 4.11 The farmhouse was constructed during a time when Suffolk was enjoying great prosperity as a result of its wool and cloth trades. The overall significance of the building is derived from its archaeological, architectural and historic interest. The building provides evidence of a locally distinctive regional building style and materials, as well as architectural style. The final sentence of the list description succinctly sums up the building's significance: "a very intact small C16 house which has not been heavily modernised."
- 4.12 As is apparent from the photographs above, the significance of the building has been harmed by a fire that occurred at the property, which has destroyed some historic fabric. A period following the fire where it was left exposed to the elements has also contributed to its decayed state.



## **5. Impact of Application Proposals**

- 5.1 The application proposes the repair and restoration of the structure on a like-for-like basis, using traditional materials and techniques. The works are required in order to secure the long-term preservation of the building.
- 5.2 The building's roof structure requires significant work. A structural engineer's report confirms that a considerable amount of the existing structure is not salvageable, owing to fire damage and rot, and will require renewal. A roof structure plan is being prepared, based on the existing details at the property. Existing timbers would be incorporated within the new structure where possible, in order to maintain its historic integrity.
- 5.3 Localised repairs are required to the building's oak frame, namely the wall plate and the upper section of the gable frames. Likewise, some of the building's stud partitions require repair. These repairs will be carried out on a like-for-like basis, scarfing in new members where required, using oak. A schedule has been prepared to replace the wattle and daub infill panels and is detailed in the accompanying schedule of works. Also at this time, the opportunity will be taken to replace any damaged areas of external cement render with a traditional lime finish in order to improve the breathability of the structure.
- 5.4 Once the works to the frame and roof structure are complete, a long straw thatch roof covering can be reinstated, which incorporates modern fire-proofing methods. The building's internal finishes, including the lath and plaster ceilings will be reinstated.
- 5.5 The works proposed, which are based on a conservative approach, would not result in any harm to the significance of the listed building, over and above the harm caused by the fire and water damage. The setting of the building would be restored.

## **6. Conclusion**

- 6.1 This report has described the significance of Rose Cottage, and has assessed the impact of the proposals upon its significance. It is considered that the proposals, which are required for the preservation of the building, would not cause harm to the significance of the listed building. As such, the proposals are in accordance with the requirements of section 16 of the NPPF.
  
- 6.2 In addition to the above, the proposals are also in accordance with policy CS05 of the Mid Suffolk Core Strategy (2012), which states that all development will maintain and enhance the environment, including the historic environment, and retain the local distinctiveness of the area. The proposals also accord with the requirements of policies HB1 and HB3 of the Mid Suffolk District Local Plan (1998), and draft policy LP21 of the emerging Babergh and Mid Suffolk Joint Local Plan (reg 19 document).

## Appendix 1

### Policy LP21 - The Historic Environment

1. Where an application potentially affects heritage assets, the Councils will:
  - a) Depending on the nature of the works/development proposed, require the applicant to submit a heritage statement that demonstrates:
    - i. The significance of the heritage asset is appropriately understood (statement of significance);
    - ii. The potential impacts on the heritage asset's significance, including the contribution made by setting, are understood (impact assessment);
    - iii. That the proposal has been fully justified in light of the significance and impact identified above (statement of justification);
    - iv. If relevant, that the proposal has considered how preservation in situ of archaeological assets can be achieved through the design of the site;
    - v. An effective conservation strategy, including details of recording, mitigation, repair, preservation, protection and management as appropriate;
  - b) Where development includes (or has the potential to include) heritage assets with archaeological interest, an appropriate desk-based assessment and, where necessary, a field evaluation by a suitably qualified person is required.
2. The Councils will support:
  - a) The re-use/ redevelopment of a heritage asset, including Heritage at Risk, where it would represent optimal viable use, including assets in isolated locations, and the proposal preserves the building, its setting and any features which form part of the building's special interest and complies with the relevant policies of the Plan;
  - b) Development proposals that contribute to local distinctiveness, respecting the built form and scale of the heritage asset, through the use of appropriate design and materials;
  - c) Proposals to enhance the environmental performance of heritage assets, where the special characteristics of the heritage asset are safeguarded and a sensitive approach to design and specification ensures that the significance of the asset is not compromised by inappropriate interventions.
3. In order to safeguard and enhance the historic environment, harm to heritage assets should be avoided in the first instance. Only where harm cannot be avoided should mitigation be considered. When considering applications where a level of harm is identified to heritage assets (including historic landscapes) the Councils will:
  - a) Have regard (or Special Regard where appropriate) to the historic environment and take account of the contribution any designated or non-designated heritage assets makes to the character of the area and its sense of place. All designated and non-designated heritage assets must be preserved, enhanced or conserved in accordance with statutory tests and their significance, including consideration of any contribution made to that significance by their setting; and
  - b) Have regard to the planning balance whilst considering the extent of harm and significance of the asset in accordance with the relevant national policies.
4. Proposals which potentially affect heritage assets should have regard to all relevant Historic England Advice and Guidance.
5. Where development is otherwise considered acceptable, planning conditions/obligations will be used to:
  - a) Secure an appropriate programme of archaeological investigation, recording, reporting, archiving, publication, and community involvement; to advance public understanding of the significance of any heritage assets to be lost (wholly or in part); and to make this evidence and any archive generated publicly accessible.



## Appendix 2

### Official list entry

Heritage Category:  
Listed Building  
Grade:  
II  
List Entry Number:  
1181995  
Date first listed:  
14-Jul-1988  
Statutory Address 1:  
ROSE COTTAGE, CHURCH LANE

### Location

Statutory Address:  
ROSE COTTAGE, CHURCH LANE

The building or site itself may lie within the boundary of more than one authority.

County:  
Suffolk  
District:  
Mid Suffolk (District Authority)  
Parish:  
Thwaite  
National Grid Reference:  
TM 11446 67915

### Details

THWAITE CHURCH LANE TM 16 NW 3/88 Rose Cottage

-- II Former farmhouse. First half of C16 with early C18 kitchen addition to left. Timber framed and plastered, thatched roof. Older part has a 2-cell, end chimney form. 2 storeys and attic, 1½-storey addition. Various casement windows: 3 mid C20 standard windows on ground floor, one small-paned 2-light window above. Older windows at rear. Mid C20 6-panel door in cross-entry position, Old range has external stacks at each gable end, of narrow brick with axial shafts. Small pantiled colourwashed brick addition on right gable end. Interior. 3-bay frame with full-height studding, papered over in upper rooms. Upper bay of hall has deep sill of a projecting window. Hall ceiling has heavy plain joists and bridging beam with broach stop-chamfers. Joists in right cell concealed. In the hall chamber, former open truss has a slightly cambered arch-braced tie beam. Plain crown-post roof with 2-way bracing. Kitchen addition has primary-braced studding and on-edge oak joists. Bread oven and range in situ. A very intact small C16 house which has not been heavily modernised.

Listing NGR: TM1144667915

## Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number:

281673

Legacy System:

LBS

## Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.