

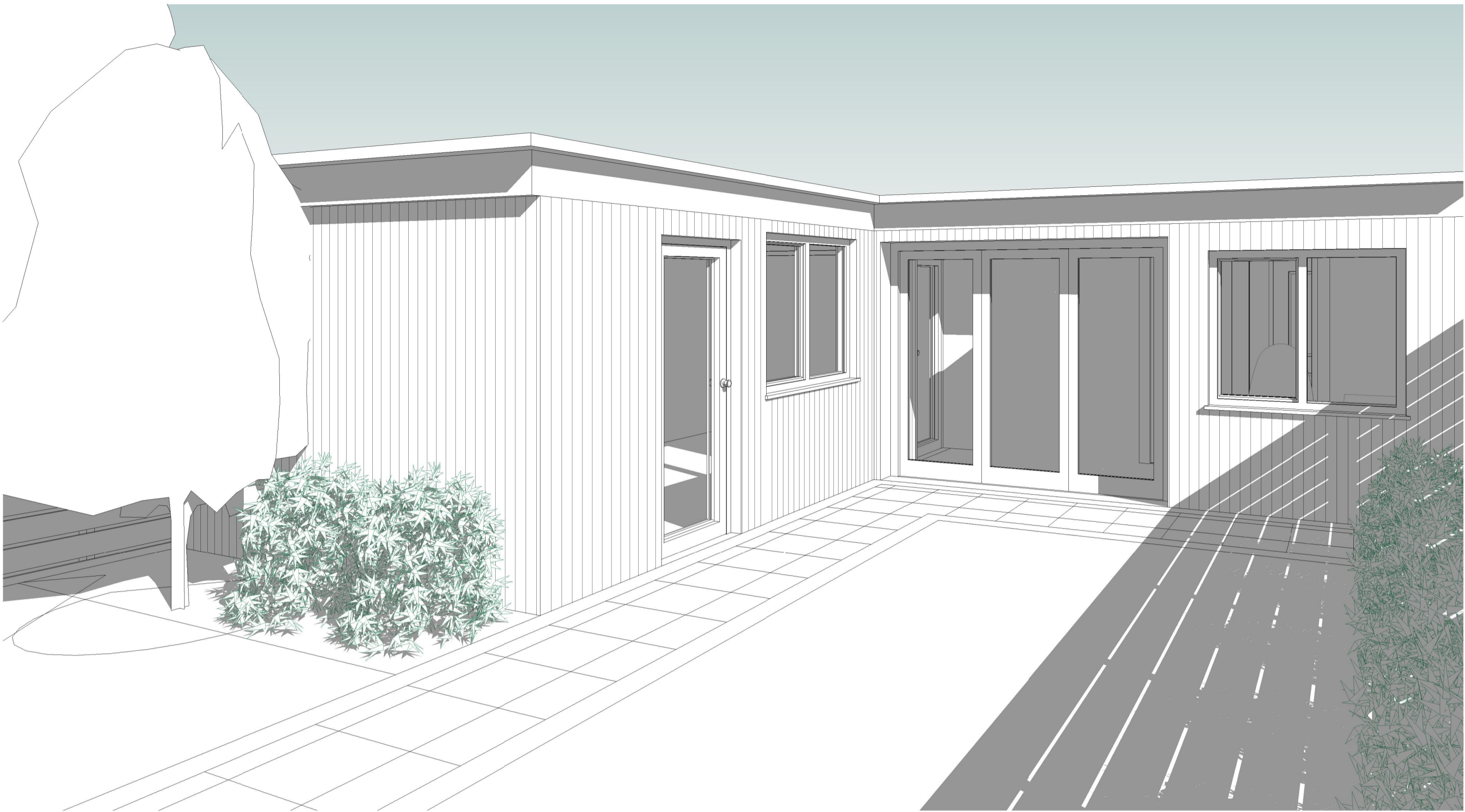
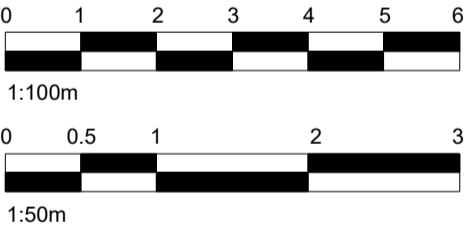
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- GENERAL NOTES**
- CHECK ALL DIMENSIONS ON SITE.
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  - ALL VERTICAL MEASUREMENTS ASSUME GROUND TO BE LEVEL UNLESS OTHERWISE STATED.
  - THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE GENERAL NOTES.
  - WORKS TO BE CARRIED OUT WITH MATERIALS AND WORKMANSHIP IN COMPLIANCE WITH APPROVED DOCUMENT FOR REGULATION 7 (THE AMENDED BUILDING REGULATIONS 2010)
  - WORKS TO BE CARRIED OUT IN A SAFE MANNER IN ACCORDANCE WITH CDM REGULATIONS 2007.
  - OPEN UP EXISTING STRUCTURE AS REQUIRED BY THE BUILDING INSPECTOR
  - THIRD PARTY SUPPLIER TO MEASURE ON SITE BEFORE MANUFACTURING
  - GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
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  - "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.
  - REPETITIVE FEATURES ARE NOT ALWAYS DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
  - WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 100MM FROM FACE OF STUD (WALL).
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**27 WELLAND GARDENS PERIVALE GREENFORD  
UB6 8SZ**

**BUILDING REGULATIONS DRAWINGS  
FOR BUILDING CONTROL APPROVAL ONLY AND ARE  
NOT TO BE USED AS CONSTRUCTION DRAWINGS**

No.:	Revision:	Date:

**BISCHELL**  
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Client:  
**27 Welland Gardens Perivale Greenford UB6 8SZ**

Drawing Title:	Cover		
Status:	--		
Scale:	1 : 1250 @A2	Date:	28/06/2022
Drawn By:	NAP		
Drawing No.:	001		Rev:



## GENERAL NOTES

1. THE STRUCTURAL SPECIFICATION WITHIN THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL DRAWINGS, THE STANDARD NOTES THAT ARE CONTAINED ON THE DRAWINGS AND ANY OTHER RELEVANT PROJECT INFORMATION.
2. THE DRAWINGS WITHIN THIS DOCUMENT ARE INDICATIVE ONLY, AND REPRESENT DESIGN INTENT ONLY. NO DIMENSIONS ARE TO BE SCALED FROM DRAWINGS CONTAINED WITHIN THIS DOCUMENT. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. ALL DIMENSIONS SHOULD BE CHECKED ON SITE BY THE CONTRACTOR BEFORE FABRICATION AND ORDERING OF MATERIALS.
3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN MILLIMETRES AND ALL LEVELS ARE IN METRES FROM THE SITE DATUM.
4. THE INFORMATION WITHIN THIS DOCUMENT CANNOT BE GUARANTEED AS DIMENSIONALLY EXACT. FIGURED DIMENSIONS MUST BE USED FOR SETTING OUT AND DETAILING.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL TEMPORARY WORKS, AND IS ALSO RESPONSIBLE FOR THE SAFE MAINTENANCE AND STABILITY OF THE EXISTING BUILDING/S AT ALL TIMES.
6. ALL PARTY WALL AWARDS ARE ENTIRELY THE RESPONSIBILITY OF THE CLIENT
7. **THE CONTRACTOR (OR CLIENT) MUST REPORT ANY DIFFERENCES BETWEEN THE STRUCTURAL DRAWINGS AND SITE CONDITIONS TO THE STRUCTURAL ENGINEER.**
8. **THE CONTRACTOR (OR CLIENT) MUST NOTIFY THE STRUCTURAL ENGINEER OF ANY DESIGN CHANGES THAT COULD AFFECT THE STRUCTURAL SPECIFICATION BEFORE WORK COMMENCES.**
9. THE CONTRACTOR SHALL AT THE OUTSET, ESTABLISH WITH THE LOCAL AUTHORITY THEIR REQUIREMENTS FOR INSPECTING THE WORKS, AND ADHERE TO THESE.
10. ALL DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS ARE BASED ON SURVEY DRAWINGS AND THE CONTRACTOR IS TO SATISFY HIMSELF THAT DIMENSIONS, LEVELS, ETC., ARE SUFFICIENTLY ACCURATE AND COMPLETE FOR FABRICATION WITHIN THE SPECIFIED TOLERANCES OF ALL PREFABRICATED ELEMENTS.
11. IF IN DOUBT ABOUT THE INFORMATION SHOWN OT THIS DRAWING OR ANY RELATED DRAWINGS - PLEASE ASK.
12. **THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR THE DESIGN OF ALL TEMPORARY WORKS.**
13. ALL LINTELS TO HAVE A MINIMUM 150mm END BEARING INTO NEW/EXISTING WALL.
14. ALL EXISTING LINTELS ARE TO BE INSPECTED AND REPLACED IF THEY SHOW SIGNS OF DETERIORATION, CRACKING OR DISTRESS. THE MATERIAL NATURE OF ANY REPLACEMENT IS TO BE APPROVED BY THE LOCAL AUTHORITY PRIOR TO INSTALLATION.
15. ALL EXISTING WALLS TO BE EXAMINED BY THE CONTRACTOR FOR LACK OF BOND/DELAMINATION, ETC. IF SUCH AREAS ARE NOTED, THE CLIENT'S ENGINEER IS TO BE INFORMED IMMEDIATELY. THE CONTRACTOR SHALL ARRANGE FOR THE DESIGN AND INSTALLATION OF A SUITABLE REMEDIAL TIE SYSTEM.
16. SHOULD ANY EXISTING WALL PROVE TO BE INADEQUATELY RESTRAINED, THE CONTRACTOR ALLOW FOR THE DESIGN AND INSTALLATION OF SUITABLE REMEDIAL WORKS TO PROVIDE ADEQUATE LATERAL RESTRAINT AND SUBMIT THE DESIGN TO THE LOCAL AUTHORITY FOR APPROVAL.
17. THE CONTRACTOR IS TO PROVIDE TEMPORARY WORKS TO PROVIDE LATERAL AND VERTICAL RESTRAINT TO EXISTING WALLS PRIOR TO DEMOLITION OF ANY PART OF THE EXISTING BUILDING COMMENCING.
18. IN ALL CASES THE EXISTING WALLS WILL REQUIRE THE FOLLOWING REMEDIAL WORKS: i) ALL EXISTING STEELWORK AND TIMBERS REQUIRED TO BE CAREFULLY REMOVED. THE CONTRACTOR SHOULD OBTAIN THE APPROVAL OF THE RELEVANT LOCAL AUTHORITIES PRIOR TO THIS WORK BEING CARRIED OUT.  
ii) ALL MINOR CRACKS TO BE REPAIRED USING 1:1:6 MORTAR.  
iii) ANY MORTAR/BRICKWORK THAT IS JUDGED BY THE CONTRACTOR OR THE CLIENT'S ENGINEER OR THE LOCAL AUTHORITY REPRESENTATIVE TO BE CRUMBLY, SOFT, DETERIORATED, ETC., IS TO BE REMOVED AND REBUILT IN BONDED ENGINEERING BRICK, FACING BRICK OR BLOCK AS APPROPRIATE.  
iv) ALL EXISTING INTERNAL MASONRY WALL OPENINGS NO LONGER REQUIRED ARE TO BE IN-FILLED IN BONDED BRICK/BLOCK AS APPROPRIATE.  
v) ALL STRAIGHT JOINTS ARE TO BE TIED ACROSS BY MEANS OF PROPRIETARY GALVANIZED STEEL STRAPPING.  
vi) IF CRACKS WITH AN APERTURE GREATER THAN 2mm ARE UNCOVERED, THE CONTRACTOR SHALL PROVIDE STITCHING USING 900mm LONG x 100mm WIDE x 65mm DEEP PRE-CAST CONCRETE LINTELS AT 900mm CENTRES VERTICALLY. THE LINTELS ARE TO BE INSERTED ON A 1:1:6 MORTAR BED AND PACKED WITH A 1:1:6 SEMI-DRY MORTAR WELL RAMMED.
19. JOISTS ARE TO BE DOUBLED-UP BELOW ALL STUD PARTITIONS. THE JOISTS TO BE BOLTED TOGETHER AT 600mm CENTRES USING M12 GR. 4.6 BOLTS WITH 50mm SQUARE PLATE WASHERS EACH SIDE AND DOUBLE SIDED TOOTHED PLATE CONNECTORS.

### STEELWORK NOTES:

1. STRUCTURAL STEELWORK DESIGN TO BS5950-1:2000.
2. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEELWORK TO COMPLY WITH THE LATEST EDITION OF THE NATIONAL STRUCTURAL STEELWORK SPECIFICATION (N.S.S.S.).
3. THE ENDS OF ALL BEAMS ARE TO BE PROPERLY SAWN/MACHINED, IN THE FABRICATION WORKSHOP, TO ENSURE A CLOSE BEARING FIT BETWEEN FLANGES AND END PLATES.
4. ALL HOT ROLLED STRUCTURAL STEELWORK TO BE MILD STEEL TO GRADE S275JR TO BS EN 10025:1993, AND HOLLOW SECTIONS GRADE S355J2H TO BS EN 10210-1.
5. INTERNAL STEELWORK - TO BE BLAST CLEANED TO SA21  
EXTERNAL STEELWORK - TO BE EITHER BLAST CLEANED TO SA21  
HOT DIPPED GALVANISED (85 MICRONS).
6. THE STEELWORK FABRICATOR IS TO CONDUCT AN ACCURATE SITE SURVEY TO DETERMINE FINAL DIMENSIONS FOR ALL NEW STEELWORK PRIOR TO FABRICATION. THE SURVEY SHOULD HIGHLIGHT ANY EXISTING OBSTRUCTIONS, SERVICES, ETC. THAT NEED TO BE ALTERED/RELOCATED TO AVOID CLASH.
7. ALL BOLTS TO BE BE GRADE 8.8 IN ACCORDANCE WITH EN ISO 1461 UNLESS NOTED OTHERWISE ON THE DRAWINGS.
8. WELD TESTS TO BE CARRIED OUT TO COMPLY WITH THE LATEST EDITION OF 'THE NATIONAL STRUCTURAL STEELWORK SPECIFICATION FOR BUILDING CONSTRUCTION'. 'FLUID' IS TO BE PROVIDED WITH COPIES OF ALL WELD TEST RESULTS.
9. ALL STEEL BEAMS AND COLUMNS ARE TO BE FIRE PROTECTED IN ACCORDANCE WITH THE SURVEYORS DETAILS AND CURRENT BUILDING REGULATIONS. ALLOW MINIMUM 60 MINUTES, UNLESS NOTED OTHERWISE.

### FOUNDATION AND GROUND FLOOR NOTES:

1. THE MAIN CONTRACTOR TO ENSURE THAT THE GROUND BEARING STRATA, MINIMUM BEARING DEPTHS AND GENERAL RECOMMENDATIONS OF THE SOIL INVESTIGATION ARE ADHERED TO.
2. THE MAIN CONTRACTOR TO UNDERTAKE EXPLORATORY EXCAVATIONS ADJACENT TO ANY EXISTING BUILDINGS AND SERVICES TO DETERMINE NATURE AND DEPTH OF EXISTING FOOTINGS ETC. CONTRACTOR TO ENSURE THAT ALL FOUNDATIONS TO EXISTING BUILDINGS AND UNDERGROUND SERVICES ARE NOT UNDERMINED OR DISTURBED IN ANY WAY DURING THE CONSTRUCTION WORKS.
3. CONTRACTOR TO BE RESPONSIBLE FOR ALL TEMPORARY WORKS DURING CONSTRUCTION OF THE SUPERSTRUCTURE AND FOUNDATIONS TO ENSURE THAT ALL ADJACENT BUILDINGS, ROADS, FOOTPATHS AND SERVICES ETC. REMAIN STABLE AND FREE FROM DAMAGE.
4. FOUNDATIONS ARE TO BE TAKEN DOWN TO THE DEPTHS SHOWN ON THIS DRAWING. TO BE CHECKED ON-SITE BY BUILDING CONTROL OFFICER/ENGINEER PRIOR TO CONSTRUCTION.
5. UNLESS NOTED OTHERWISE THUS: (600) ALL FOUNDATIONS TO BE A MINIMUM 600MM WIDE, CENTRED ON THE GRID LOCATION OVER.
6. ALL FORMATION LEVELS, SHUTTERS AND REINFORCEMENT TO BE CHECKED ON-SITE BY THE BUILDING CONTROL OFFICER PRIOR TO CONSTRUCTION.
7. ANY EXCAVATIONS LIABLE TO REMAIN EXPOSED TO THE ELEMENTS IN EXCESS OF 24 HOURS PRIOR TO CONCRETING (OR LESS IN INCLEMENT WEATHER) ARE TO RECEIVE 50MM PROTECTIVE BLINDING CONCRETE.
8. IN COHESIVE SOILS THE VERTICAL FACES OF ALL EXCAVATIONS MUST BE SUFFICIENTLY SMOOTH TO ALLOW MOVEMENT OF THE SOIL TO TAKE PLACE WITHOUT DISTURBING THE FOUNDATION.
9. FOUNDATIONS MAY BE TRENCH FILLED BUT THE TOP LEVEL OF CONCRETE MUST SUIT BRICK COURSING AND FINAL GROUND LEVELS.
10. NO SERVICE MAY BE BUILT THROUGH OR CAST INTO FOUNDATIONS WITHOUT THE ENGINEERS APPROVAL.
11. WHERE BLOCKWORK WALLING BELOW GROUND LEVEL IS IN EXCESS OF 900MM HIGH THEN 215MM THICK BLOCK WORK IS TO BE ADOPTED (BLOCKS LAID FLAT AND COURSED TO 225MM VERTICAL CENTERS). BACK FILLING IS TO BE CARRIED OUT EQUALLY EITHER SIDE OF WALLING AND TO BE OF AN APPROVED, WELL GRADED GRANULAR MATERIAL.
12. FOR EXISTING MANHOLES/DRAINRUNS/SERVICES REFERENCE IS TO BE MADE TO THE ARCHITECTURAL DRAWINGS. THE DEPTH AND POSITIONS OF ALL EXISTING SERVICES ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCING WORK AND ANY VARIATION WITH THE ARCHITECTURAL DRAWINGS IS TO BE REPORTED TO THEM PRIOR TO PROCEEDING. IF ANY DAMAGE IS CAUSED TO THE EXISTING RUNS/SERVICES DURING THESE WORKS BY THE CONTRACTOR ANY MAKING GOOD WILL BE AT THE CONTRACTORS OWN COST

### MASONRY NOTES:

1. ALL MASONRY IS DESIGNED, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH BS 5628-1:2005 PLUS ALL LATEST AMENDMENTS, INCLUDING ADEQUATE RESTRAINT AS DETAILED IN ANNEX 'D'
2. BRICK AND BLOCK STRENGTHS SHOWN ARE MINIMUM REQUIRED AND SHOULD BE INCREASED AS NECESSARY TO SUIT COURSING. CUT BRICKS/BLOCKS BELOW PADSTONE'S WILL NOT BE ACCEPTED.
3. TEST CERTIFICATES CONFIRMING BRICK AND BLOCK CRUSHING STRENGTHS WILL BE REQUIRED FOR ENGINEERS APPROVAL.
4. WALLS BELOW GROUND LEVEL ARE TO BE BUILT UP IN DENSE CONCRETE BLOCKWORK (MINIMUM 7.0KN/MM<sup>2</sup>) INNER AND OUTER LEAVES IN 1:14:3 MORTAR, WITH LEAN MIX CONCRETE CAVITY FILL UP TO 150MM BELOW GROUND LEVEL.
5. WALLS ABOVE GROUND LEVEL TO BE BUILT UP IN 1:1:6 MORTAR (CEMENT:LIME:SAND) OR EQUIVALENT UNLESS SHOWN OTHERWISE.
6. WHERE BLOCKWORK WALLING BELOW GROUND IS IN EXCESS OF 900MM HIGH, THEN 215MM THICK BLOCKWORK IS TO BE ADOPTED, USING BLOCK LAID FLAT AND COURSED AT 225MM VERTICAL CENTERS. BACKFILLING IS TO BE CARRIED OUT EQUALLY EITHER SIDE OF THE WALLING AND IS TO BE OF AN APPROVED, WELL GRADED, GRANULAR MATERIAL.
7. MINIMUM BLOCKWORK STRENGTH TO BE 7.0N/MM<sup>2</sup>, UNLESS STATED OTHERWISE.
8. CONTRACTOR TO OBTAIN CONFIRMATION FROM MANUFACTURERS CONCERNING SUITABILITY OF BLOCKS AND BRICKS FOR USE BELOW DPC.
9. WALL TIES TO BE STAINLESS STEEL STAFIX RT2 AT 450CRS VERTICALLY AND 900CRS HORIZONTALLY (STAGGERED). TIES TO BE POSITIONED AT 225CRS VERTICALLY AROUND ALL OPENINGS.

### TIMBER NOTES:

1. GALVANISED STEEL STRAPS TO BE PROVIDED AT NOT GREATER THAN 1000MM CENTERS BETWEEN TIMBER AND WALLS AND OR STEELWORK, COMPLETE WITH SOLID BLOCKING.
2. ALL TIMBER TO BE MINIMUM STRENGTH CLASS C16 UNLESS NOTED OTHERWISE.
3. ALL TIMBERS PROJECTING INTO CAVITY OF CAVITY WALL CONSTRUCTION TO HAVE ENDS LIBERALLY COATED IN 'WOLMANOL' OR SIMILAR APPROVED GRAIN PRESERVATIVE.
4. ALL TIMBER TO BE REGULARISED AND SUPPLIED AT A MOISTURE CONTENT AVERAGE NOT EXCEEDING 18%.
5. ALL CONNECTORS, BOLTS AND WASHERS TO BE GALVANISED.
6. ALL DIMENSIONS AND BEARING POINTS OF THE TRUSSES ARE TO BE CHECKED PRIOR TO FABRICATION.
7. ALL ROOF BRACING IS TO THE DESIGN OF THE SPECIALIST SUPPLIER. HOWEVER, ALL ROOF BRACING MEMBERS ARE TO BE AT LEAST 97X22. GRADE C16 AND ARE TO BE NAILED TO EVERY TRUSSED RAFTER THEY CROSS WITH 2NO. 3.35MM Ø X 65MM LONG GALVANISED ROUND WIRE NAILS. WHERE BRACING MEMBERS ARE PROVIDED IN TWO PIECES THE ARE TO BE LAP JOINTED OVER AT LEAST TWO TRUSSED RAFTERS AND NAILED AS ABOVE.

### TIMBER LINTEL SCHEDULE:

OPENINGS UP TO 1100mm - 150x100mm C16 LINTEL  
OPENINGS UP TO 1900mm - 200x100mm C16 LINTEL  
CONSULT WITH STRUCTURAL ENGINEER IF LARGER  
OPENINGS REQUIRED IN STUD WALL.

### CONSTRUCTION (DESIGN AND MANAGEMENT REGULATIONS NOTES

ALL WORKS AND SITE PROCEDURES MUST BE IN KEEPING WITH THE LATEST VERSION OF THE 'CDM REGULATIONS 2015' AND A PRINCIPAL DESIGNER IS TO BE APPOINTED BY THE CLIENT TO MANAGE AND COORDINATE HEALTH AND SAFETY MATTERS ACCORDINGLY

### TEMPORARY WORKS - AS APPLICABLE

THE CONTRACTOR IS ENTIRELY RESPONSIBLE FOR MAINTAINING THE STABILITY OF ALL EXISTING BUILDINGS AND STRUCTURES WITHIN, AND ADJACENT TO, THE WORKS, FROM THE DATE OF POSSESSION OF THE SITE UNTIL PRACTICAL COMPLETION OF THE WORKS. THE DESIGN, INSTALLATION (INCLUDING SEQUENCE), MAINTENANCE AND REMOVAL (INCLUDING SEQUENCE) OF THE TEMPORARY WORKS IS ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR. IN ADDITION TO THE SUPPORT OF THE VERTICAL LOADS, DUE REGARD SHALL BE GIVEN TO THE OVERALL LATERAL STABILITY OF THE STRUCTURES, AND THE LATERAL STABILITY OF WALLS COLUMNS AND PIERS, ESPECIALLY WHERE ADJACENT EXISTING FLOORS AND ROOFS ARE TO BE DEMOLISHED. THE TEMPORARY SUPPORT SYSTEMS ARE TO BE ERECTED OFF A FOUNDATION/SPREADER SYSTEM ADEQUATE FOR THE VERTICAL AND HORIZONTAL LOADS REQUIRED TO BE SUPPORTED. THE DESIGN OF THE TEMPORARY WORKS IS TO BE UNDERTAKEN BY A COMPETENT PERSON.

THE CONTRACTOR IS TO ENSURE THAT ALL EXISTING CONSTRUCTION IS ADEQUATELY SUPPORTED PRIOR TO COMMENCING DEMOLITION WORKS. IF IN DOUBT ENGINEER TO BE CONSULTED PRIOR TO COMMENCING DEMOLITION.  
BEFORE COMMENCING REMOVAL OF TEMPORARY SUPPORTS THE CONTRACTOR IS TO COMPLETE ERECTION AND CONNECTION OF THE NEW PERMANENT SUPPORTING STRUCTURE. THE CONTRACTOR IS TO ENSURE THAT THE TEMPORARILY PROPPED STRUCTURE IS ADEQUATELY SUPPORTED ON THE NEW PERMANENT WORKS PRIOR TO REMOVAL OF ANY TEMPORARY SUPPORTS. THE CONTRACTOR IS TO ENSURE THAT ALL PARTS OF THE NEW SUPPORTING STRUCTURE HAVE GAINED ADEQUATE STRENGTH PRIOR TO REMOVING TEMPORARY SUPPORTS. THE LOADINGS FOR THE TEMPORARY WORKS DESIGN ARE GIVEN BELOW, AND ON THE DRAWINGS AS APPROPRIATE. NOTE: ALL LOADS ARE UNFACTORED. THE TEMPORARY WORKS DESIGNER MUST MULTIPLY THESE LOADS BY THE APPROPRIATE ULTIMATE LOAD FACTORS AS GIVEN IN THE RELEVANT DESIGN STANDARD.

STEEL BEAMS DEAD LOAD = 40 kN/m  
STEEL BEAMS IMPOSED LOAD = 15 kN/m

### DEMOLITION

THE DEMOLITION WORKS ARE TO BE CARRIED OUT WITH GREAT CARE. IF AT ANY TIME THE CONTRACTOR IS UNSURE IF UNPROPPED STRUCTURAL MEMBERS ARE TAKING SUPPORT OFF CONSTRUCTION PROPOSED TO BE DEMOLISHED, DEMOLITION WORK MUST CEASE IMMEDIATELY AND THE CONTRACTOR IS TO OBTAIN FURTHER ADVICE FROM ENGINEER PRIOR TO CONTINUING.  
DEMOLITION WORK OTHER THAN THAT INDICATED ON ENGINEERING/THE ARCHITECTS' DRAWINGS IS NOT PERMITTED. IF THE CONTRACTOR BELIEVES THAT ADDITIONAL DEMOLITION TO THAT SHOWN ON ENGINEERING/THE ARCHITECTS' DRAWINGS IS NECESSARY, THEN FURTHER INSTRUCTIONS ARE TO BE SOUGHT FROM ENGINEER AND THE ARCHITECT PRIOR TO COMMENCING THIS ADDITIONAL

### DEMOLITION WORK.

THE CONTRACTOR IS TO PRODUCE A METHOD STATEMENT FOR DEMOLITION WORKS AND THIS METHOD STATEMENT IS TO BE SUBMITTED TO THE PRINCIPAL DESIGNER FOR COMMENT NOT LESS THAN 2 WEEKS PRIOR TO COMMENCING THE DEMOLITION WORKS.

### EXISTING SERVICES

FOR THE INDICATIVE POSITIONS OF EXISTING BURIED SERVICES REFERENCE IS TO BE MADE TO THE ARCHITECTS DRAWINGS. THE ACCURACY OF THIS INFORMATION CANNOT BE GUARANTEED, AND THEREFORE IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE POSITIONS AND DEPTHS OF ALL UNDERGROUND SERVICES (INCLUDING THOSE NOT SHOWN ON ENGINEERING DRAWINGS) PRIOR TO THE WORKS COMMENCING. THE CONTRACTOR IS TO ALSO NOTE ANY OVERHEAD CABLES ETC. THAT MAY PRESENT A HAZARD DURING THE WORKS.

### SOIL CONDITIONS

EXCAVATION IS TO PROCEED WITH GREAT CARE. AS EXCAVATION PROCEEDS THE CONTRACTOR IS TO MAINTAIN VIGILANCE FOR GROUND CONDITIONS WHICH MAY AFFECT THE STABILITY OF THE EXCAVATIONS, AND THE SAFETY OF OPERATIVES. (E.G WEAK/SOFT SOILS, WATER TABLE, TOXIC SUBSTANCES/GASES BURIED SERVICES ETC.) ADEQUATE SUPPORT TO BE PROVIDED TO SIDES OF EXCAVATIONS AS NECESSARY.

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8. THIRD PARTY SUPPLIER TO MEASURE ON SITE BEFORE MANUFACTURING
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12. "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.

13. REPETITIVE FEATURES ARE NOT ALWAYS DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

14. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 100MM FROM FACE OF STUD (WALL).

15. LINE OF EXISTING FLOOR SLABS, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE.

16. FLOOR LEVELS AND BOUNDARIES ASSUMED WHERE NOTED, DEPICTED BY LINE DASH LINES.

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1:100m

0 0.5 1 2 3

1:50m


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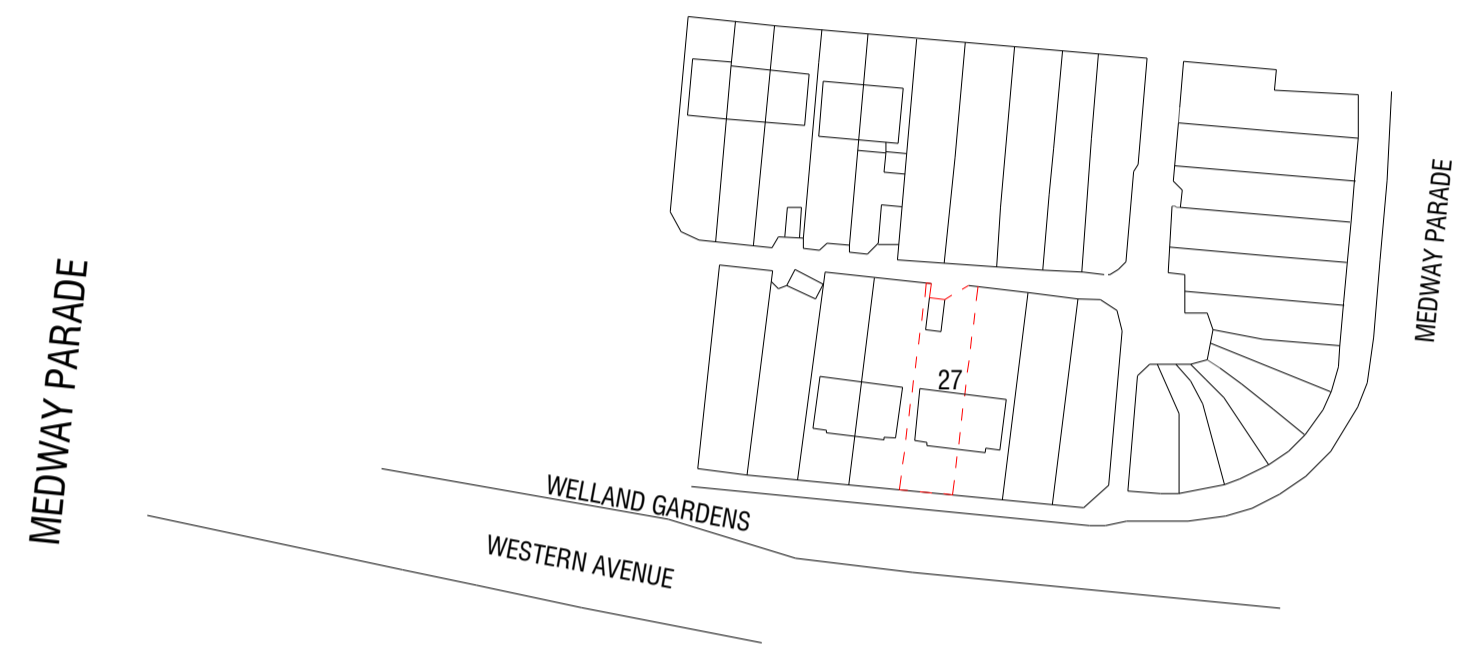
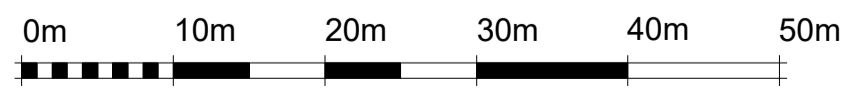
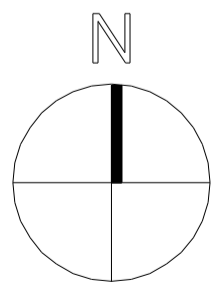
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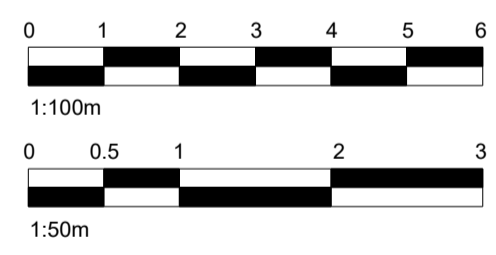
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**1 Block Plan**  
1 : 500



**2 Location Plan**  
1 : 1250



— APPLICATION SITE

No.:	Revision:	Date:



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Suite 114  
80 Cumberland House, Scrubs Lane  
Hammersmith & Fulham, NW106RF  
Client:  
www.bischell.co.uk

**27 Welland Gardens Perivale Greenford UB6 8SZ**

Drawing Title:  
**Block and Location Plan**

Status: --

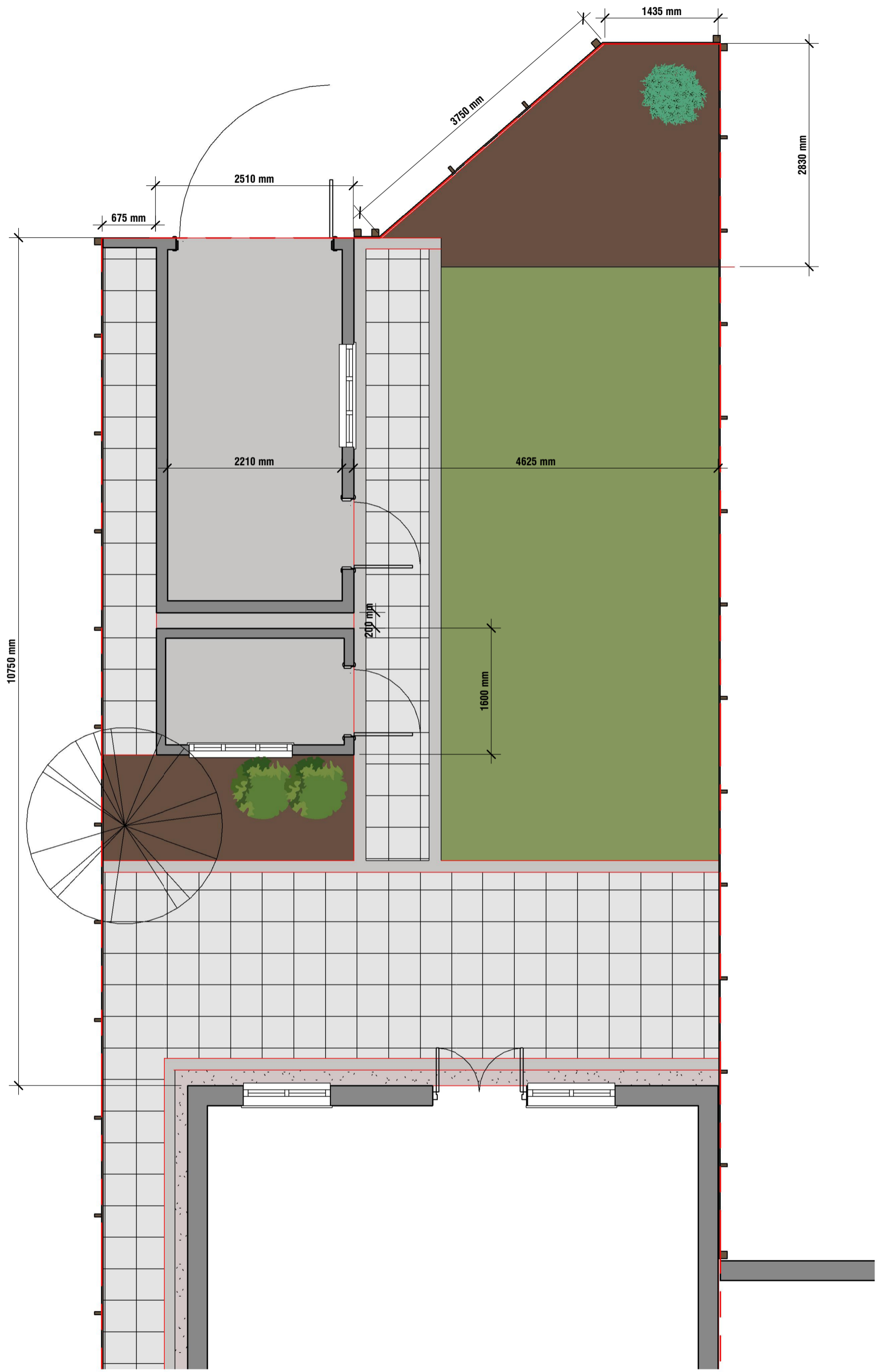
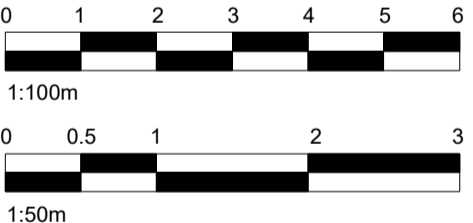
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Drawing No.: **PN-001** Rev: --

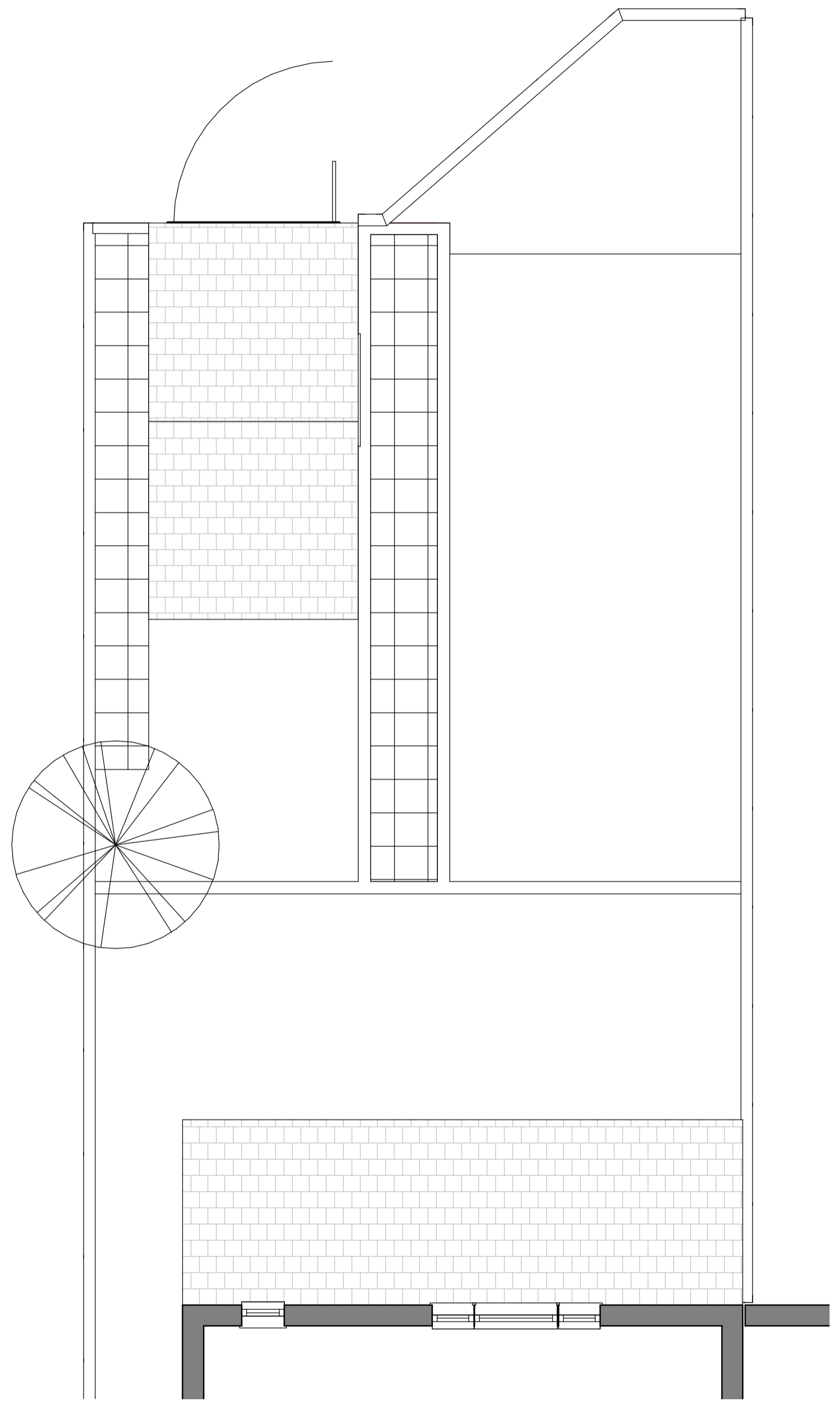
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**1** Ground Floor Plan - Existing  
1 : 50



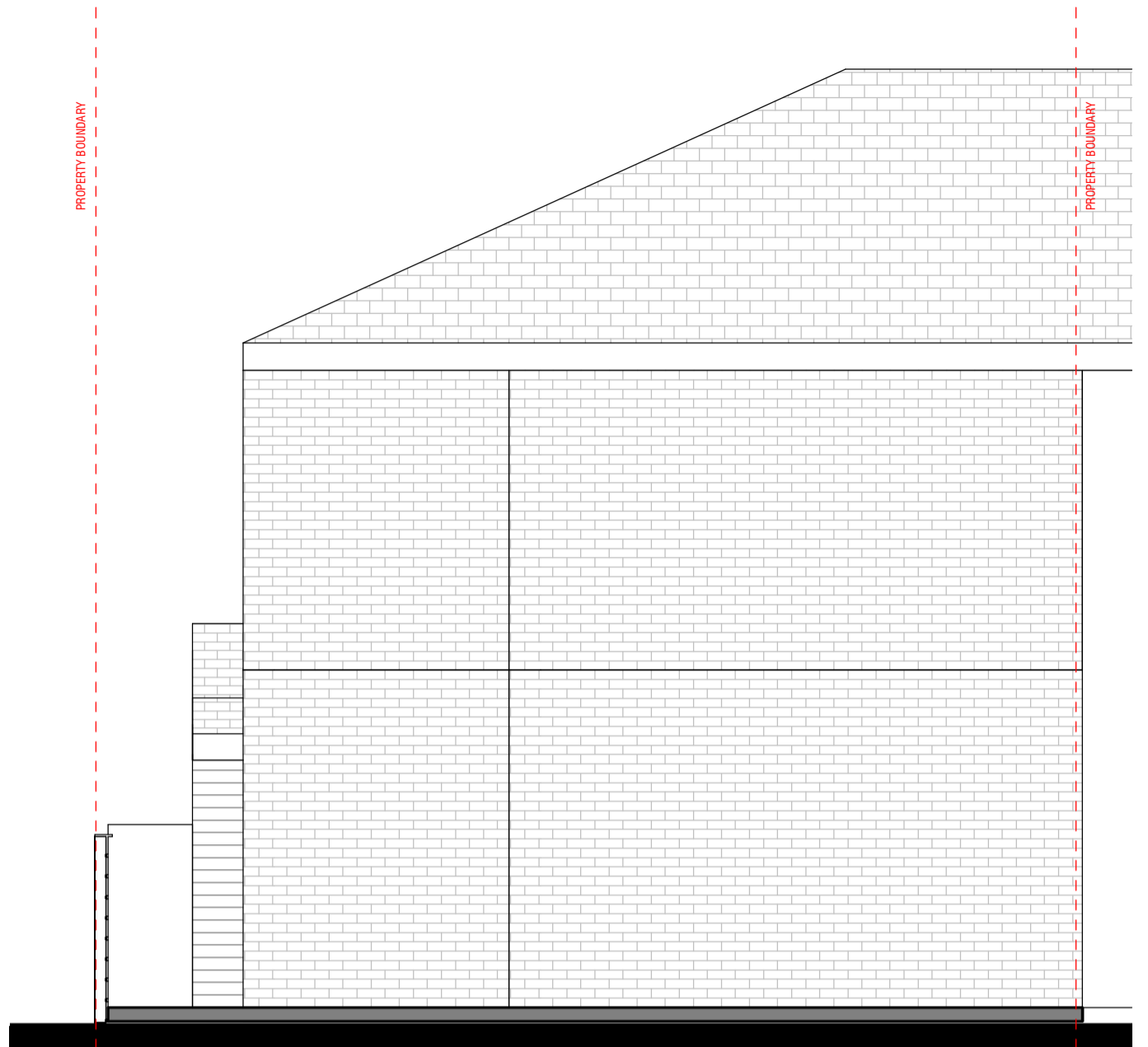
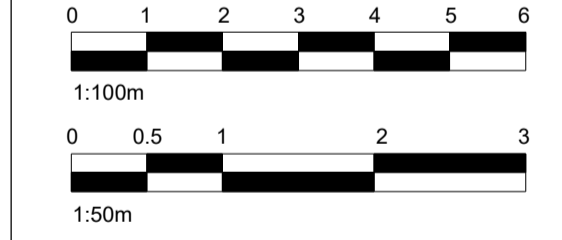
**2** First Floor Plan - Existing  
1 : 50

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Drawing Title: Existing Plans		
Status: --		
Scale: 1 : 50 @A2	Date: 28/06/2022	Drawn By: NAP
Drawing No.: PN-004		Rev:

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**1** Existing Front Elevation  
1 : 50



**2** Existing Left Side Elevation  
1 : 50



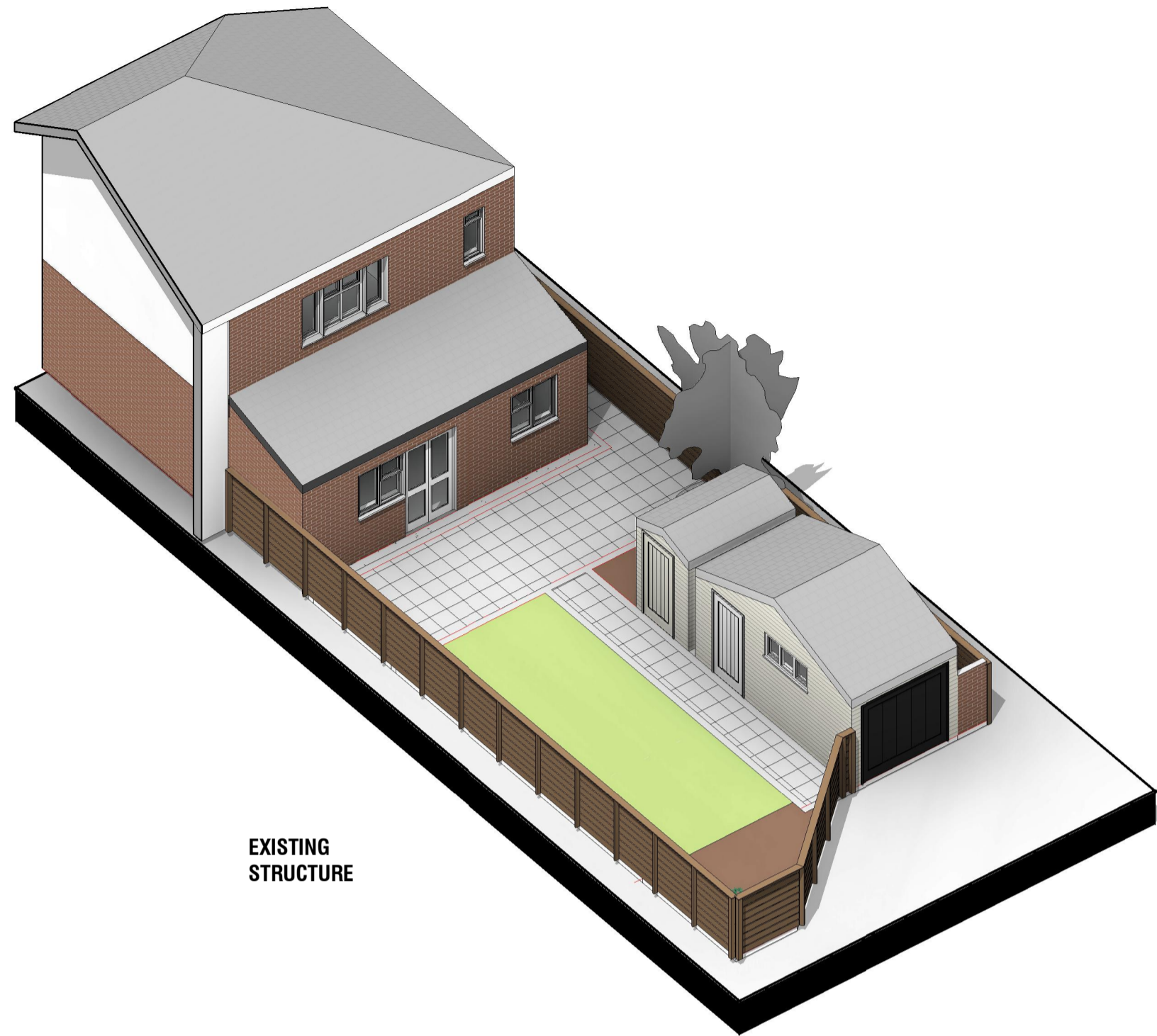
**3** Existing Rear Elevation  
1 : 50



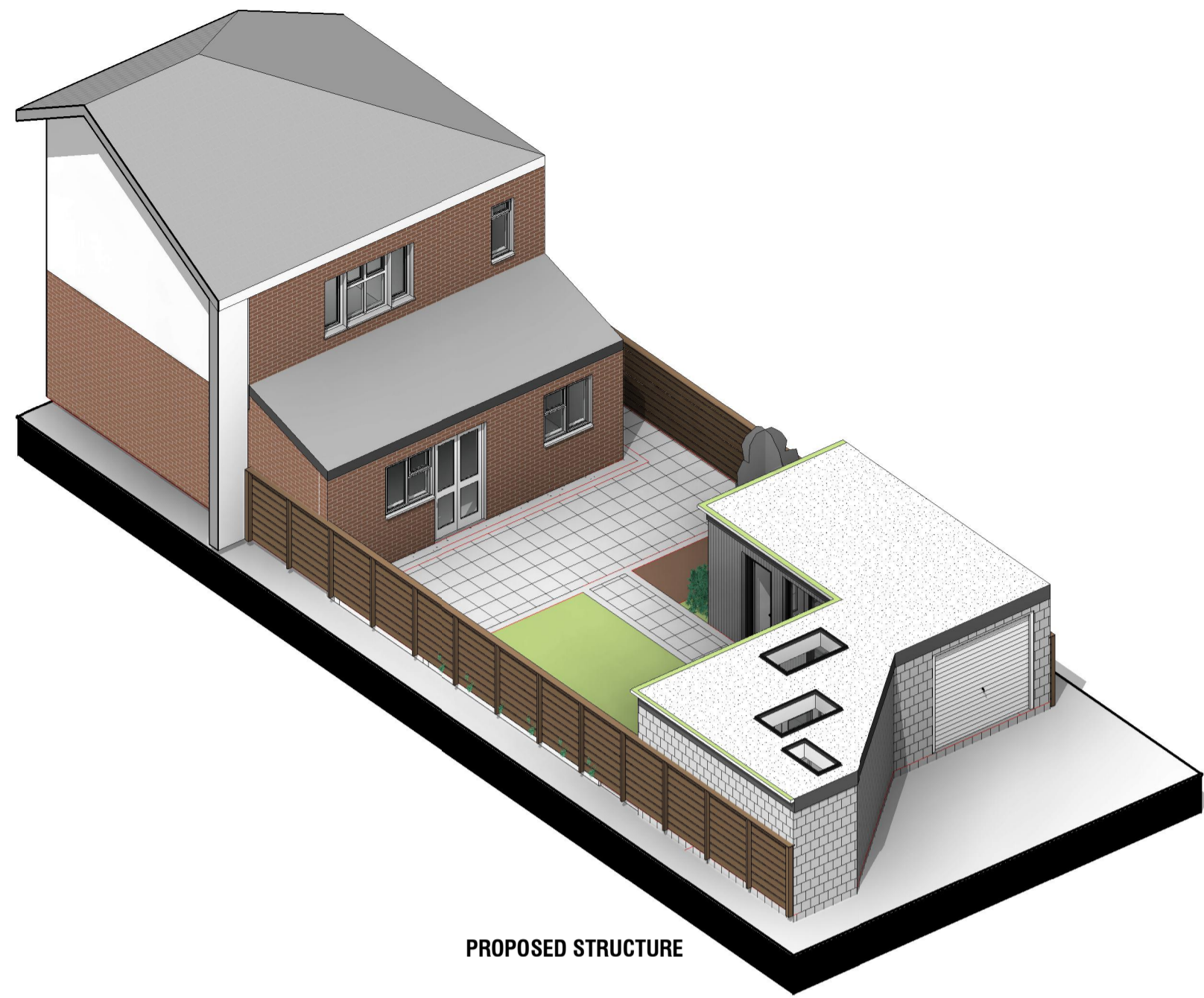
**4** Existing Right Side Elevation  
1 : 50

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Drawing Title: Existing Elevations		
Status: --		
Scale: 1 : 50 @A2	Date: 28/06/2022	Drawn By: NAP
Drawing No.: PN-006		Rev:

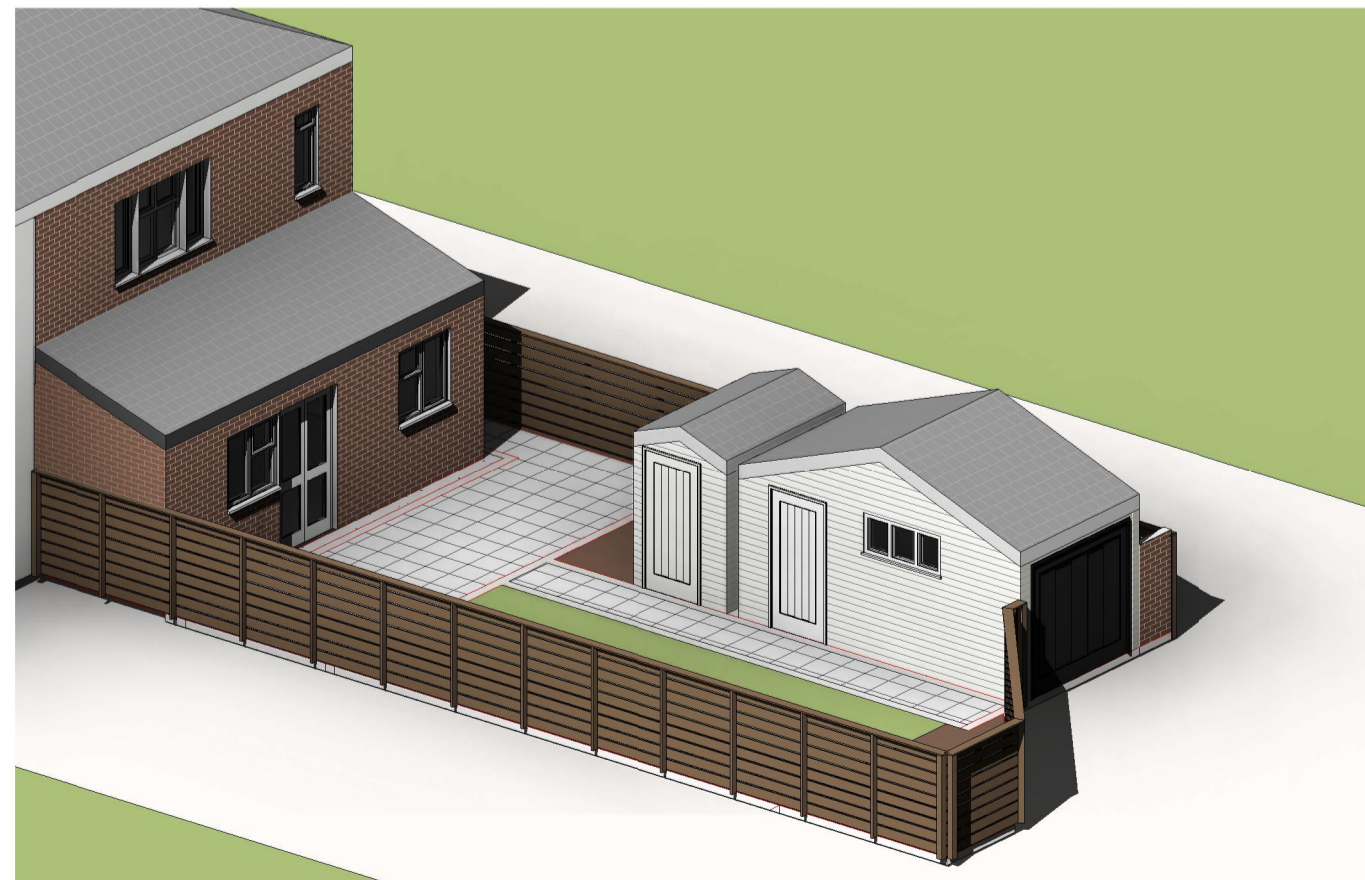
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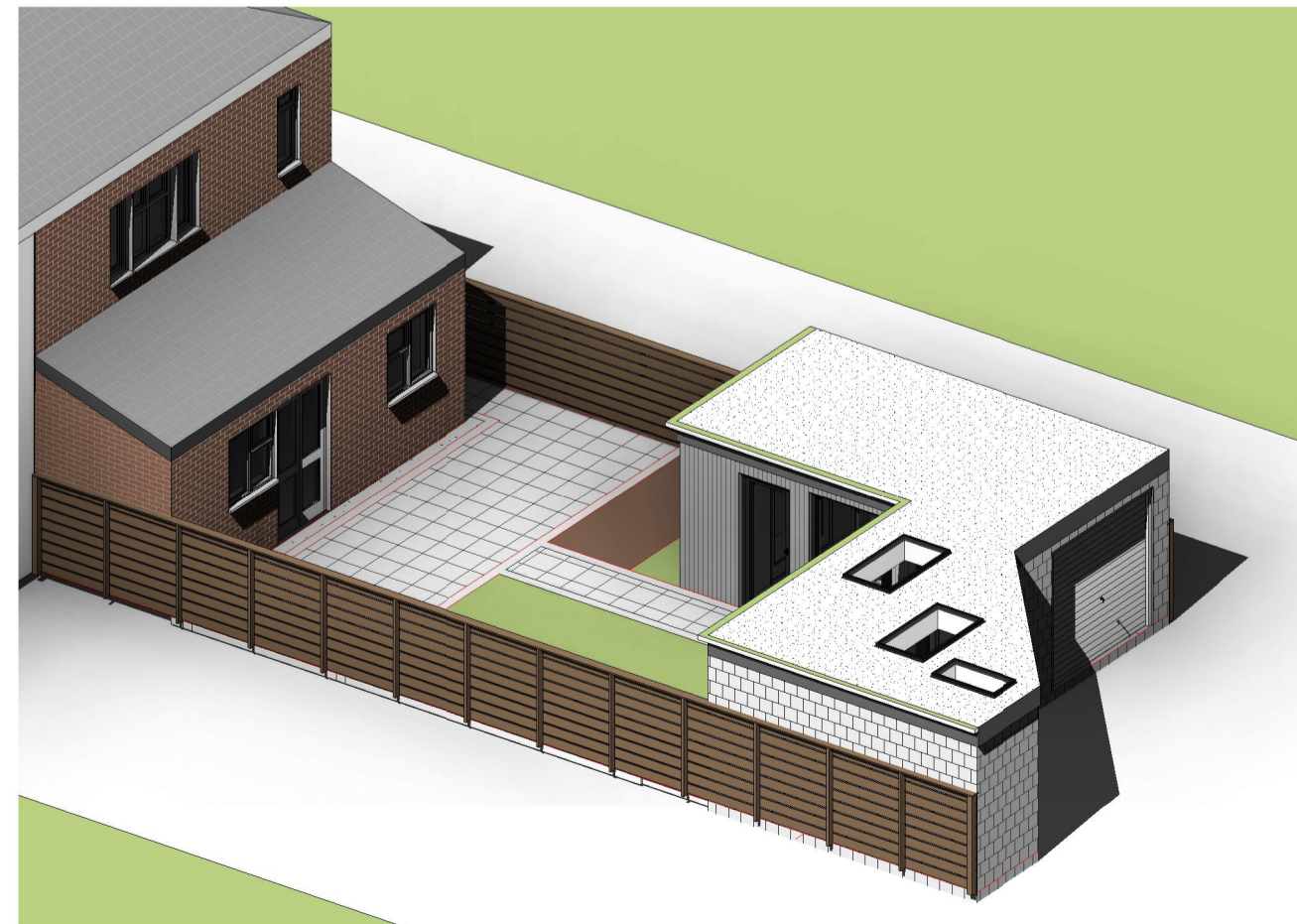
EXISTING STRUCTURE



PROPOSED STRUCTURE

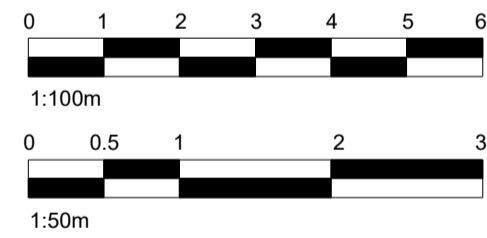


1 Existing



2 Proposed

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27 Welland Gardens Perivale Greenford UB6 8SZ

Drawing Title:  
3D - Exist. & Proposed

Status: --

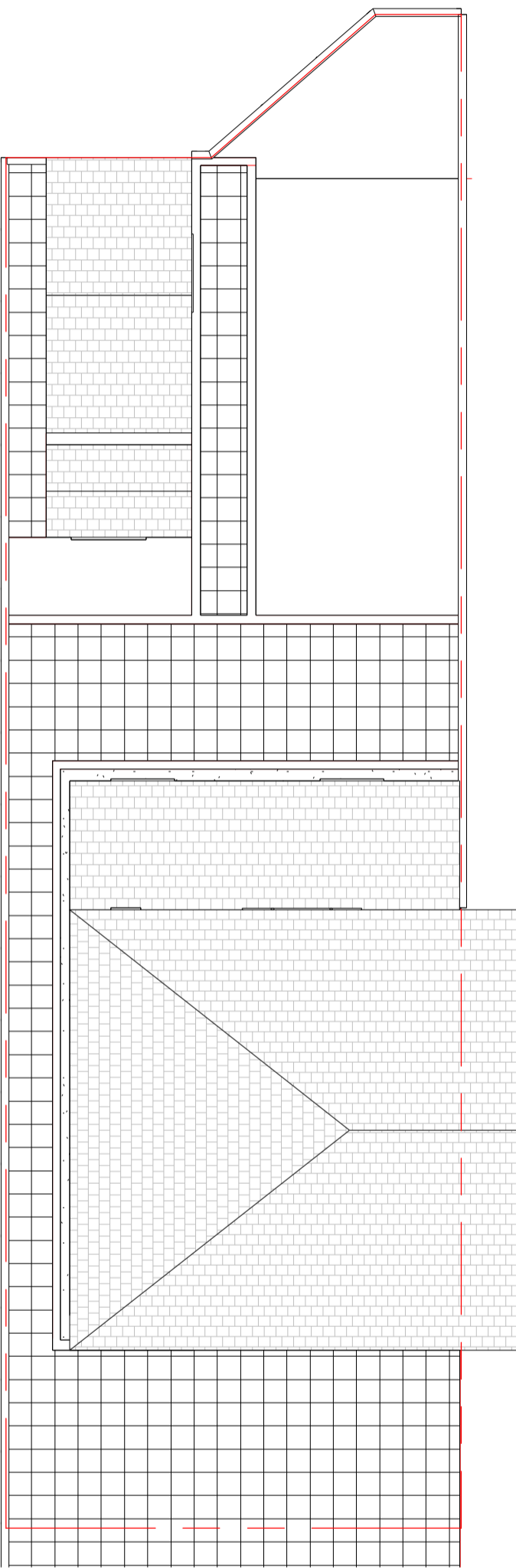
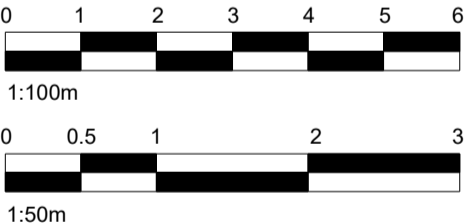
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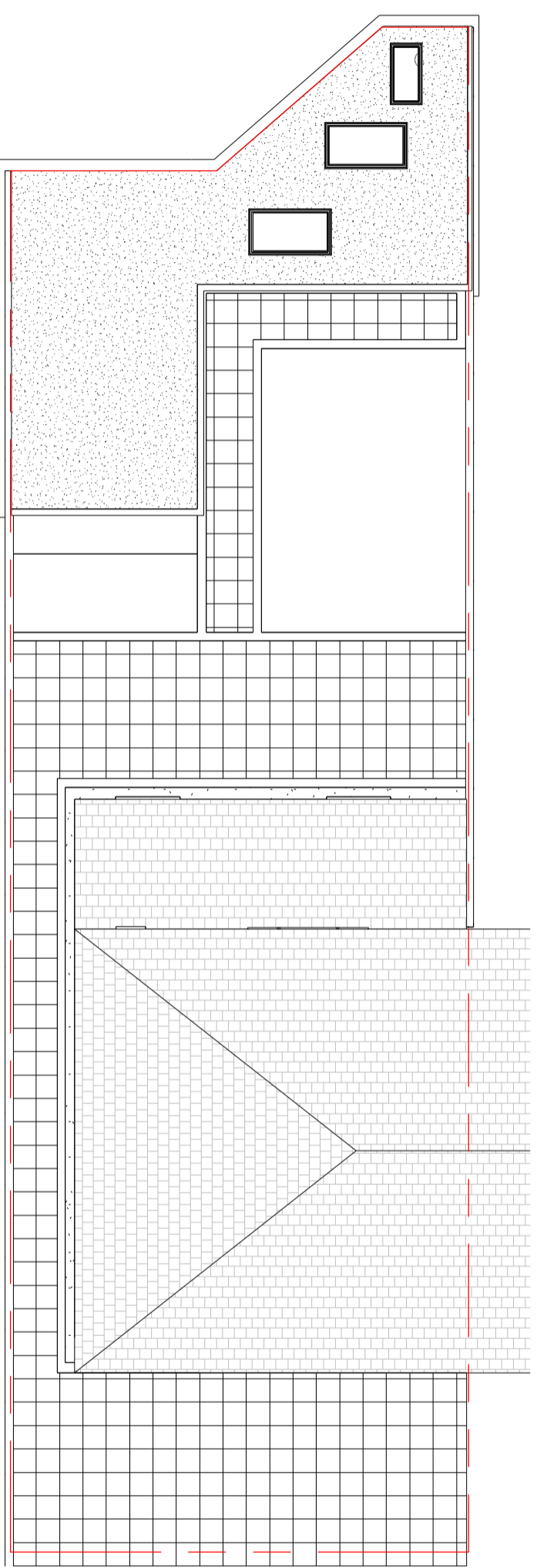
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**1** Site Plan - Existing  
1 : 100



**2** Site Plan - Proposed  
1 : 100

No.:	Revision:	Date:



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Client:  
**27 Welland Gardens Perivale Greenford UB6 8SZ**

Drawing Title:  
**Site Plan**

Status:  
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Scale: **1 : 100 @A2** Date: **28/06/2022** Drawn By: **NAP**

Drawing No.: **04** Rev:

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**DEMOLITION - GENERAL NOTES**

BEFORE STARTING ANY DEMOLITION WORKS, EXAMINE ALL AVAILABLE INFORMATION, CARRY OUT A SURVEY OF THE STRUCTURES, SITE AND SURROUNDING AREA, INSURING SITE SAFETY AT ALL TIMES.

SUBMIT REPORT AND METHOD STATEMENTS DESCRIBING:

- FORM, CONDITION AND DETAILS OF THE STRUCTURES, SITE AND SURROUNDING AREA.
- FORM, LOCATION AND REMOVAL METHODS OF FLAMMABLE, TOXIC OR HAZARDOUS MATERIALS.
- FORM, LOCATION AND REMOVAL METHODS OF MATERIALS FOR REUSE OR RECYCLING.
- TYPE AND LOCATION OF ADJOINING OR SURROUNDING PREMISES WHICH MAY BE ADVERSELY AFFECTED BY NOISE VIBRATION, DUST OR REMOVAL OF STRUCTURE.
- IDENTIFICATION AND LOCATION OF SERVICES ABOVE AND BELOW GROUND, INCLUDING THOSE REQUIRED FOR THE CONTRACTOR'S OWN USE. ARRANGEMENTS FOR DISCONNECTION AND REMOVAL OF SERVICES.
- SEQUENCE AND METHOD OF DEMOLITION INCLUDING DETAILS OF SPECIFIC PRE-WEAKENING. ARRANGEMENTS FOR PROTECTION OF PERSONNEL AND THE PUBLIC INCLUDING EXCLUSION OF UNAUTHORIZED PERSONS.
- PROPOSED PROGRAMME OF WORK

ALLOW FOR ALL TEMPORARY NEEDLING AND PROPPING OF WALLS & FLOORS ABOVE CONSTRUCTION AREA TO PROVIDE TEMPORARY STRUCTURAL STABILITY TO THE EXISTING BUILDING IF REQUIRED.

CREATE 2 TRIAL HOLES AT EACH BOUNDARY TO INSPECT GROUND CONDITIONS.

ENSURE DEMOLITION DOES NOT START UNTIL ALL SERVICES ARE DISCONNECTED. LOCATE, DISCONNECT AND SEAL DISUSED DRAIN CONNECTIONS. PROTECT DRAINS, MANHOLES, INSPECTION CHAMBERS, GULLIES, VENT PIPES AND FITTINGS STILL IN USE AND ENSURE THAT THEY ARE KEPT FREE OF DEBRIS. MAKE GOOD ANY DAMAGE ARISING FROM DEMOLITION WORK. LEAVE CLEAN AND IN WORKING ORDER AT COMPLETION.

PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE SAME AND ADJOINING PROPERTIES. MINIMUM 72 HOURS NOTICE TO OCCUPIERS IF SHUTDOWN IS NECESSARY DURING CHANGEOVER.

GIVE NOTICE AND NOTIFY SERVICE AUTHORITY OR OWNER OF DAMAGE ARISING FROM THE EXECUTION OF THE WORKS TO REMAINING SERVICES. COMPLETE REPAIRS AS DIRECTED AND TO THE SATISFACTION OF THE SERVICES AUTHORITY OR OWNER.

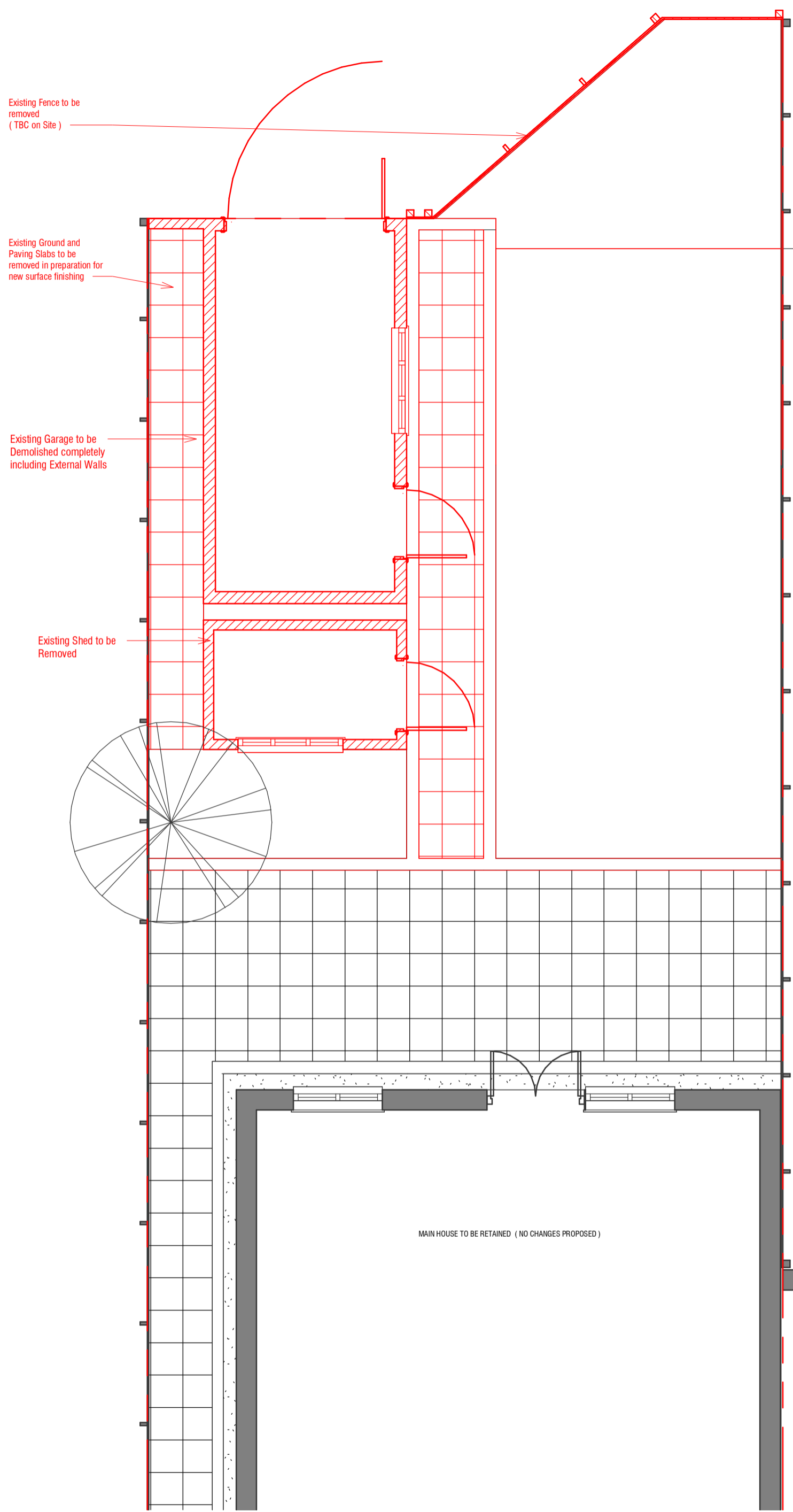
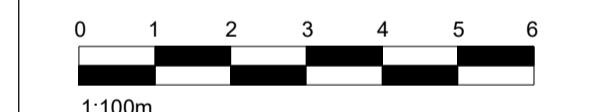
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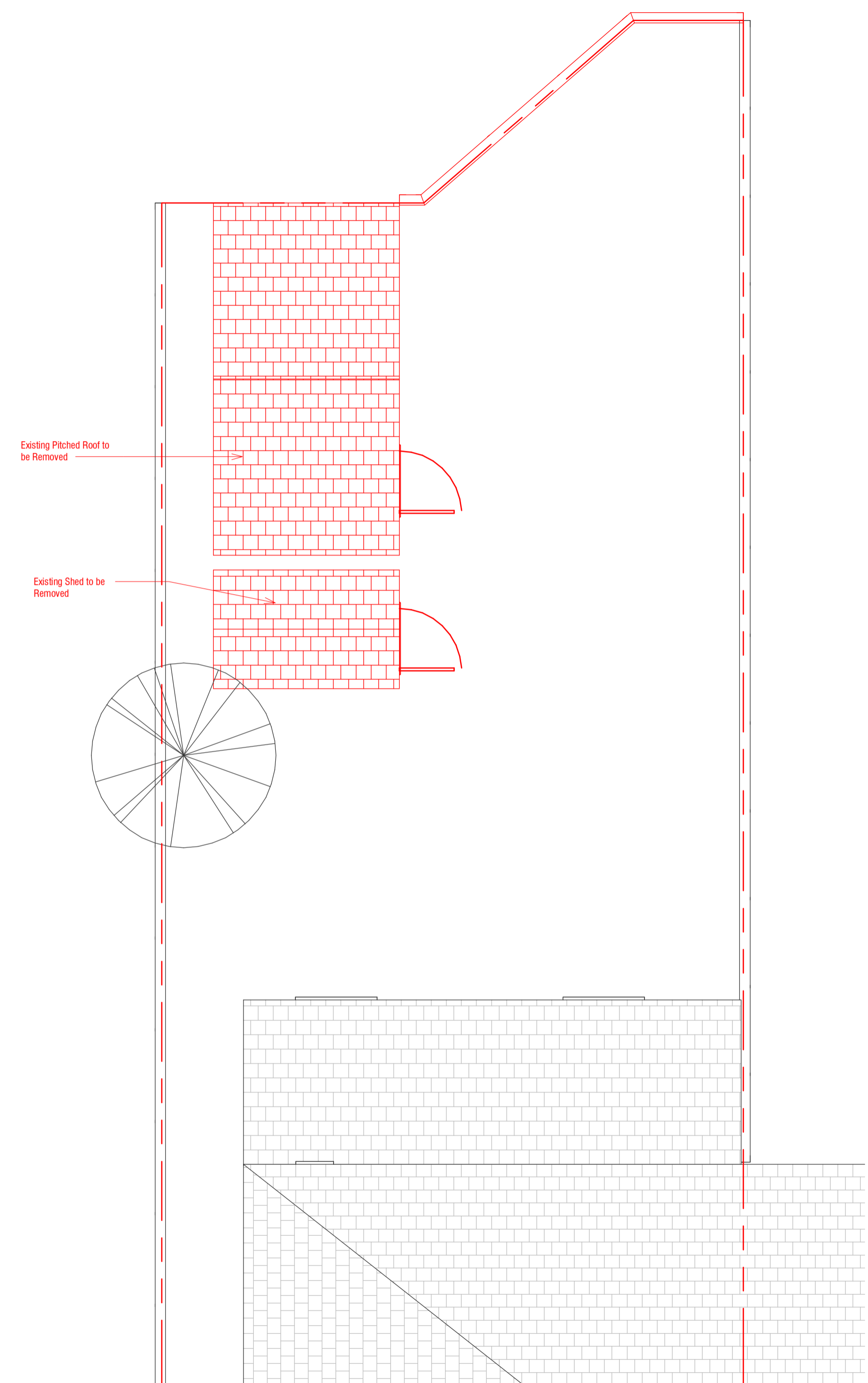
DEMOLISH STRUCTURES IN ACCORDANCE WITH BS 6187 BY OPERATIVES APPROPRIATELY SKILLED AND EXPERIENCED FOR THE TYPE OF WORK, HOLDING OR IN TRAINING TO OBTAIN RELEVANT CITB CERTIFICATES OF COMPLIANCE. SITE STAFF RESPONSIBLE FOR SUPERVISION AND CONTROL OF WORK SHOULD BE EXPERIENCED IN THE ASSESSMENT OF RISKS INVOLVED AND METHODS OF DEMOLITION USED. WHERE POSSIBLE REDUCE AIRBORNE DUST BY PERIODICALLY SPRAYING DEMOLITION WORKS WITH AN APPROPRIATE WETTING AGENT

SUBMIT METHOD STATEMENT FOR CONTROL, CONTAINMENT AND CLEAN UP OF LEAD DUST.

ON COMPLETION CLEAR AWAY AND LEAVE THE SITE IN A TIDY CONDITION.



**1** Ground Floor Plan - Demolition  
1 : 50



**2** Roof Plan - Demolition  
1 : 50



No.:	Revision:	Date:
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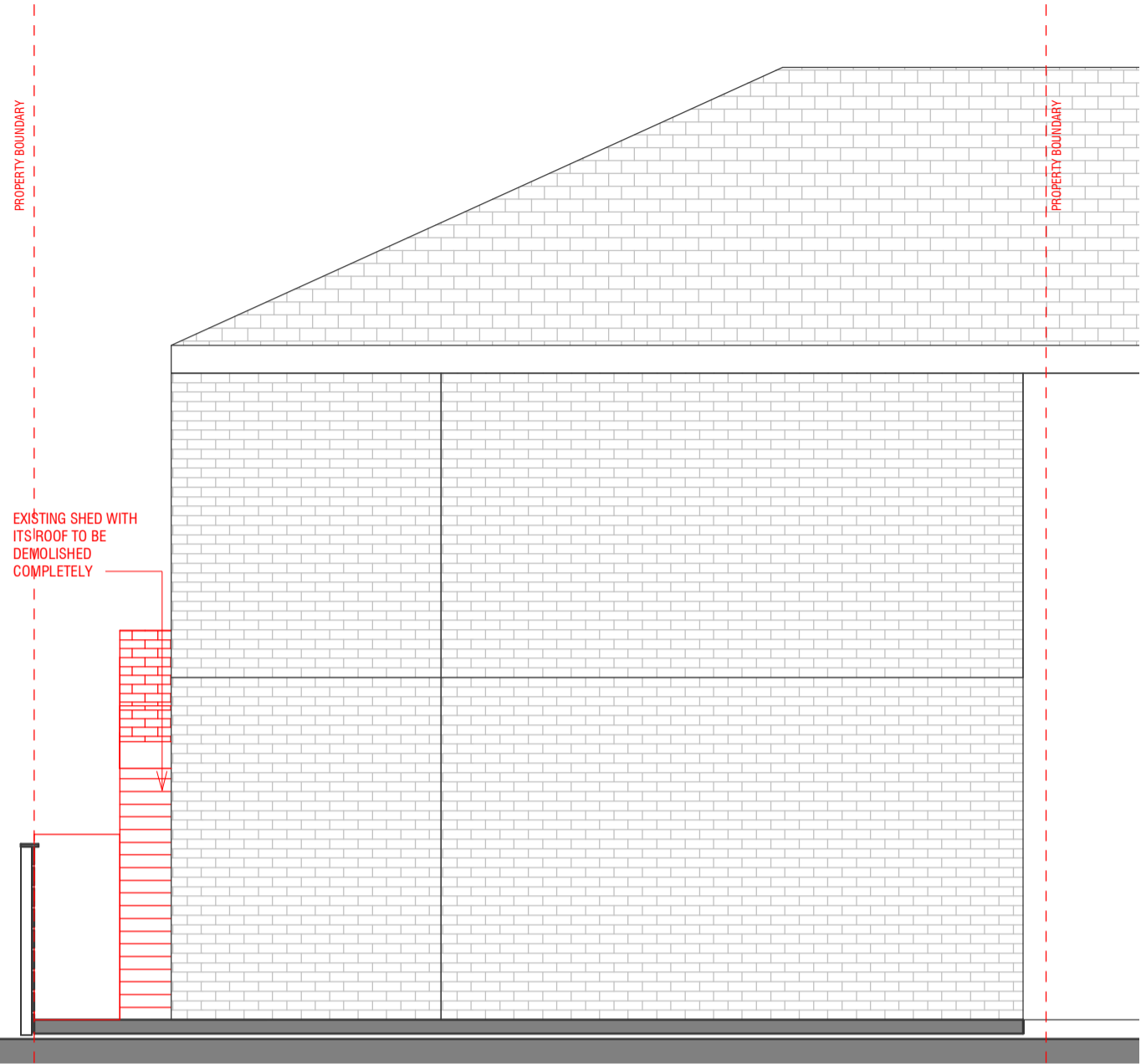
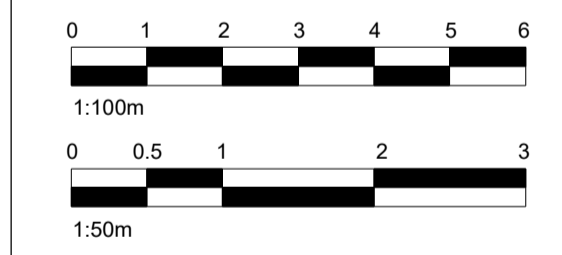
Client:  
**27 Welland Gardens Perivale Greenford UB6 8SZ**

Drawing Title:	<b>Demolition Plans</b>		
Status:	--		
Scale:	1 : 50 @A2	Date:	28/06/2022
Drawn By:	NAP		
Drawing No.:	005	Rev:	

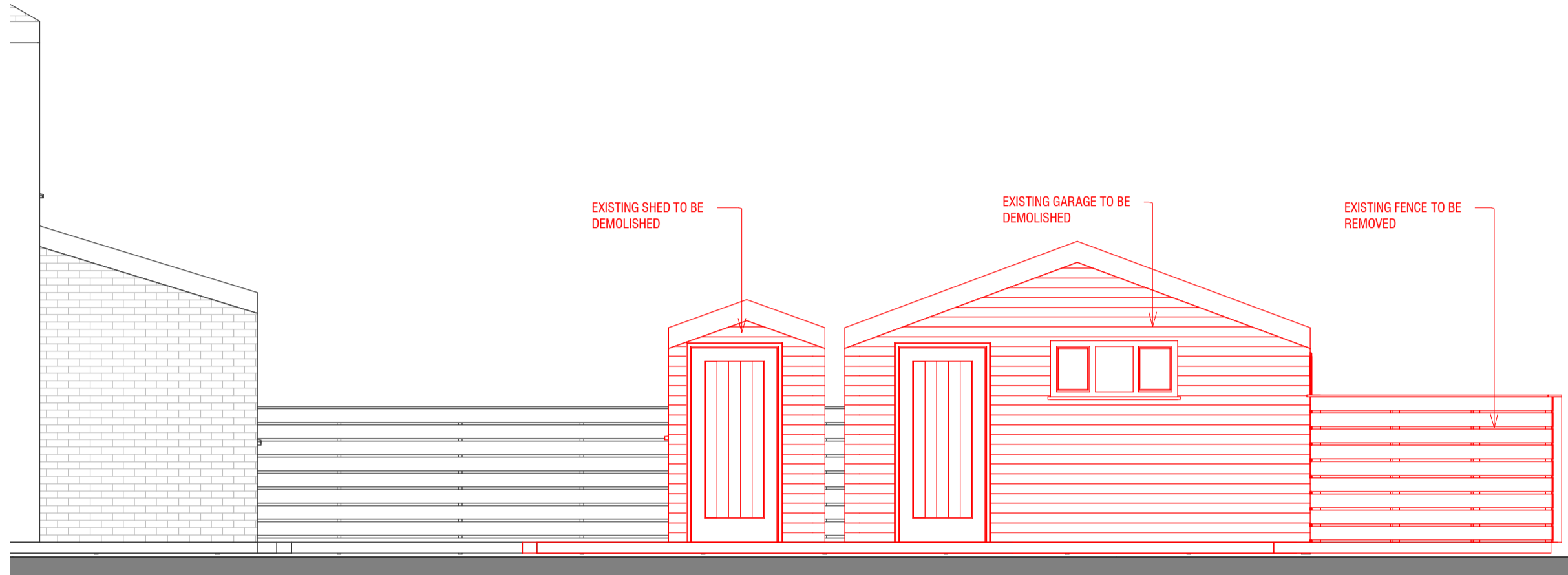


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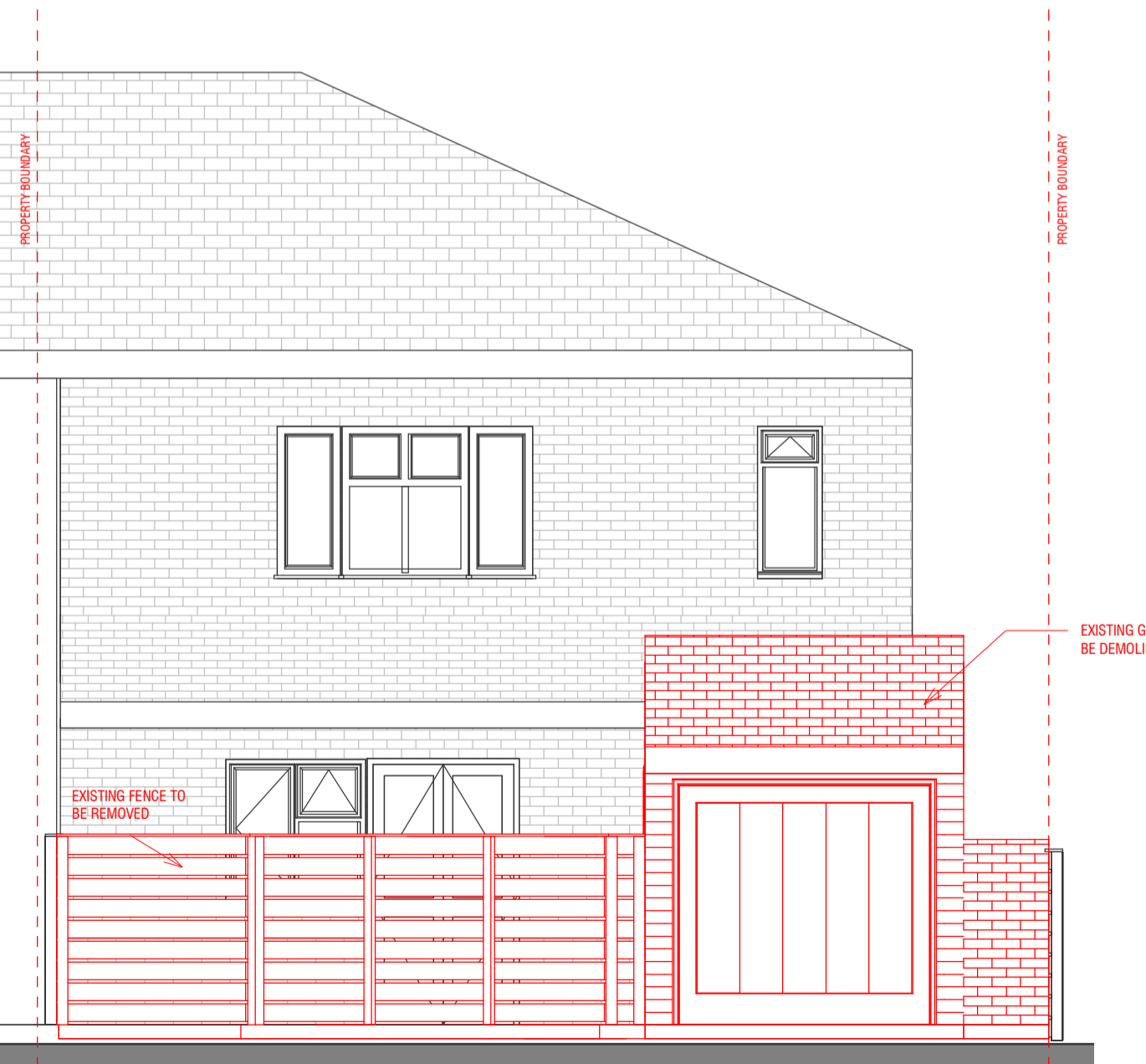
- GENERAL NOTES**
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  - THIRD PARTY SUPPLIER TO MEASURE ON SITE BEFORE MANUFACTURING
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  - ANY DISCREPANCIES IN THESE DRAWINGS SHOULD BE NOTIFIED TO US PRIOR TO ANY WORKS PROCEEDING.
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  - REPETITIVE FEATURES ARE NOT ALWAYS DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
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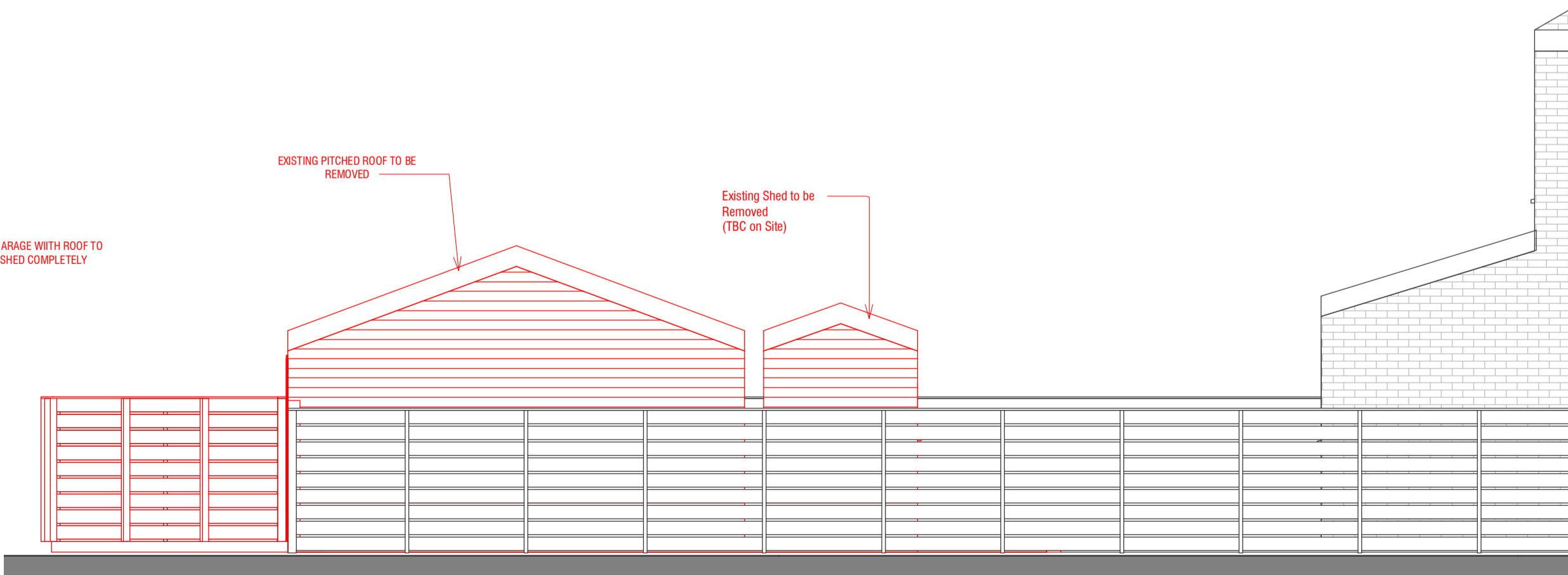
**1 Front Elevation - Demolition**  
1 : 50



**2 Right Side Elevation - Demolition**  
1 : 50

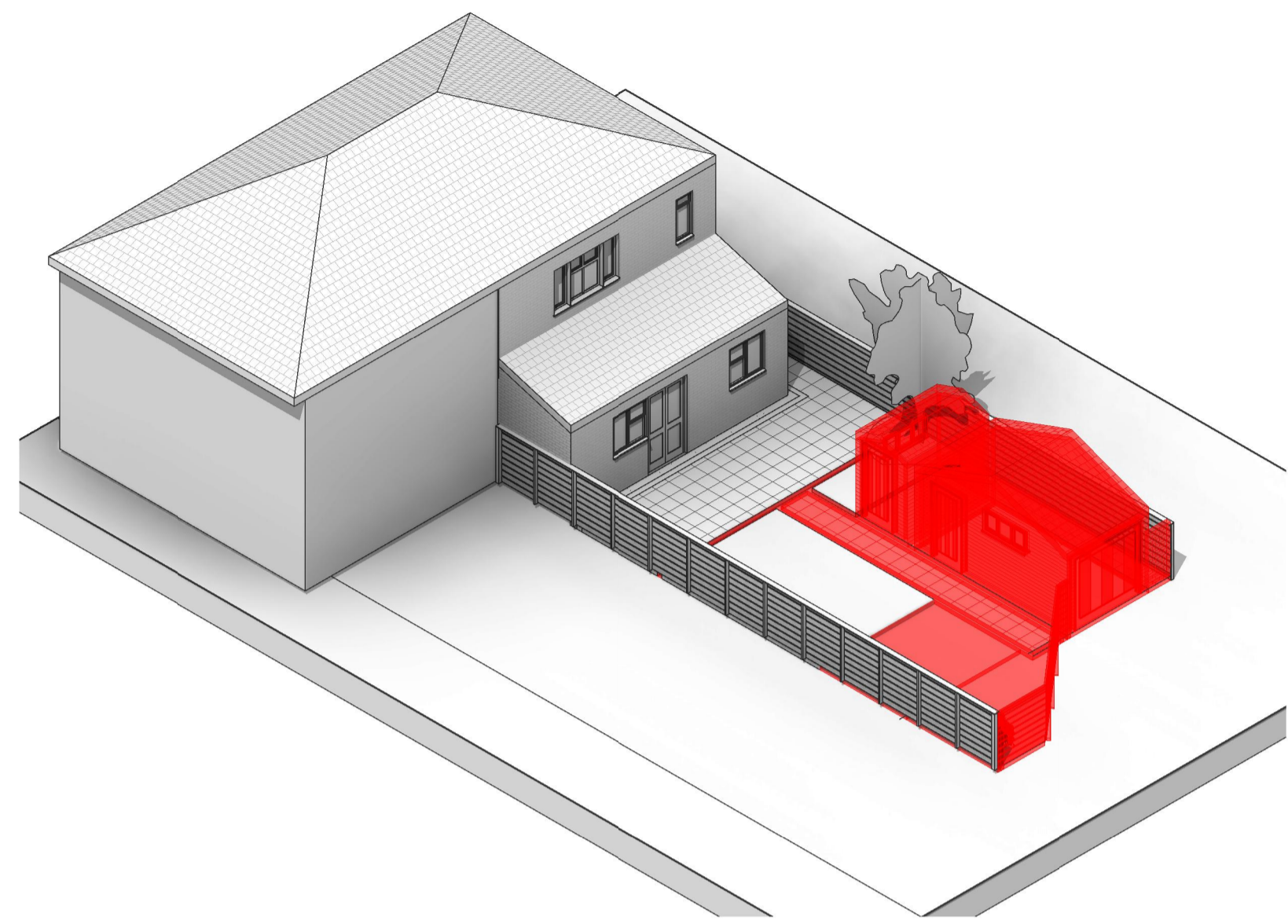
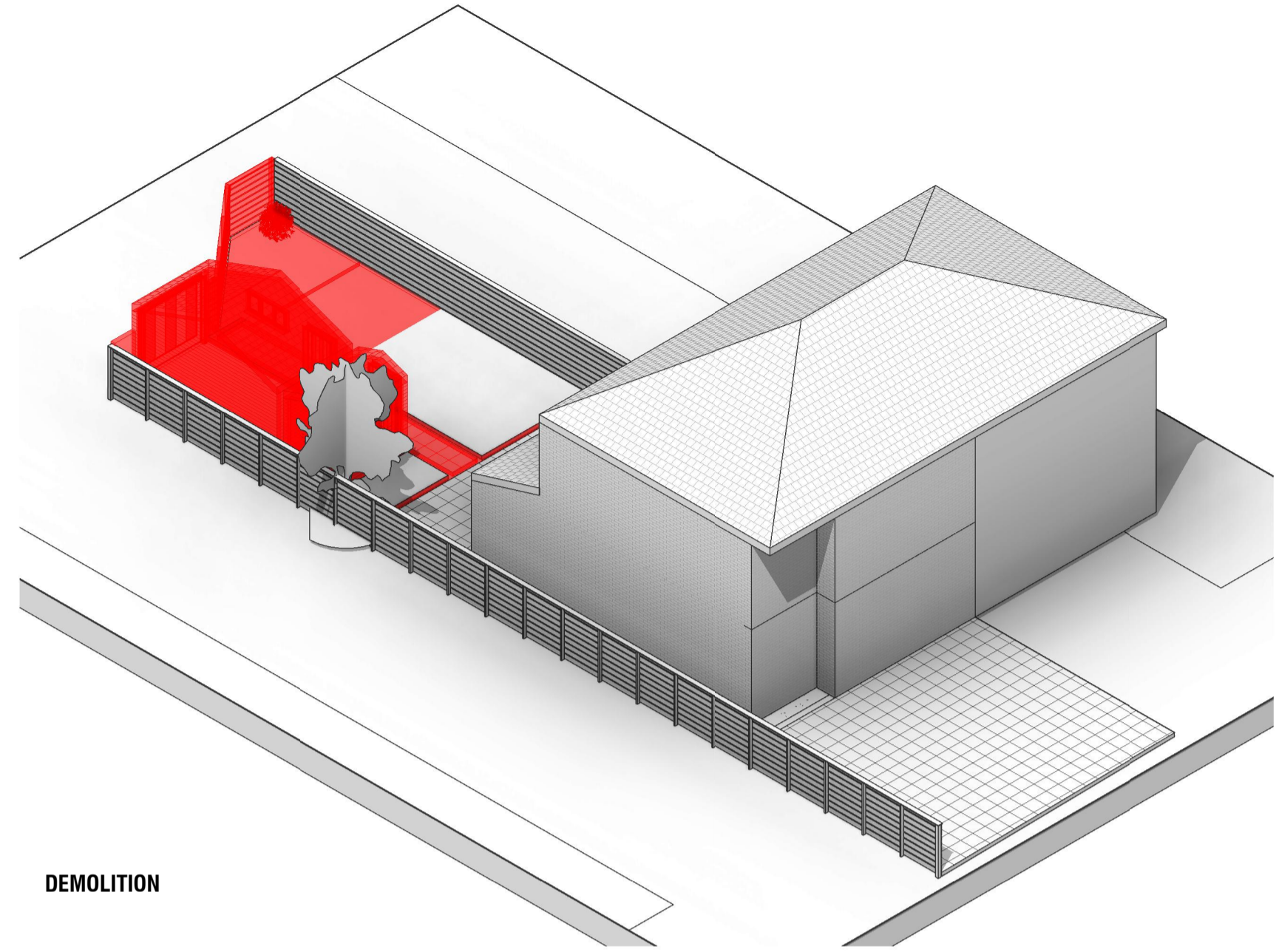


**3 Rear Elevation - Demolition**  
1 : 50

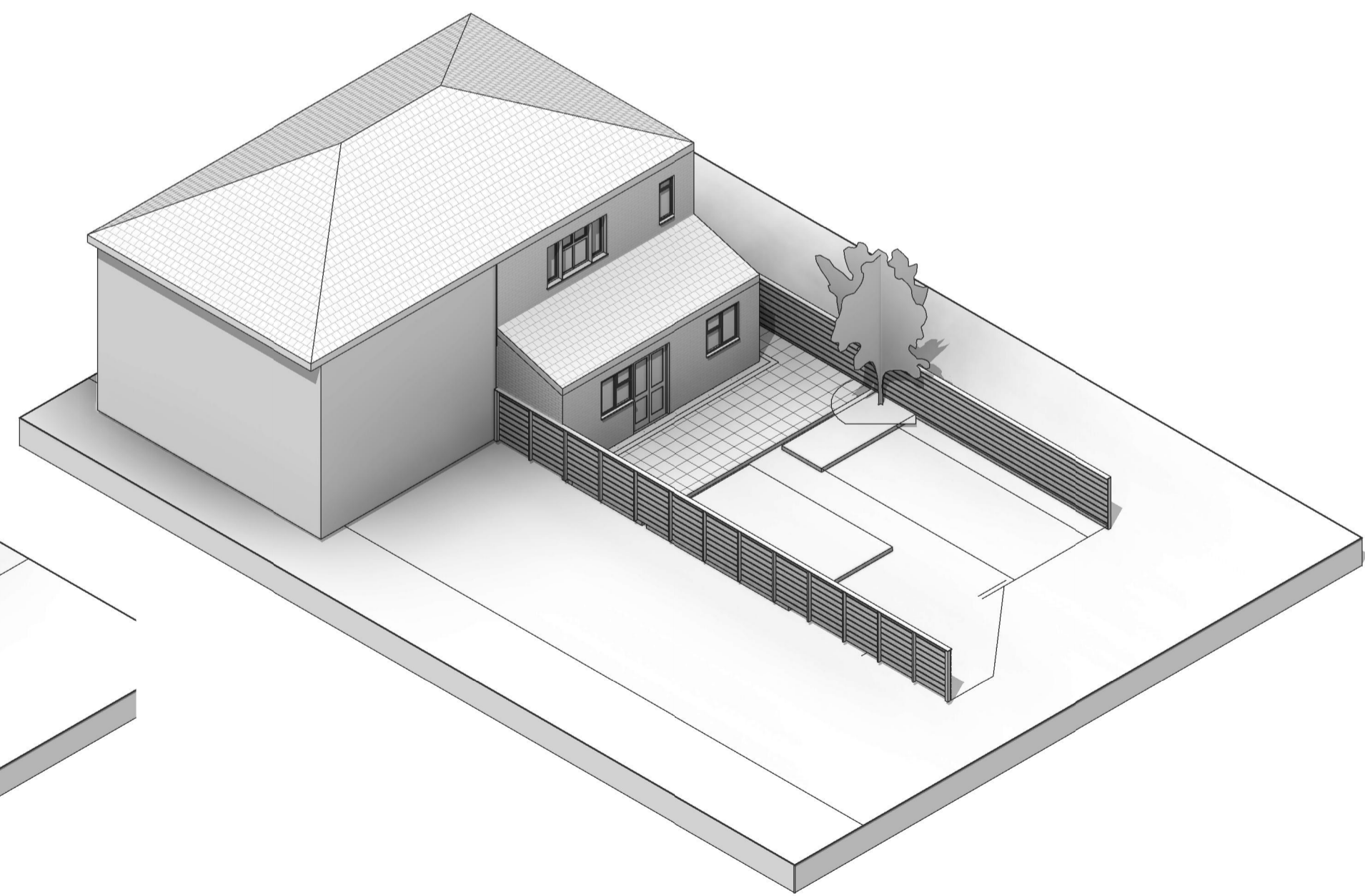
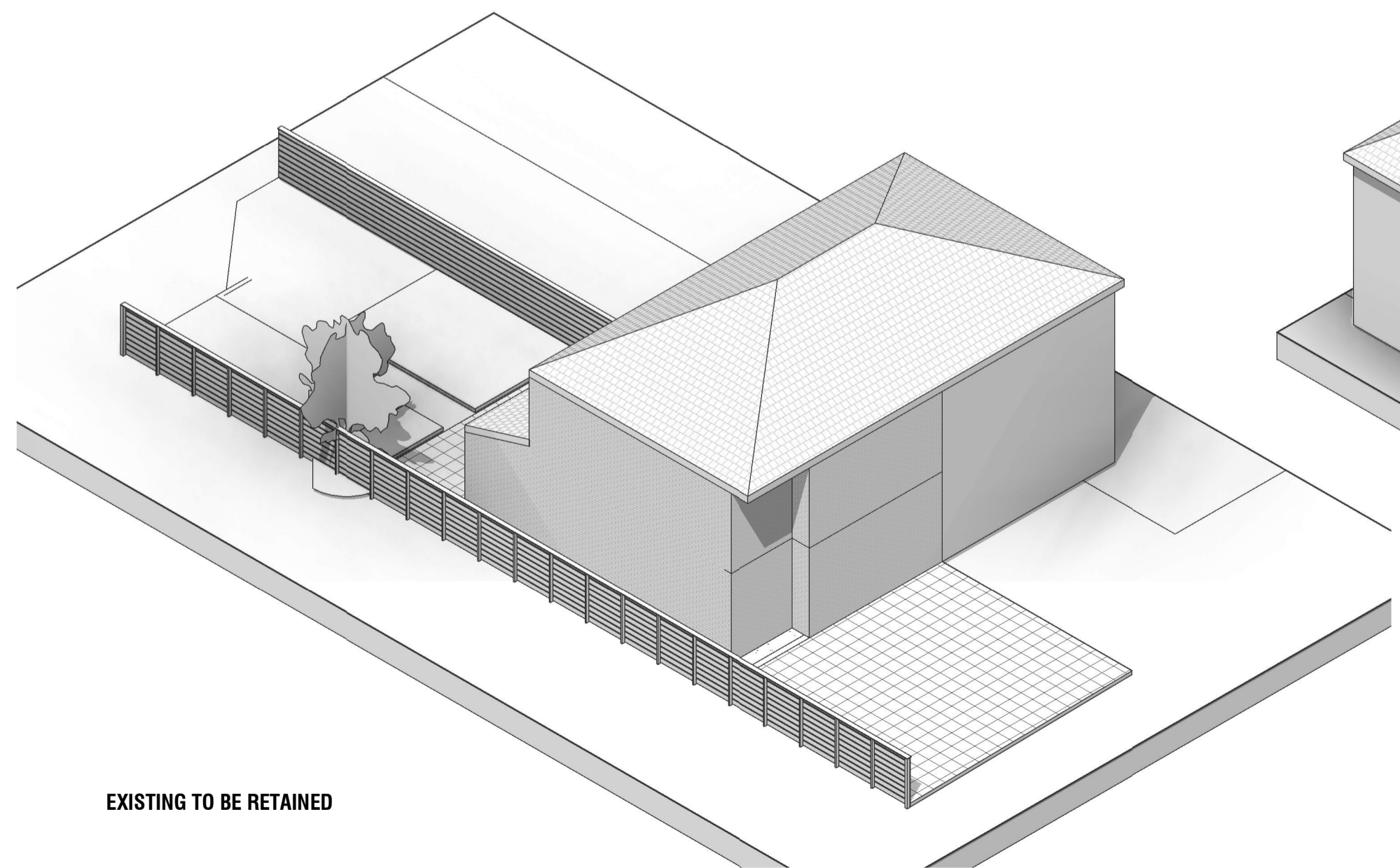


**4 Left Side Elevation - Demolition**  
1 : 50

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Client: <b>27 Welland Gardens Perivale Greenford UB6 8SZ</b>		
Drawing Title: <b>Demolition - Elevations</b>		
Status: --		
Scale: <b>1 : 50 @A2</b>	Date: <b>28/06/2022</b>	Drawn By: <b>NAP</b>
Drawing No.: <b>006</b>		Rev:



DEMOLITION



EXISTING TO BE RETAINED

**DEMOLITION - GENERAL NOTES**

BEFORE STARTING ANY DEMOLITION WORKS, EXAMINE ALL AVAILABLE INFORMATION, CARRY OUT A SURVEY OF THE STRUCTURES, SITE AND SURROUNDING AREA, INSURING SITE SAFETY AT ALL TIMES.

SUBMIT REPORT AND METHOD STATEMENTS DESCRIBING:

- FORM, CONDITION AND DETAILS OF THE STRUCTURES, SITE AND SURROUNDING AREA.
- FORM, LOCATION AND REMOVAL METHODS OF FLAMMABLE, TOXIC OR HAZARDOUS MATERIALS.
- FORM, LOCATION AND REMOVAL METHODS OF MATERIALS FOR REUSE OR RECYCLING.
- TYPE AND LOCATION OF ADJOINING OR SURROUNDING PREMISES WHICH MAY BE ADVERSELY AFFECTED BY NOISE, VIBRATION, DUST OR REMOVAL OF STRUCTURE.
- IDENTIFICATION AND LOCATION OF SERVICES ABOVE AND BELOW GROUND, INCLUDING THOSE REQUIRED FOR THE CONTRACTOR'S OWN USE. ARRANGEMENTS FOR DISCONNECTION AND REMOVAL OF SERVICES.
- SEQUENCE AND METHOD OF DEMOLITION INCLUDING DETAILS OF SPECIFIC PRE-WEAKENING, ARRANGEMENTS FOR PROTECTION OF PERSONNEL AND THE PUBLIC INCLUDING EXCLUSION OF UNAUTHORIZED PERSONS.
- PROPOSED PROGRAMME OF WORK

ALLOW FOR ALL TEMPORARY NEEDLING AND PROPPING OF WALLS & FLOORS ABOVE CONSTRUCTION AREA TO PROVIDE TEMPORARY STRUCTURAL STABILITY TO THE EXISTING BUILDING IF REQUIRED.

CREATE 2 TRIAL HOLES AT EACH BOUNDARY TO INSPECT GROUND CONDITIONS.

ENSURE DEMOLITION DOES NOT START UNTIL ALL SERVICES ARE DISCONNECTED. LOCATE, DISCONNECT AND SEAL DISUSED DRAIN CONNECTIONS. PROTECT DRAINS, MANHOLES, INSPECTION CHAMBERS, GULLIES, VENT PIPES AND FITTINGS STILL IN USE AND ENSURE THAT THEY ARE KEPT FREE OF DEBRIS. MAKE GOOD ANY DAMAGE ARISING FROM DEMOLITION WORK, LEAVE CLEAN AND IN WORKING ORDER AT COMPLETION.

PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE SAME AND ADJOINING PROPERTIES. MINIMUM 72 HOURS NOTICE TO OCCUPIERS IF SHUTDOWN IS NECESSARY DURING CHANGEOVER.

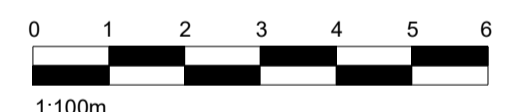
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No.: Revision: Date:



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Client: 27 Welland Gardens Perivale Greenford UB6 8SZ

Drawing Title: Demolition Isometric

Status: --

Scale: @A2 Date: 28/06/2022 Drawn By: NAP

Drawing No.: 007 Rev:

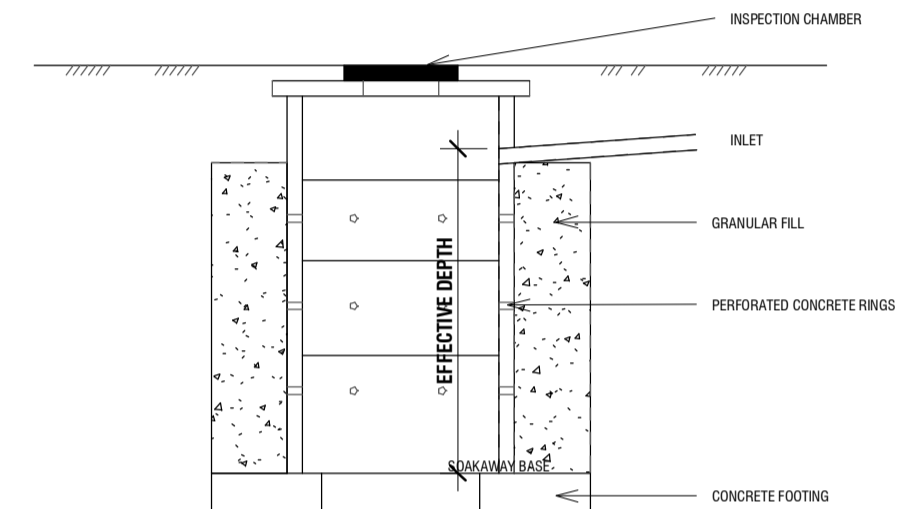
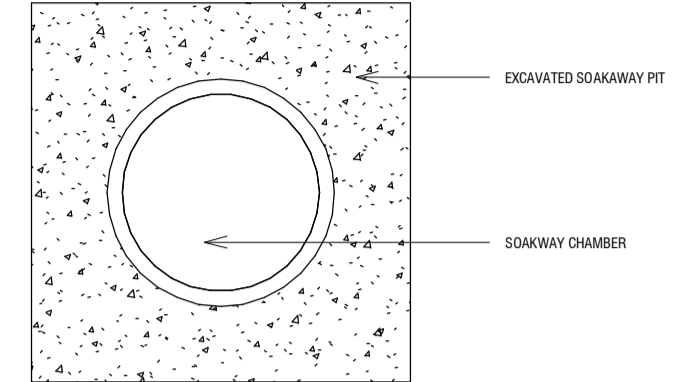
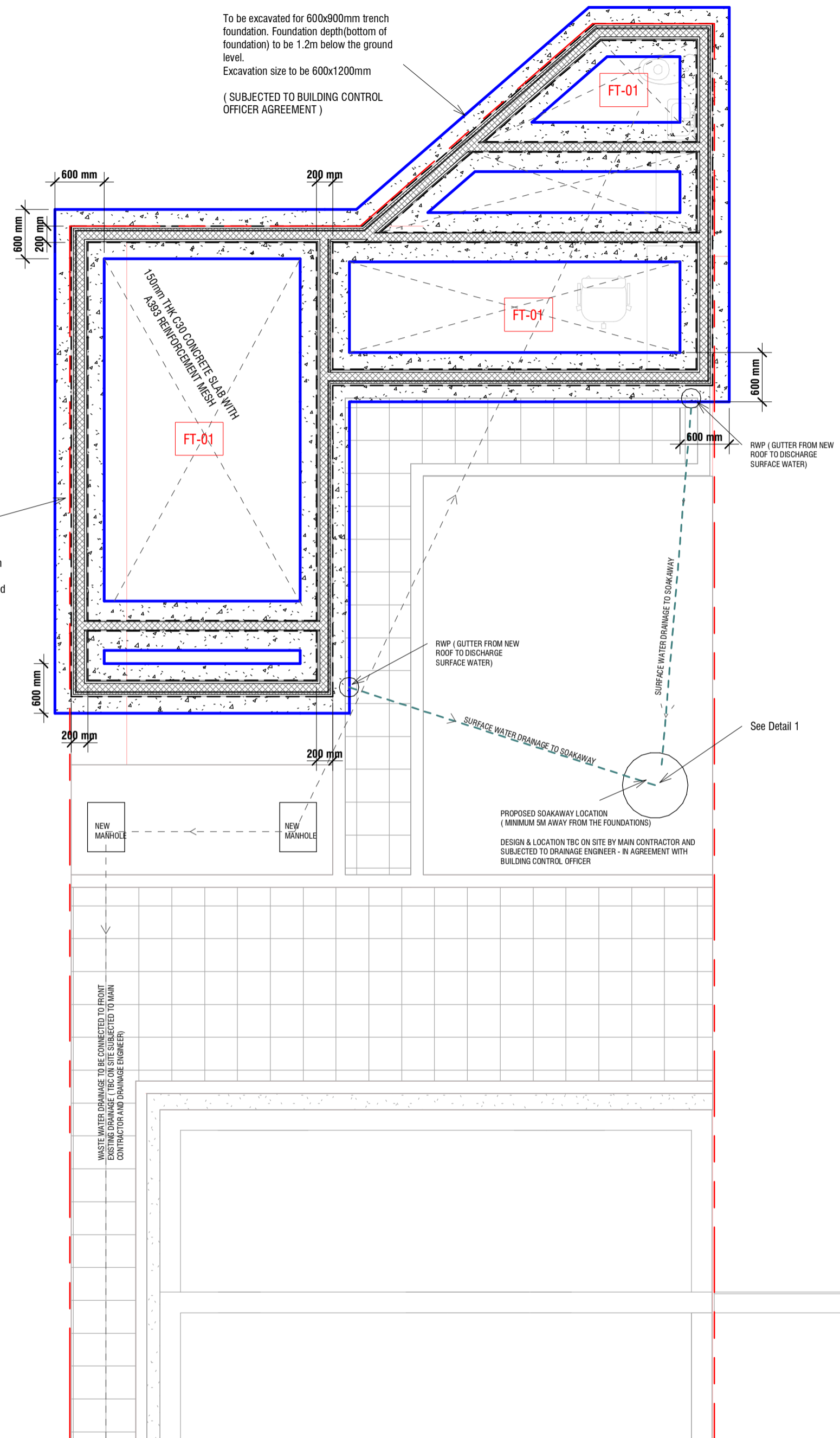
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**FOUNDATION PLANS - GENERAL NOTES:**

ALL DEPTHS OF FOUNDATIONS TO BE AGREED WITH BUILDING INSPECTOR.  
 ALL REINFORCED CONCRETE TO BE MIN. C35.  
 MASS CONCRETE FOOTING TO BE MIN. C15.  
 FOUNDATION CONCRETE TO BE 35MM/M<sup>2</sup> AT 28 DAYS.  
 FOUNDATIONS TO BE LOCATED ON FIRM BEARING TO THE SATISFACTION OF BUILDING INSPECTOR.  
 MINIMUM COVER TO REINFORCEMENT TO BE 40MM.  
 CONCRETE MUD MAT OF MINIMUM DEPTH 50MM TO BE PLACED UNDER ALL REINFORCED FOUNDATIONS.  
 FOUNDATIONS TO BE MINIMUM 600 X 1000 MM STRIPS, THE DEPTH TO BE APPROVED BY BUILDING INSPECTOR BEFORE THE BEGINNING OF WORKS.  
 PROVIDE CROSS VENTILATION UNDER FLOOR TO OUTSIDE AIR BY VENTILATORS IN AT LEAST 2 OPPOSITE EXTERNAL WALLS OF THE BUILDING. VENTILATION OPENINGS HAVING AN OPENING AREA OF 1500MM<sup>2</sup> RUN OF PERIMETER WALL OR 500MM<sup>2</sup> M OF FLOOR AREA WHICHEVER GIVES THE GREATER OPENING AREA.

**DRAINAGE PLANS - GENERAL NOTES:**

THIS INFORMATION IS FOR GUIDANCE ONLY. THE RELEVANT AUTHORITIES NEED TO BE CONTACTED WHERE PUBLIC SEWERS ARE AFFECTED.  
 WHERE A DRAIN OR SEWER RUNS UNDER A BUILDING AT LEAST 100MM OF GRANULAR MATERIAL SHOULD BE PROVIDED AROUND PIPE. NO FINE CONCRETE OR OTHER UNSUITABLE FLEXIBLE FILLING SHOULD BE USED AROUND THE PIPE.  
 300MM WIDE (SPANNING OVER PIPE) OR 2X 100MM WIDE PRECAST CONCRETE LINTELS TO BE USED.  
 FOR SEWERS OVER 160MM IN DIAMETER A PRE-CONSTRUCTION SURVEY MUST BE CARRIED OUT TO IDENTIFY THE CONDITION OF THE SEWERS.  
 IF BUILDING WITHIN 1.5 METRES OF THE SEWER, A CROSS SECTION DRAWING SHOWING FOUNDATION DESIGN IN RELATION TO THE PIPE.  
 ENGINEER SHOULD BE CONTACTED IF ANY THING CHANGES ON THE SITE.  
 ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF 'SEWERS FOR ADOPTION', 7TH EDITION IN CONJUNCTION WITH 'PROTOCOL ON DESIGN AND CONSTRUCTION OF ADOPTION OF SEWERS IN ENGLAND AND WALES', UNLESS OTHERWISE AGREED.  
 NO ADDITIONAL LOADS ARE TO BE TRANSMITTED TO THE SEWER BY THE PROPOSED WORKS.  
 THIS CONSENT IS SUBJECT TO ANY CONDITIONS THAT MAY BE IMPOSED THROUGH THE BUILDING REGULATION PROCESS.  
 IT IS YOUR RESPONSIBILITY TO CHECK AND VERIFY THE INVERT LEVELS AND POSITION OF THE PUBLIC SEWER PRIOR TO WORKS ON SITE.  
 ANY SEWERS THAT ARE EQUAL OR SHALLOWER THAN 1.1 METRES TO INVERT FROM FINISHED GROUND LEVEL CAN HAVE NEW FOUNDATIONS MINIMUM OF 100MM FROM THE SIDE OF THE PUBLIC SEWER.  
 PUBLIC SEWERS THAT ARE DEEPER THAN 1.1 METRES BUT NO DEEPER THAN 2.0 METRES SHALL HAVE NEW FOUNDATIONS NO CLOSER THAN 600MM, FOR PUBLIC SEWERS DEEPER THAN 2.0 METRES, NEW FOUNDATIONS SHALL BE NO CLOSER THAN 1.0 METRE.  
 WHEN USING PILED FOUNDATIONS, THE PROPOSED FOUNDATIONS ARE TO BE A MINIMUM OF 1.5 METRES FROM THE PUBLIC SEWER. ONLY CONTINUOUS FLIGHT AUGERED PILES ARE ACCEPTABLE. THE USE OF DRIVEN PILES WILL NOT BE PERMITTED WITHIN 15 METRES.  
 PROPOSED FOUNDATIONS TO BE CONSTRUCTED WITHIN 1.5 METRES OF THE PUBLIC SEWER SHALL BE TAKEN TO A DEPTH EQUAL OR GREATER THAN THE SEWER INVERT.  
 MANHOLES ON THE PUBLIC SEWER SHALL NOT BE BUILT OVER OR LOCATED INSIDE PROPOSED STRUCTURES EVEN WITH NEW DOUBLE SEALED BOLT DOWN COVERS.  
 WHERE PUBLIC SEWER IS LESS THAN OR EQUAL TO 1.1M DEEP, NO STRUCTURE SHALL BE BUILT IN CONTACT WITH THE PUBLIC SEWER MANHOLE, AND MUST BE A MINIMUM OF 100MM FROM THE OUTSIDE OF THE CHAMBER WALL.  
 WHERE THE DEPTH OF THE PUBLIC SEWER IS GREATER THAN 1.1 METRES, NO STRUCTURE SHALL BE BUILT WITHIN 600MM OF THE PUBLIC MANHOLE STRUCTURE.  
 ALL CONNECTIONS TO THE PUBLIC SEWER TO BE AT A MANHOLE OR VIA A PRE-FORMED JUNCTION.  
 SADDLE CONNECTIONS ARE NOT PERMITTED ON TO SEWERS LESS THAN 375MM IN DIAMETER.  
 CONNECTIONS INTO MANHOLES MUST BE MADE WITH SOFFITS LEVEL AND MUST ENTER WITH THE FLOW.  
 MORE THAN FOUR BUILDING OVER AGREEMENTS IN A ROW WILL NOT BE PERMITTED ON A LENGTH OF PUBLIC SEWER WITHOUT AN EXTERNAL MANHOLE BEING AVAILABLE FOR SUITABLE OPERATION ACCESS.  
 NEW MANHOLES TO BE IN ACCORDANCE WITH SEWERS FOR ADOPTION 6TH EDITION, IN CERTAIN CIRCUMSTANCES INSPECTION CHAMBERS CAN BE BUILT IN ACCORDANCE WITH SEWERS FOR ADOPTION 7 WITH STRICT APPROVAL.  
 IF THE HOUSEHOLDER OR BUILDING CONTROL REQUESTS THAT A SURVEY BE CARRIED OUT, ALL SUCH SURVEYS SHALL BE CARRIED OUT AT THE HOUSEHOLDER'S EXPENSE.  
 PLASTIC PIPES AND FITTINGS ARE GENERALLY NOT ACCEPTED ON THE PUBLIC SEWERS.



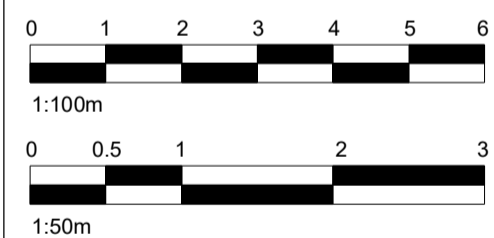
TYPICAL SOAKAWAY DETAIL

**Drainage layout assumed TBC according to CCTV survey report prior to commencement to build.**

**Note: Services from Building to run into new drainage run at relevant manholes - Manhole Depth 400mm PVC - TBC**

**Drainage layout is indicative only. Check CCTV survey report and drainage plan prior to commencement to build.**

**All drainage to be in conjunction with drainage engineer Existing recommendations and TBC on Site by Contractor**



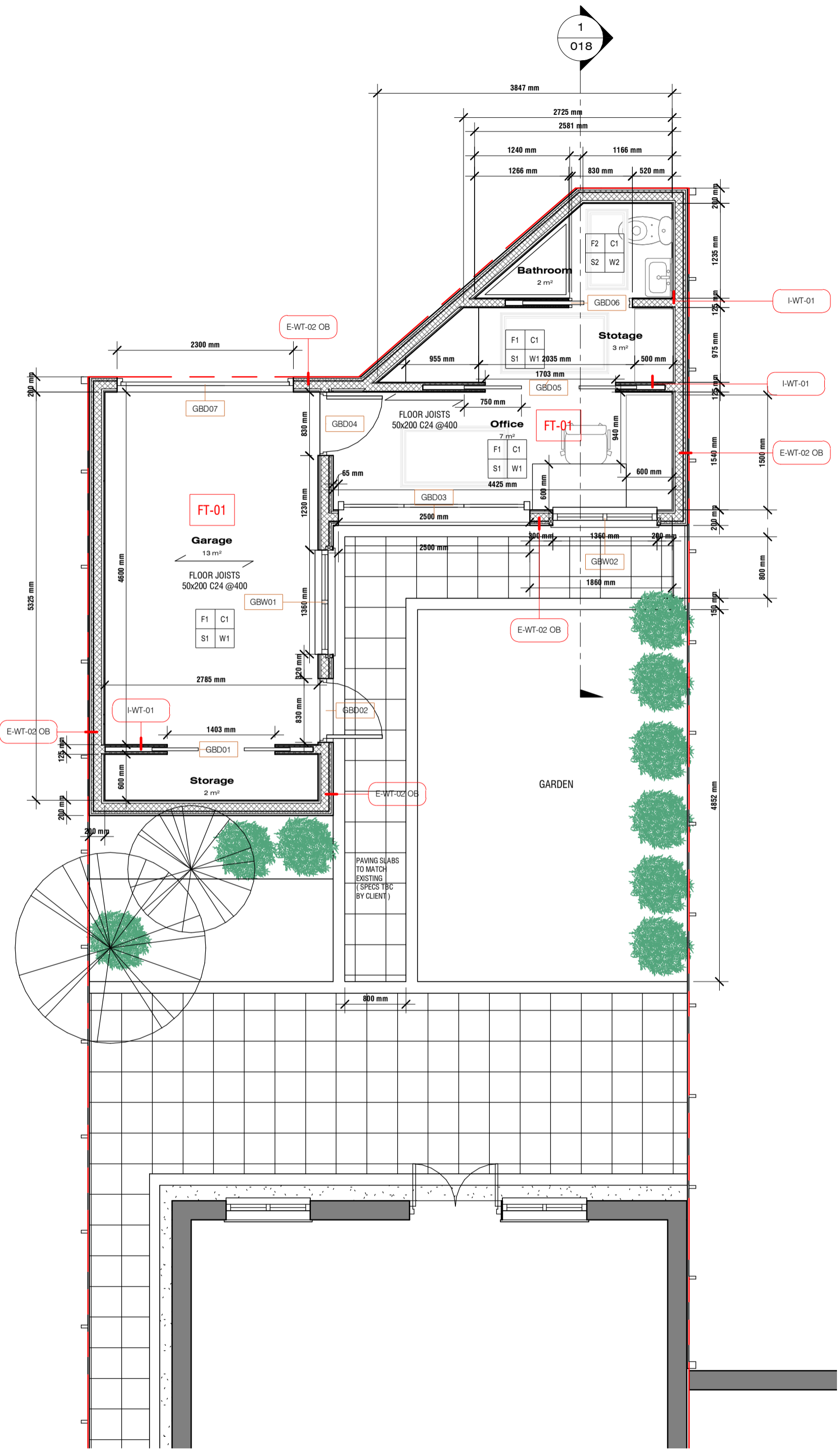
1 Proposed Foundation Plan  
1 : 50



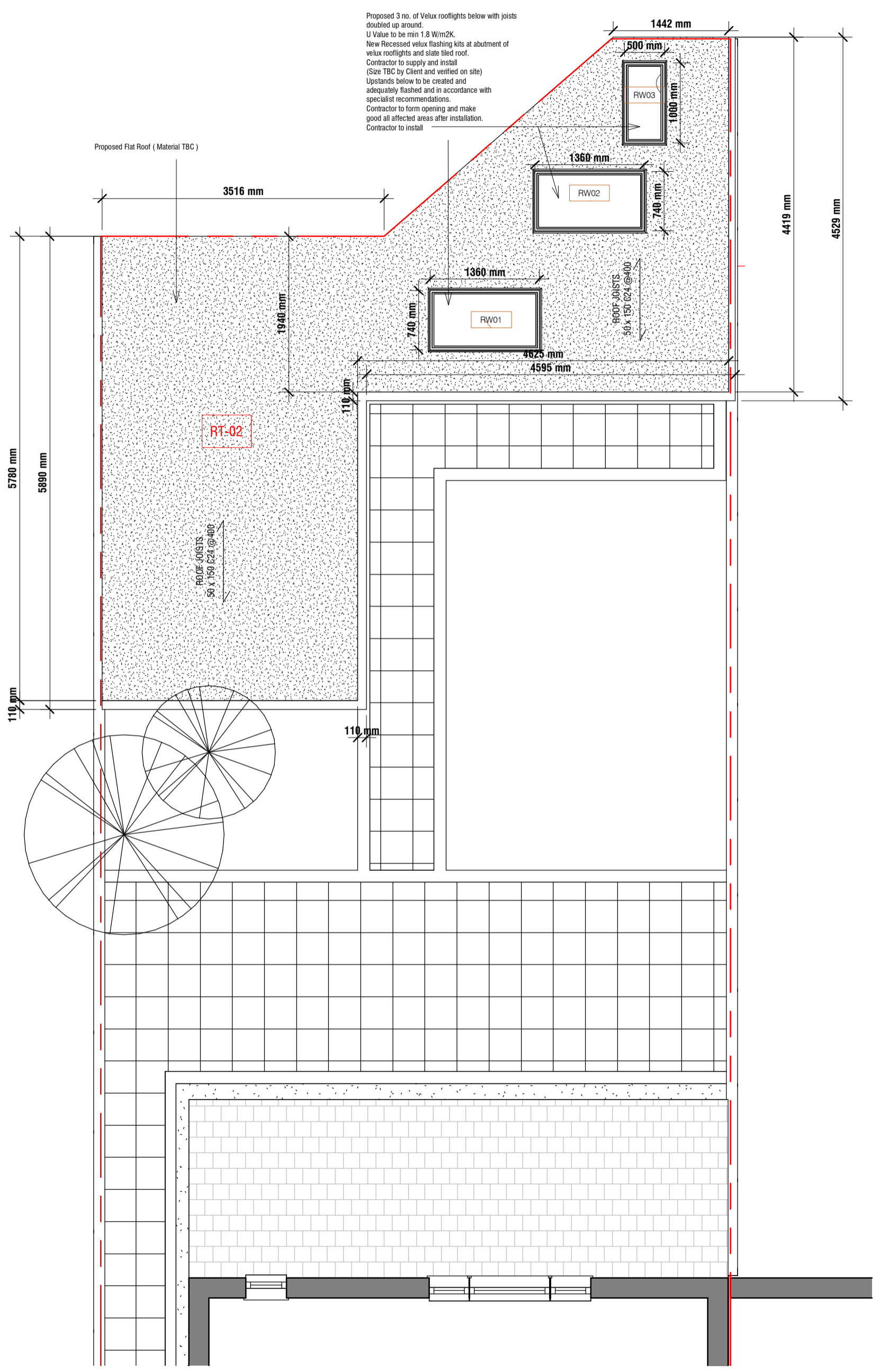
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Client: <b>27 Welland Gardens Perivale Greenford UB6 8SZ</b>		
Drawing Title: <b>Foundation Plan - Proposed</b>		
Status: --		
Scale: <b>As indicated @A2</b>	Date: <b>28/06/2022</b>	Drawn By: <b>NAP</b>
Drawing No.: <b>08</b>		Rev:

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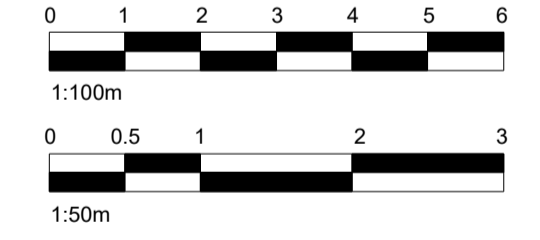


**1** Ground Floor Plan - Proposed  
1 : 50



**2** First Floor Plan - Proposed  
1 : 50

Proposed 3 no. of Velux rooflights below with joists doubled up around.  
 U Value to be min 1.8 W/m²K.  
 New Recessed velux flashing kits at abutment of velux rooflights and slate tiled roof.  
 Contractor to supply and install.  
 (Size TBC by Client and verified on site)  
 Upstands below to be created and adequately flashed and in accordance with specialist recommendations.  
 Contractor to form opening and make good all affected areas after installation.  
 Contractor to install.



No.: Revision: Date:

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 80 Cumberland House, Scrubs Lane  
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 Client: www.bischell.co.uk

27 Welland Gardens Perivale Greenford UB6 8SZ

Drawing Title: Ground&First Plan - Proposed

Status: --

Scale: 1 : 50 @A2 Date: 28/06/2022 Drawn By: NAP

Drawing No.: 09 Rev:

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**GENERAL NOTES**

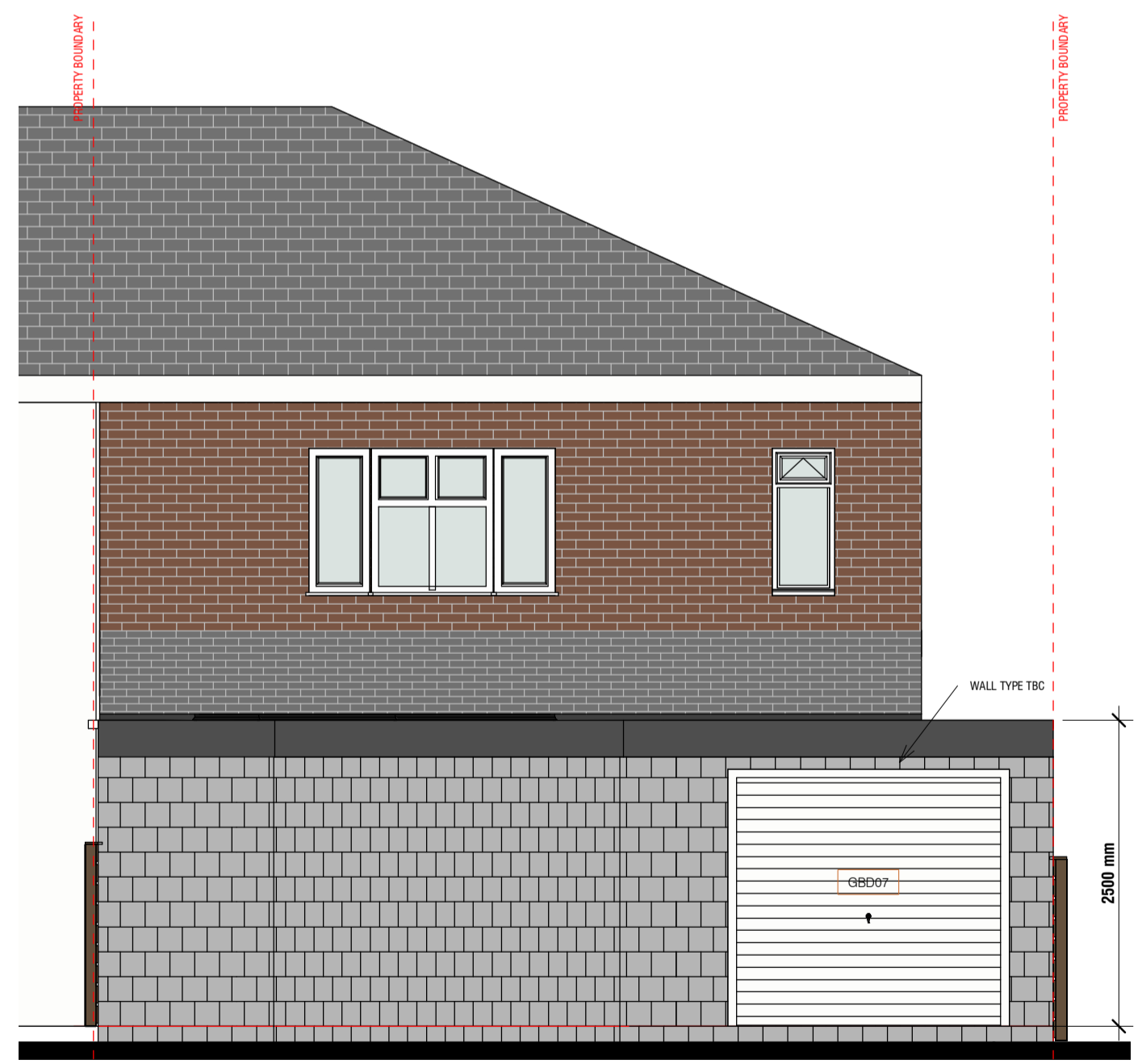
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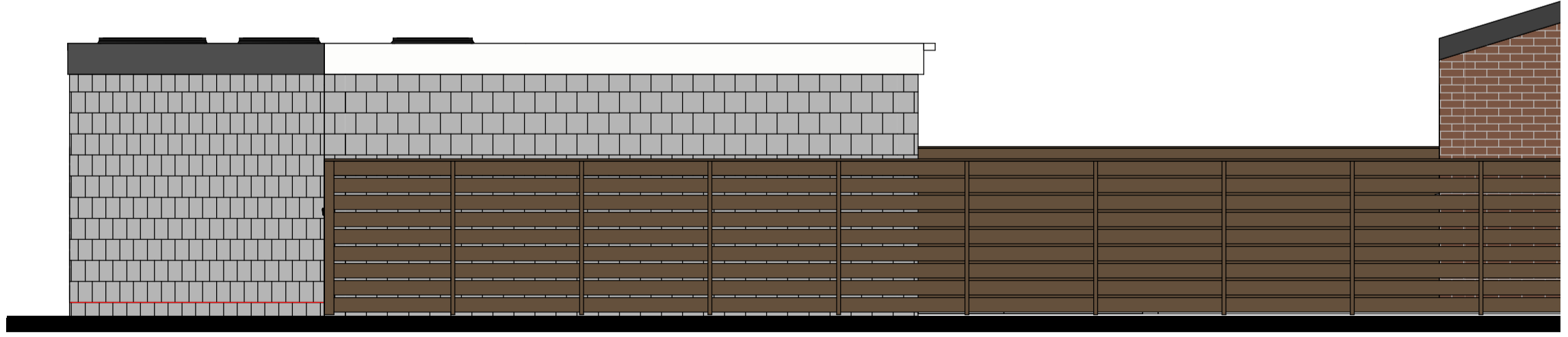
1 Elevation 1 - a  
1 : 50



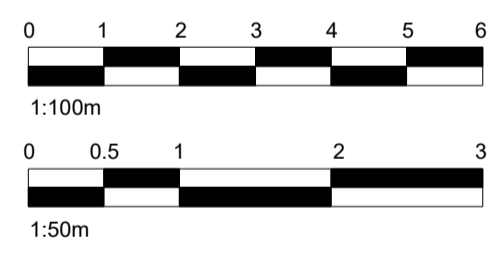
2 Proposed Right Side Elevation  
1 : 50



3 Proposed Rear Elevation  
1 : 50



4 Proposed Left Side Elevation  
1 : 50

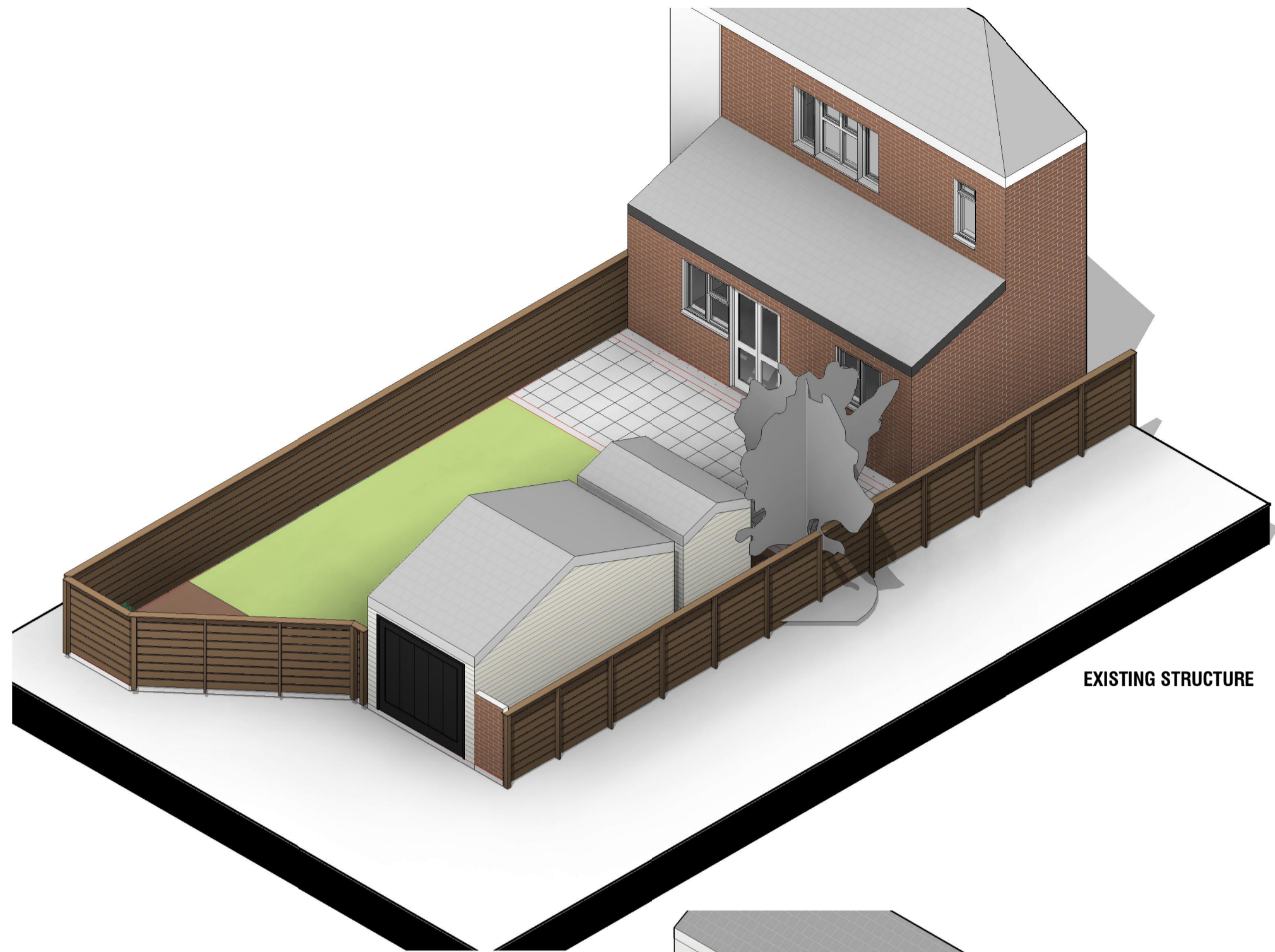


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Drawing Title: <b>Proposed Elevations</b>		
Status: --		
Scale: <b>1 : 50 @A2</b>	Date: <b>28/06/2022</b>	Drawn By: <b>NAP</b>
Drawing No.:	Rev:	
<b>010</b>		

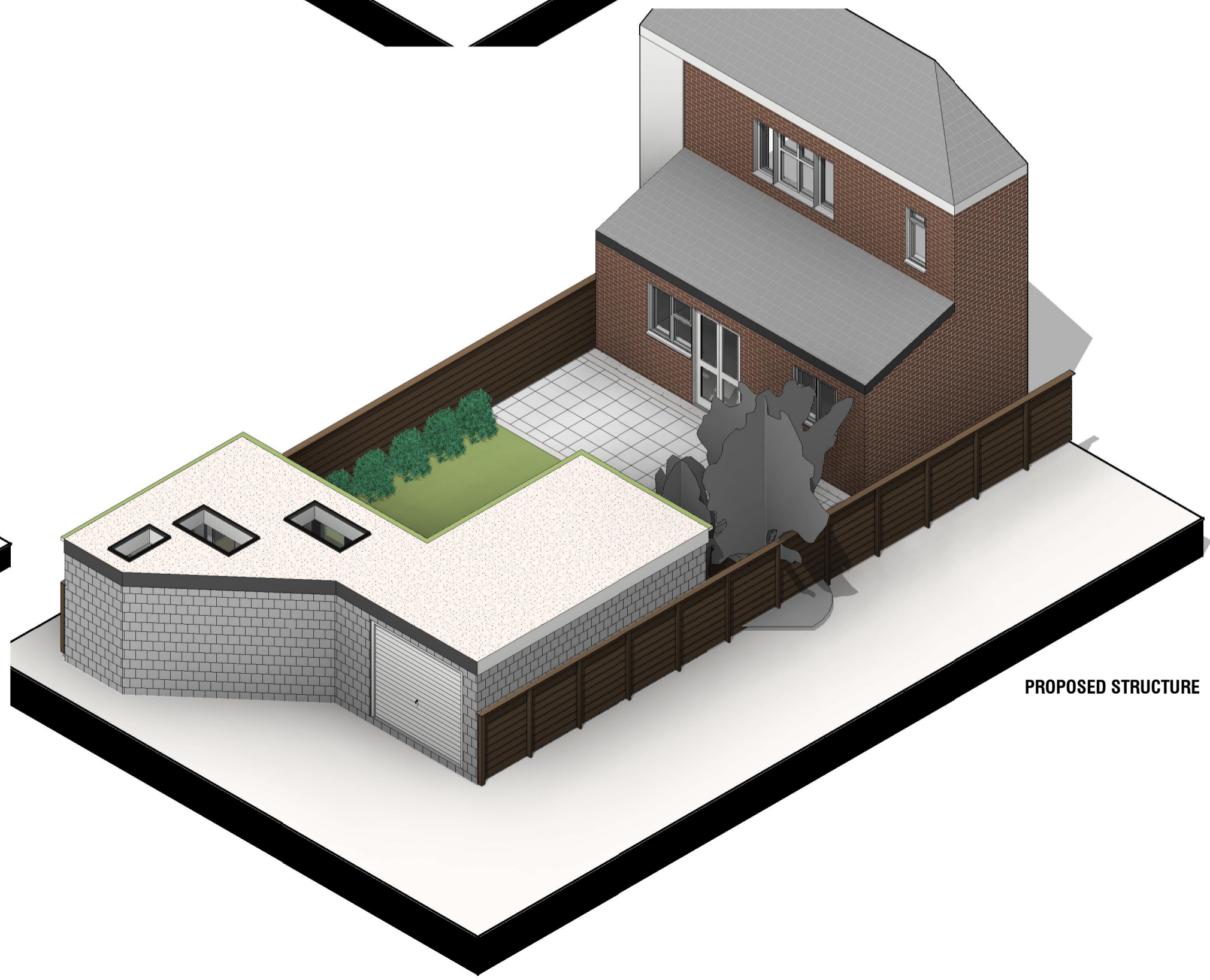
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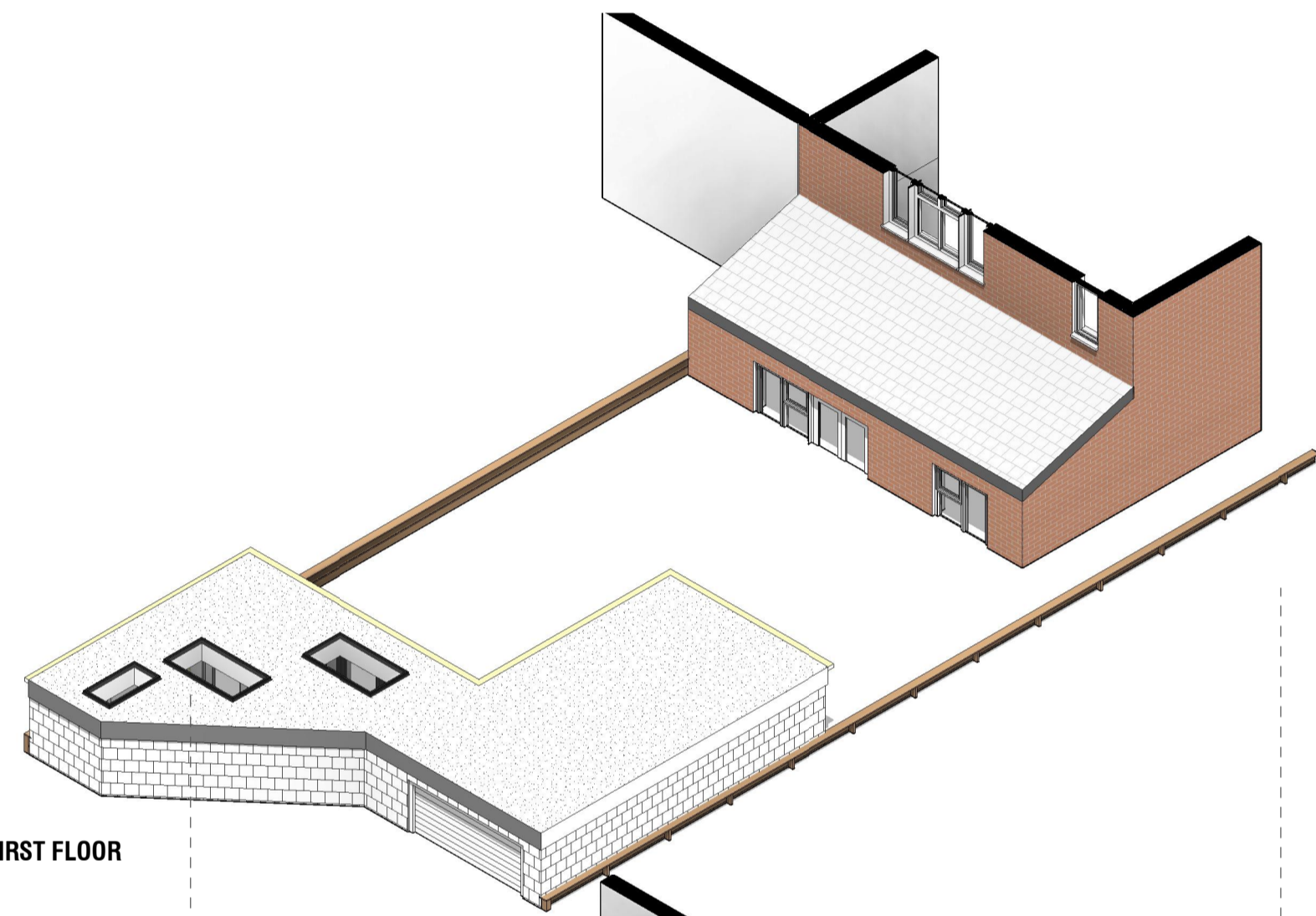
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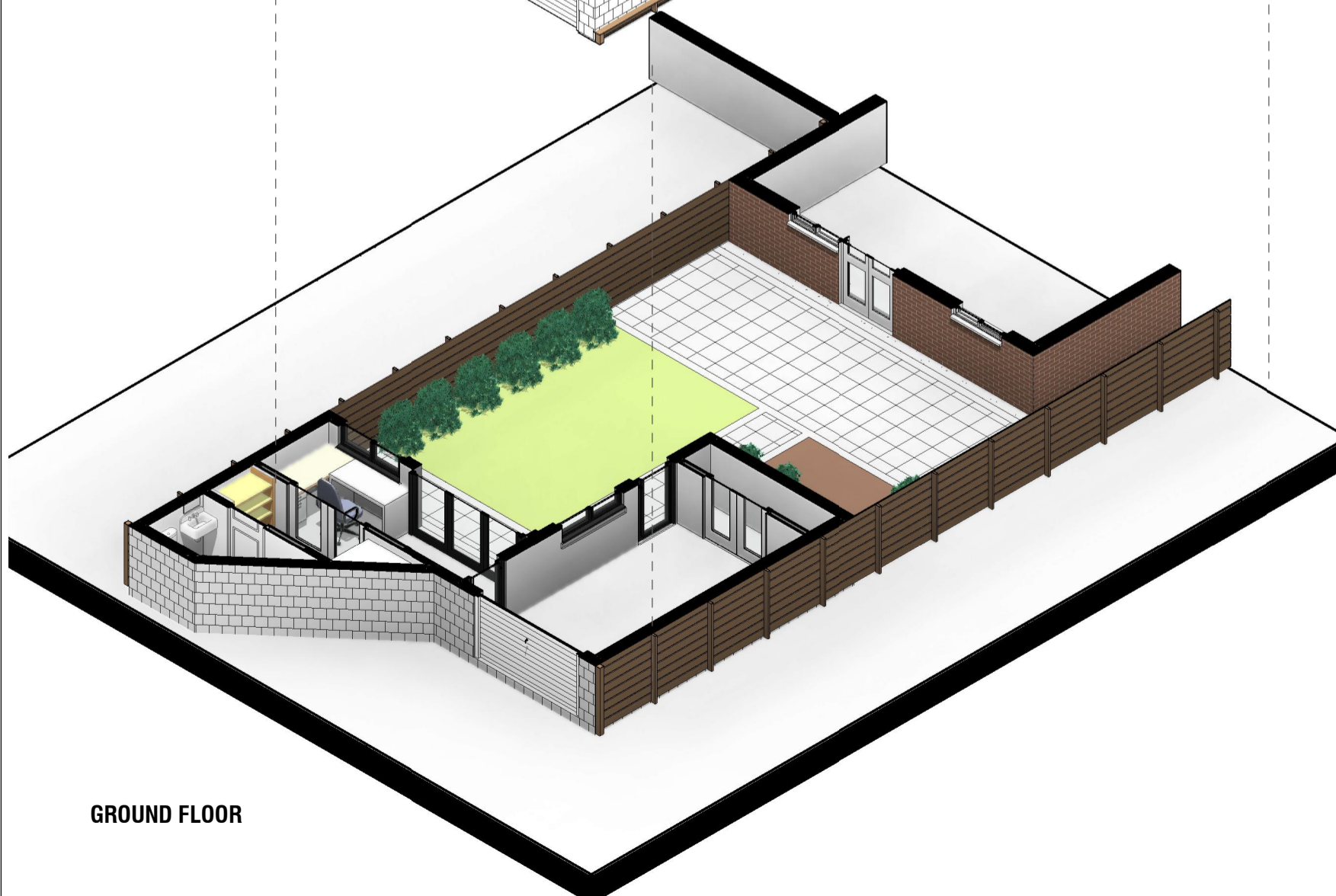
**EXISTING STRUCTURE**



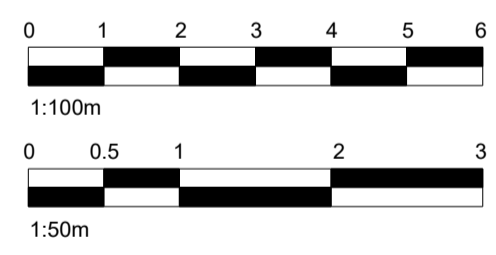
**PROPOSED STRUCTURE**



**FIRST FLOOR**



**GROUND FLOOR**



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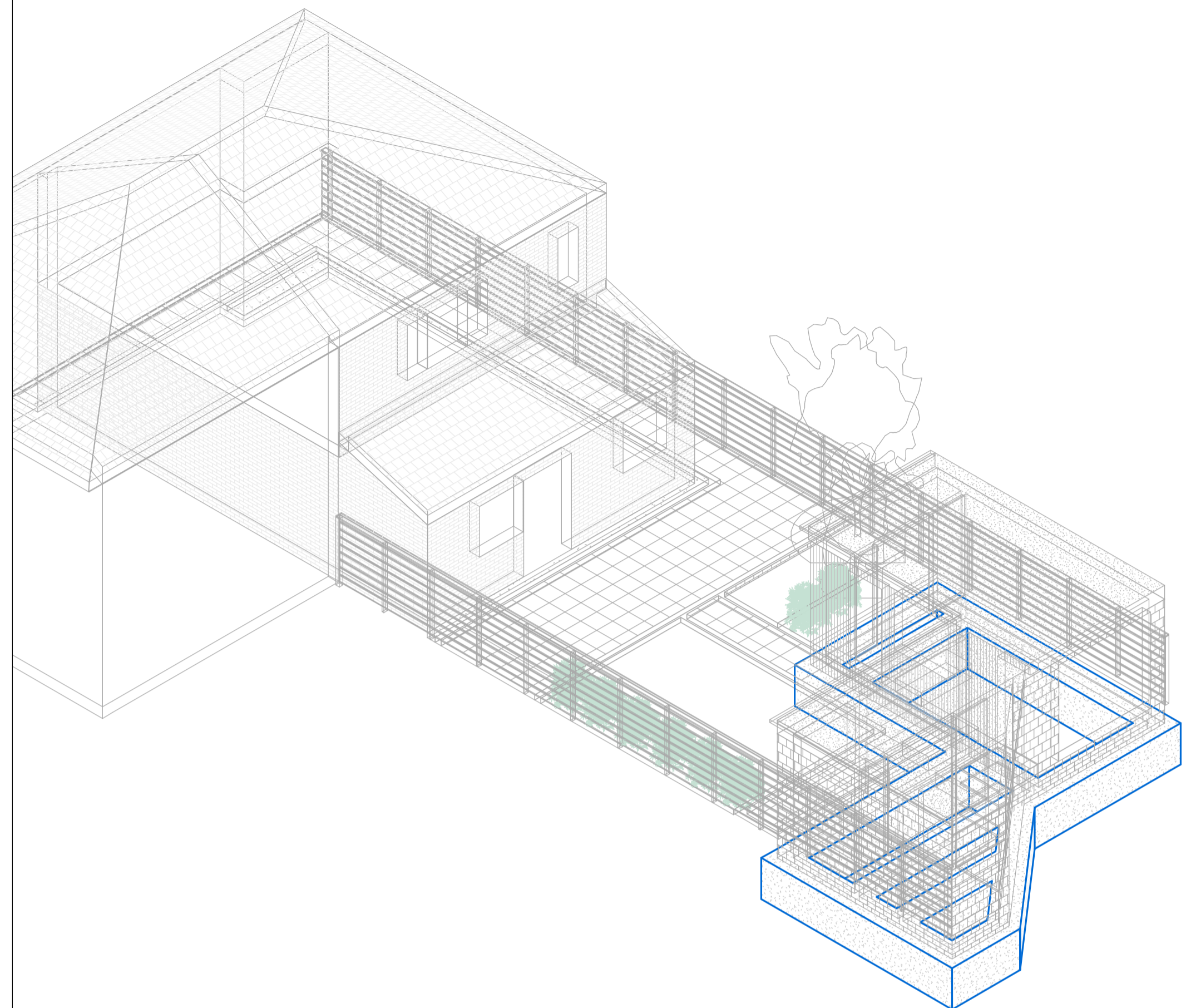
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Drawing Title:  
Isometric Plans

Status: --

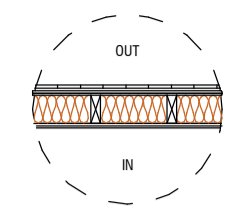
Scale: @A2 Date: 28/06/2022 Drawn By: NAP

Drawing No.: 011 Rev:



### WALL TYPE SCHEDULE - EXTERNAL WALLS

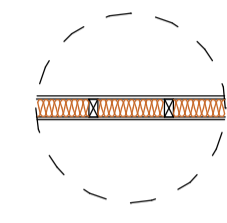
#### E-WT-02 08 TIMBER WALL



WALL CONSTRUCTION (OUT TO IN):  
 - FIRE RESISTANT TIMBERS CLADDING ON BATTENS  
 - BREATHABLE MEMBRANE  
 - 9mm SUPALUX PROMAT FIRE PROTECTION BOARD  
 - 9mm EXTERIOR STRUCTURAL OSB3 BOARD  
 - TIMBER FRAME STUDS USING 150MM X 50MM HEAD & SOLE PLATES AND VERTICAL STUDS (WITH NOGGING) AT 400MM CTR: (AS PER STRUCTURAL ENGINEER DESIGN AND SPECIFICATION)  
 - 125mm KINGSPAN KOOL THERM K7 OR SIMILAR BETWEEN STUDS  
 - POLYTHENE VAPOUR CONTROL LAYER  
 - 12.5MM PLASTERBOARD WITH 3MM SKIM  
**U-VALUE - 0.19W/m2K**

### WALL TYPE SCHEDULE - INTERNAL WALLS

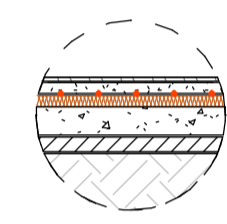
#### I-WT-01 INTERNAL TIMBER WALL



WALL CONSTRUCTION:  
 - TREATED TIMBER FRAME FRAME STUDS CONSTRUCTED USING 100MM X 50MM HEAD AND SOLE PLATES AND VERTICAL STUDS (WITH NOGGING) AT 400 MM CTR OR TO ENGINEER'S DETAILS & CALCULATIONS  
 - FULLY FILLED WITH ACOUSTIC MINERAL WOOL WITH 60kg per M3 DENSITY  
 - 12.5MM PLASTERBOARD TO BOTH SIDES OF THE STUDWORK WITH 3MM SKIM  
**U-VALUE - 0.22W/m2K**

### FLOOR TYPE SCHEDULE

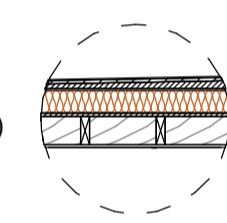
#### FT-01 CONCRETE FLOOR



FLOOR CONSTRUCTION (TOP TO BOTTOM):  
 - 10mm 900x900 TILE FLOOR FINISH TBC  
 - SELF LEVELLING COMPOUND  
 - 75mm SAND AND CEMENT SCREED WITH A142 MESH  
 - Underfloor Heating System as per Manufacturer's Specification  
 - VAPOUR CONTROL LAYER  
 - 60mm KINGSPAN KOOL THERM K103 OR SIMILAR (K VALUE - 0.018W/m2K)  
 - 150mm CONCRETE SLAB (AS PER STRUCTURAL ENGINEER DESIGN AND SPECIFICATION)  
 - 1200 GAUGE POLYTHENE SHEET (DAMP PROOF MEMBRANE, RADON BARRIER)  
 - MIN 50mm SAND BINDING  
 - MIN 150mm HARD CORE BED LAYER  
**U-VALUE - 0.22W/m2K**

### ROOF TYPE SCHEDULE

#### RT-02 FLAT ROOF (WARM DECK)



WARM FLAT ROOF CONSTRUCTION (TOP TO BOTTOM):  
 - FIBREGLASS ROOF FINISH ON 10MM OSB 3 TAG  
 - 100MM KINGSPAN KOOL THERM K7 OR SIMILAR  
 - POLYTHENE VAPOUR CONTROL LAYER  
 - 18mm POWWOOD DECKING  
 - COUNTER FRIRINGS TO GIVE 1:40 FALL  
 - TIMBER JOISTS AS PER STRUCTURAL ENGINEER DESIGN AND SPECIFICATION  
 - 12.5MM PLASTERBOARD INTERNAL FINISH WITH 3MM SKIM  
**U-VALUE - 0.18 W/m2K**

### DOOR AND FRAME SCHEDULE (TBC)

DOOR NO.	STR. HEIGHT	STR. WIDTH	LEAF HEIGHT	LEAF WIDTH	LEAF THK	FIRE RATING	LOCATION	NOTES
GBD01	2040	1200	2051		38			
GBD02	2040	830	2040	830	44			
GBD03	2100	2500			0			
GBD04	2040	830	2040	830	44			
GBD05	2040	1500	2051		38			
GBD06	2040	830	35		44			
GBD07	2100	2300	2100	2300	44			

\* All entrance doors to be fitted with simple type fastening from the inside for means of escape such as thumb turns (Euro cylinder lock and thumb turn)  
 Door stops to be inserted to comply with current Building Regulations  
 \*All doors to be supplied and installed by specialist/contractor  
 \*All Doors to be Standard Sizes

Provide 100mm cavity closer 'Cavi 120 Type V' or equivalent for window and door opening  
 All windows to be supplied and installed by specialist/contractor  
 \*All windows from the first floor up to have window restrictors fitted  
 \*Glazing below 800 and 1500 mm in doors and side panels from floor level to be in safety glass to BS 6206 Sizes to be checked on site prior ordering

### WINDOW SCHEDULE

WINDOW NO.	WIDTH	HEIGHT	SILL HT.	LOCATION	SPECIFICATIONS
GBW01	1360	1210	900		
GBW02	1360	1210	777		
RW01	740	1360			
RW02	740	1360			
RW03	500	1000			

All Windows Powder Coated White Aluminium double glazing minimum and to achieve U-value of 1.2W/m2K.  
 Provide 100mm cavity closer 'Cavi 120 Type V' or equivalent for window and door opening. All glazing to be supplied and installed by specialist/contractor  
 \*All windows to be fitted with trickle vents \*All windows from the first floor up to have window restrictors fitted  
 \*All windows with 'Fly Mesh' \*All windows with Splash and Cill (on Exterior)  
 \*All windows with Splash and Cill (on Exterior) \*Ground Floor Windows Triple Glazed \*

Double up rafters to new rooflights. All glazing to be supplied and installed by specialist/contractor.  
 All Rooflights to be Self Cleaning and Motorised/Remote Operated

### INTERIOR FINISHES SCHEDULE

FLOOR
F1 900 x 900mm Porcelain Tiles
F2 600 x 600mm Bathroom Porcelain Tiles
F3 Wood Floor/Laminate
CEILING
C1 3mm skim to plaster board with Delux Silk matt emulsion/water-proof paint finish (TBC)
WALL
W1 3mm skim to plaster board with Delux Silk matt emulsion finish (TBC)
W2 600 x 600 Polished Wall Tiles TBC
SKIRTING
S1 Classic Ogee MDF 125mm (TBC)
S2 Tile upstand (same finish as floor)

- GENERAL NOTES:
- DO NOT SCALE FROM THESE DRAWINGS.
  - THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S AND ENGINEER'S DRAWINGS, DETAILS AND SPECIFICATIONS.
  - THESE NOTES TO BE READ WHEN REFERRING TO ALL DRAWINGS.
  - THE WORKS DESCRIBED AND SPECIFIED ON THIS DRAWING AND ASSOCIATED DRAWINGS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ALL CURRENT HEALTH AND SAFETY LEGISLATION.
  - THE CONTRACTOR SHALL AT THE OUTSET, ESTABLISH WITH THE LOCAL AUTHORITY THEIR REQUIREMENTS FOR INSPECTING THE WORKS, AND ADHERE TO THESE.
  - ALL DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS ARE BASED ON SURVEY DRAWINGS AND THE CONTRACTOR IS TO SATISFY HIMSELF THAT DIMENSIONS, LEVELS, ETC., ARE SUFFICIENTLY ACCURATE AND COMPLETE FOR FABRICATION WITHIN THE SPECIFIED TOLERANCES OF ALL PREFABRICATED ELEMENTS.
  - THE STEELWORK CONTRACTOR/FABRICATOR IS TO CONDUCT AN ACCURATE SITE SURVEY TO DETERMINE FINAL DIMENSIONS FOR ALL NEW STEELWORK PRIOR TO FABRICATION. THE SURVEY SHOULD HIGHLIGHT ANY EXISTING OBSTRUCTIONS, SERVICES, ETC. THAT NEED TO BE ALTERED/RELOCATED TO AVOID A CLASH.
  - STEELWORK IS TO BE HIGH YIELD (S355) UNLESS NOTED OTHERWISE.
  - ALL STEEL TO HAVE 1/2 HOUR FIRE RESISTANCE CAPABILITY MIN. (E.G. 12.5 MM FIRELINE PLASTERBOARD WITH 3MM SKIM.)
  - ALL STEELWORK BUILT INTO PERIMETER WALLS OR POTENTIALLY DAMP LOCATIONS SHALL BE COATED ADDITIONALLY WITH 2 COATS OF BITUMINOUS PAINT
  - ALL STEELWORK IS TO BE SHOT BLASTED AND PRIMED WITH 75 MICRONS OF ZINC PHOSPHATE BEFORE DELIVERY TO SITE.
  - ALL BOLTS TO BE GRADE 8.8 IN ACCORDANCE WITH BS 3692 AND HOT DIP SPUN GALVANIZED TO COMPLY WITH EN ISO 1461 UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - ALL STEELWORK CONNECTIONS TO BE DESIGNED BY FABRICATOR SHOWN IN ENGINEERS CALCULATIONS TO PROVIDE FULL MOMENT/CONTINUITY WHERE INDICATED. UNLESS NOTED OTHERWISE, CONNECTIONS TO BE DESIGNED FOR A MINIMUM SHEAR OF V<sub>ed</sub> = 50KN. APPEARANCE OF ALL CONNECTIONS WILL NEED TO BE AGREED TO SUIT ARCHITECTS AESTHETIC REQUIREMENTS.
  - THE STEELWORK CONTRACTOR/FABRICATOR IS TO SUBMIT DUPLICATE COPIES OF ALL SHOP/SITE DETAILS TO 'FLUID' FOR COMMENT AT LEAST ONE WEEK PRIOR TO FABRICATION.
  - WELD TESTS TO BE CARRIED OUT TO COMPLY WITH THE LATEST EDITION OF THE NATIONAL STRUCTURAL STEELWORK SPECIFICATION FOR BUILDING CONSTRUCTION 'FLUID' IS TO BE PROVIDED WITH COPIES OF ALL WELD TEST RESULTS
  - WELDING IS TO COMPLY WITH BS EN 288.
  - IF IN DOUBT ABOUT THE INFORMATION SHOWN ON THIS DRAWING OR ANY RELATED DRAWING PLEASE ASK.
  - THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR THE DESIGN OF ALL TEMPORARY WORKS.
  - WHERE NEW BRICK/BLOCK MEETS EXISTING MASONRY IT SHOULD BE BONDED IN OR CONNECTED WITH A FURFUK WALL EXTENSION PROFILE SYSTEM. TIES ARE TO BE PROVIDED AT 225mm CENTRES (MAX SPACING) VERTICALLY.
  - ALL STRUCTURAL BEAMS AND COLUMNS ARE TO BE FIRE PROTECTED IN ACCORDANCE WITH THE SURVEYORS DETAILS AND CURRENT BUILDING REGULATION REQUIREMENTS. ALLOW MINIMUM 60 MINUTES UNLESS NOTED OTHERWISE.
  - CONCRETE PADSTONES ARE TO BE LOCATED UNDER ALL NEW STEEL BEAMS TO ACT AS LOAD SPREADERS ONTO NEW OR EXISTING MASONRY. ALL PADSTONES ARE TO BE GRADE C35/10 CONCRETE IN ACCORDANCE WITH BS 5328.
  - ALL LINTELS TO HAVE A MINIMUM 150mm END BEARING INTO NEW BRICKWORK/BLOCKWORK AND 225mm END BEARING IN EXISTING BRICKWORK UNLESS NOTED OTHERWISE.
  - ALL BLOCKWORK TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 7N/mm2, MAXIMUM DENSITY 1500kg/m3.
  - ALL TIMBER TO BE GRADE C24 PRESSURE IMPREGNATED WITH PRESERVATIVE TO BS 5268.
  - ALL EXISTING LINTELS ARE TO BE INSPECTED AND REPLACED IF THEY SHOW SIGNS OF DETERIORATION, CRACKING, OR DISTRESS. THE MATERIAL NATURE OF ANY REPLACEMENT IS TO BE APPROVED BY THE LOCAL AUTHORITY PRIOR TO INSTALLATION.
  - ALL EXISTING WALLS ARE TO BE EXAMINED BY THE CONTRACTOR FOR LACK OF BOND/ DELAMINATION, ETC. IF SUCH AREAS ARE NOTED, THE CLIENT'S ENGINEER IS TO BE INFORMED IMMEDIATELY. THE CONTRACTOR SHALL ARRANGE FOR THE DESIGN AND INSTALLATION OF A SUITABLE REMEDIAL TIE SYSTEM.
  - SHOULD ANY EXISTING WALL PROVE TO BE INADEQUATELY RESTRAINED, THE CONTRACTOR ALLOW FOR THE DESIGN AND INSTALLATION OF SUITABLE REMEDIAL WORKS TO PROVIDE ADEQUATE LATERAL RESTRAINT AND SUBMIT THE DESIGN TO THE LOCAL AUTHORITY FOR APPROVAL.
  - THE CONTRACTOR IS TO PROVIDE TEMPORARY WORKS TO PROVIDE LATERAL AND VERTICAL RESTRAINT TO EXISTING WALLS PRIOR TO DEMOLITION OF ANY PART OF THE EXISTING BUILDING COMMENCING.
  - THE CONTRACTOR SHALL ALLOW FOR THE FOLLOWING ROOF CONSTRUCTION AS WELL AS THAT SHOWN ON THE DRAWINGS ALL HOLDING DOWN STRAPS, LATERAL RESTRAINT STRAPS, FIXINGS AND CONNECTION PLATES, TIES AND ANY ROOF BRACING REQUIRED. IN ADDITION THE CONTRACTOR SHALL ALLOW FOR ALL CEILING JOISTS AND BATTENS THAT MAY BE REQUIRED.
  - FLOOR JOISTS STRAPPED TO MAIN BRICK WALLS IN ACCORDANCE WITH A3 DISPROPORTIONATE COLLAPSE GUIDELINES.
  - IN ALL CASES THE EXISTING WALLS WILL REQUIRE THE FOLLOWING REMEDIAL WORKS: -
    - ALL EXISTING STEELWORK AND TIMBERS NOT REQUIRED TO BE CAREFULLY REMOVED. THE CONTRACTOR SHOULD OBTAIN THE APPROVAL OF THE RELEVANT LOCAL AUTHORITIES PRIOR TO THIS WORK BEING CARRIED OUT
    - ALL MINOR CRACKS ARE TO BE REPAIRED USING 1 : 1 : 6 MORTAR. III) ANY MORTAR/BRICKWORK THAT IS JUDGED BY THE CONTRACTOR OR THE CLIENT'S ENGINEER OR THE LOCAL AUTHORITY REPRESENTATIVE TO BE CRUMBLY, SOFT, DETERIORATED, ETC., IS TO BE REMOVED AND REBUILT IN BONDED ENGINEERING BRICK, FACING BRICK OR BLOCK AS APPROPRIATE. ALL EXISTING INTERNAL MASONRY WALL OPENINGS NO LONGER REQUIRED ARE TO BE IN-FILLED IN BONDED BRICK/BLOCK AS APPROPRIATE.
    - ALL STRAIGHT JOINTS UNCOVERED ARE TO BE TIED ACROSS BY MEANS OF PROPRIETARY GALVANIZED STEEL STRAPPING.
    - IF CRACKS WITH AN APERTURE GREATER THAN 2mm ARE UNCOVERED, THE CONTRACTOR SHALL PROVIDE STITCHING USING 900mm LONG X 100mm WIDE X 65mm DEEP PRE-CAST CONCRETE LINTELS AT 900mm CENTRES VERTICALLY. THE LINTELS ARE TO BE INSERTED ON A 1 : 1 : 6 MORTAR BED AND PACKED WITH A 1 : 1 : 6 SEMI-DRY MORTAR WELL RAMMED.

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Drawing Title:  
**Structural/ Architectural Schedules**

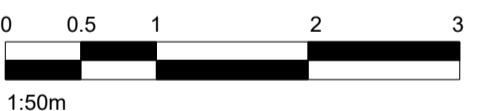
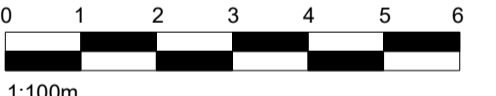
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No.:	Revision:	Date:
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Client:

27 Welland Gardens Perivale Greenford UB6 8SZ

Drawing Title:  
Ground Floor M&E

Status: --

Scale: 1 : 50 @A2 Date: 28/06/2022 Drawn By: Author

Drawing No.: 014 Rev:

**KEY TO NEW ELECTRICS & LIGHTING**

	CARBON MONOXIDE DETECTOR		SMOKE DETECTOR TO BS 5839-6, 2019 (Grade D2; Category LD2)
	HEAT DETECTOR TO BS 5839-6, 2019 (Grade D2; Category LD2)		EMERGENCY BULKHEAD LIGHT, TO BS5266:PART1
	DIRECTIONAL RECESSED CEILING LIGHT		FIXED RECESSED CEILING LIGHT
	FIBRE OPTIC LIGHTING MAIN		MINI RECESSED CEILING LIGHT
	PENDENT CEILING LIGHT		FLOOR MOUNTED UPLIGHT
	LOW LEVEL FLOOR WASHER WITH PIR		WALL LIGHT
	WALL SPOTLIGHT @ 300mm LEVEL		PIN SPOT CEILING LIGHT
	WATERPROOF RECESSED CEILING LIGHT		EXTERNAL WALL LIGHT
	EXTERNAL GROUND BASED LIGHT		CEILING MOUNTED PROJECTOR
	LED LIGHT STRIP - 15mm PROFILE		DENOTES - EMERGENCY
	UNDER WALL UNIT LIGHT OR CUPBOARD LIGHT		OPENABLE VENT AT HIGH LEVEL FOR FIRE SERVICE USE (1.0 m2 min free area)
	SHAVER SOCKET		FIRE ALARM INTERFACE
	STANDARD LIGHT SWITCH (1,2 or 3 way) OR 'D' FOR DIMMER SWITCH		ETHERNET CAT6 X 2+TV CT100 X 2 /FM (BT)
	LIGHT SWITCH CONTROL PANEL		GAS SUPPLY DUCT
	SONOS IN CEILING SPEAKER		WATER SUPPLY DUCT
	13amp SINGLE & DOUBLE POWER POINTS		SKY PLUS SYSTEM INTERCOM BT (MAIN PHONE LINE) ELECTRICAL DUCT
	13amp SINGLE & DOUBLE POWER POINTS @ 1800mm LEVEL		LED LIGHT STRIP - AT SKIRTING LEVEL
	13amp SINGLE & DOUBLE POWER POINTS @ FLOOR LEVEL		LED TUBE LIGHTING WITH WIRELESS MOVEMENT DETECTORS
	13amp SINGLE & DOUBLE POWER POINTS w/ SENSOR ACTIVATED LIGHT		40amp COOKER SUPPLY
	5amp LAMP SOCKET POINTS		COAXIAL CABLES TO EACH LOCATION TO BE STAR WIRED TO COMMUNICATION RACK
	13amp FUSED SPUR		CAT 6 CABLES TO EACH LOCATION TO BE STAR WIRED TO CENTRAL COMMUNICATION, CABLES TO BE TERMINATED ONTO A CAT 6 PATCH PANEL IN COMS TO RACK AND ON CERTIFIED FACE PLATES IN THE ROOMS-USING A SINGLE MANUFACTURER
	TELEPHONE OUTLET		MAIN DISTRIBUTION POINT FOR SATELLITE SIGNAL. COAXIAL CABLE FROM ROOF TO BE WIRED TO THIS POINT
	M = MASTER BT OUTLET (WHERE NOTED)		BT MASTER SOCKET
	FUSE BOARD & CONSUMER UNIT		CCTV CAMERA
	FUSE BOARD & CONSUMER UNIT FOR COMMUNAL AREAS		
	WALL MOUNTED ENTRY PHONE SYSTEM		
	FIRE ALARM ACTUATION POINT		
	FIRE ALARM - SOUND		

**ELECTRICAL**  
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

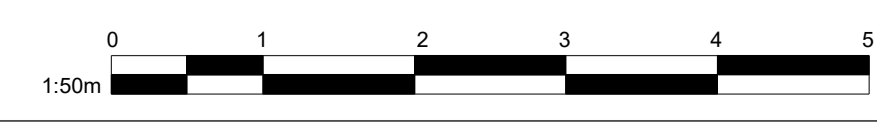
**INTERNAL LIGHTING**  
Internal energy efficient light to be fitted as calculated in the DER and in compliance with the Domestic Building Services Compliance Guide. Provide low energy light fittings not less than three per four (excluding infrequently accessed spaces used for storage, such as cupboards and wardrobes). Low energy light fittings should have lamps with a luminous efficacy greater than 45 lamp lumens per circuit-watt and a total output greater than 400 lamp lumens. Fixed internal lighting to be pin based fluorescent or compact fluorescent lamps or low energy bayonet or Edison screw base compact fluorescent lamps. Contractor to allow for mm 2 ceiling roses and 4 double power sockets per room  
Two way switches between Grd and First, First and Second and 3  
No ceiling roses in Hallway and Landing together with mm one power socket per landing.  
One no double power socket and external Hard wired and sensor light at front and rear of each houses.

**SMOKE DETECTION**  
Mains operated linked smoke alarm detection system to BS EN 14604 and BS5839-G:2013 to at least a Grade D category LD3 standard and to be mains powered with battery back up. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on all levels/stores and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. An interlinked heat detector to be provided in the kitchen if required by Building Control.

**HABITABLE ROOMS BACKGROUND VENTILATION:**  
area of tickle vent to be not < 8000 mm2 or alt. mechanical ventilation to be capable of operating continuously at nominal one air-change per hour.

**KITCHEN VENTILATION:**  
Mechanical ventilation to be provided by extractor fans capable of extracting at a rate not < 60 l/s or incorporated in a cooker hood capable of extracting at a rate not < 30 l/s operated intermittently during cooking and discharging directly to external air. trickle vents to be not < 4000mm2.

**BATHROOM/ WC VENTILATION:**  
Provide a mm. floor ventilation opening to all rooms of 1/20th of floor area. ventilation opening to be at least 1750 mm above floor level. alternatively, mechanical ventilation to be provided by extractor fans connected to the light switch with 15 mm over run giving a minimum of 3 air changes per hour and taken directly to external air at a rate not < 15 l/s. trickle vents to be not < 4000 mm2.



**KEY TO PLUMBING & HEATING**

	SOIL AND VENT STACK		Durox Air Admittance Valves or similar to be installed where SVP pipe terminates at any floor.
	RAINWATER STACK		All cooker hood extract fans to duct to external air and be min 30v's
	HOT AND COLD WATER FEEDS		All bathrooms to have extract fans of min 15 l/s and duct externally
	GAS FEEDS		All existing foul water drainage to be tested for leakage, exposed for inspection (as required by BCO) and repaired or replaced where necessary.
	TOWEL RAILS ON HOT WATER		All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.
	FLOOR DRAIN		RADIATOR
	BIDET SPRAY		EXTRACTOR FAN (TBC)
	HOT WATER CYLINDER		HOT WATER CYLINDER
	BOILER		UNDER FLOOR HEATING PANELS
	THERMOSTATIC PROG FOR UFH		UNDER FLOOR HEATING MANIFOLD
	WATER SUPPLY		WASTE DRAINAGE LINES
	ACD CHANNEL/RAINWATER DRAINS		

**Part G**  
All new drains to connect to existing drain system. Vents pipes longer than a 15m run to have anti-syphon traps to fittings to be no less than 75mm dia.

**Part G1 COLD WATER SUPPLY**  
Wholesome water provides to washbasins, bidets, showers, baths, sinks where food is prepared and any other place where drinking water may be drawn. There must be a suitable installation for the provision of a wholesome water supply in accordance with Approved Document G. Cold water supply to be provided to washbasins, bidets, baths, WCs, showers, any place when drinking water 15 drawn off and to any sink provided in areas where food 15 prepared. Supply of cold water to comply with section 67 of the water industry act 1991 and the Water Supply Regulations 2000.

**Part G2 WATER EFFICIENCY**  
The number of occupancies and bedrooms will not be changed. Baths or showers to have thermostatic controls.

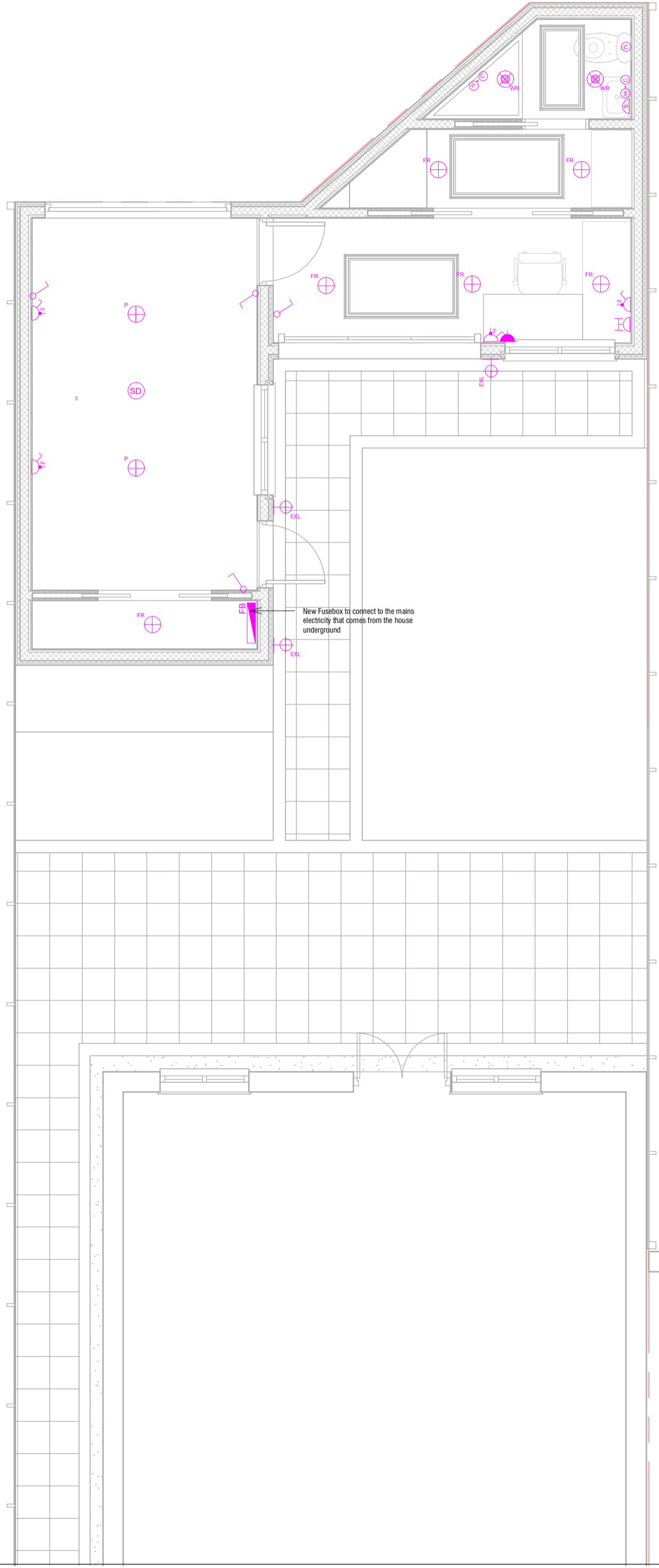
**Part G3 Hot Water Supply and Systems**  
The safety features on the device will prevent the temperature of the stored water at any time exceeding 100C. The pipe work will safely convey the discharge of hot water from safety devices to where it is visible but will cause no danger to persons, in or about the building. The system will be installed by a 'Corgie Registered' Plumber. All bathrooms, washbasins, bidet, baths and showers to be provided with adequate hot and cold water supply in accordance with Approved Document G3. Washbasin with hot and cold water supply to be provided in or adjacent to all rooms containing a W.C. A sink with hot and cold water also to be provided to any area where food is being prepared.

**Part G5 BATHROOMS**  
The number of fixed baths or showers and WHBs in buildings with rooms for residential purposes should be in accordance with BS 6465-1:2006 and A1:2009 Sanitary installations. Code of practice for the design of sanitary facilities and scales of provision of sanitary and associated appliances. Any sanitary appliance used for personal washing should discharge through adequate drainage system to main drainage.

**Part G6 KITCHENS AND FOOD PREPARATION AREAS**  
A sink should be provided in any kitchen or place used for preparation of food.

**DRAINAGE:**  
1. RAINWATER DRAINAGE(if applicable) - Rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (to depth to Local Authorities approval) with suitable granular fill with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway. Paved areas to be suitably drained free from storm water.  
2. UNDERGROUND FOUL DRAINAGE  
Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1:2006.  
3. INSPECTION CHAMBERS  
Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45mm straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.  
4. ABOVE GROUND DRAINAGE  
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.  
Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)  
Wash basin - 1,7m for 32mm pipe 3m for 40mm pipe  
Bath/shower - 3m for 40mm pipe 4m for 50mm pipe  
W/C - 6m for 100mm pipe for single WC  
All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m. Or to 110mm upvc soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting.  
Waste pipes not to connect within 200mm of the WC connection. Supply hot and cold water to all fittings as appropriate.  
5. SOL AND VENT PIPE  
SVP to be installed up in 110mm dia UPVC and to terminate min 900mm above any openings within 3m. Provide a long radius bend at foot of SVP. Internal soil vent pipes to be wrapped in 25mm unfaced mineral fibre and enclosed in minimum two layers of 12.5mm plasterboard (15g/m2 mass per unit area) to provide adequate sound proofing. Soil and vent passing through floors to be enclosed in ducts comprising of timber framing faced with fire line plasterboard to achieve half hour fire resistance. All ducts to be fire stopped at floor levels using mineral wool quilt packing.  
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Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45mm straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

**HEALTH & SAFETY**  
1. TEMPORARY WORKS AND CONSTRUCTION SEQUENCE MUST BE CAREFULLY CONSIDERED BY CONTRACTOR TO SUIT CONSTRUCTION PHASING AGREED WITH THE ARCHITECTS, TO ENSURE THAT THE STRUCTURE AND ADJACENT GROUND/STRUCTURES ARE STABLE THROUGHOUT CONSTRUCTION WORKS.  
2. CONTRACTOR TO ENSURE THAT EXISTING STRUCTURE (AND SURROUNDING NEIGHBORING STRUCTURES) ARE NOT UNDERMINED BY ANY EXCAVATION WORKS. ALL LEVELS OF EXISTING FOOTINGS TO BE DOCUMENTED AND REPORTED TO THE ENGINEERS.  
3. CONTRACTOR TO ENSURE THAT STEEL FRAME IS FULLY COMPLETED AND BRACING IN PLACE AND ADJACENT/SUPPORTED MASONRY IS ALL TIGHTLY TIED & DRY PACKED PRIOR TO REMOVAL OF TEMPORARY WORKS  
4. ALL ROOFS AND FLOORS TO BE STRAPPED TO MAIN STRUCTURAL ELEMENTS & WALLS AS WORK PROCEEDS. DO NOT LEAVE ROOF INCOMPLETE OVER NIGHT.  
 ENSURE GAP BETWEEN NEW STEEL BEAMS AND EXISTING MASONRY IS PACKED TIGHT. SOME COSMETIC CRACKING MAY OCCUR AFTER TEMPORARY PROPPING IS TAKEN AWAY AS THE BEAM DEFLECTS SLIGHTLY UNDER THE NEW LOADING. MAKE GOOD ANY CRACKING.  
 ANY WALLS THAT ARE SUPPORTING STEELWORK THAT ARE FOUND NOT TO BE LOAD BEARING MASONRY OR OF POOR CONSTRUCTION SHOULD BE REPORTED TO THE ENGINEER.  
 ELEMENTS DESIGNED IN THESE CALCULATIONS ARE HEAVIER THAN THE MANUAL HANDLING LIMIT OF 25 KG AND THEREFORE THE CONTRACTOR WILL HAVE TO ASSESS THE LIFTING REQUIREMENTS.





THIS DRAWING IS COPYRIGHT and must not be traced or copied in any way of form in part or whole by any means whatsoever without prior written consent and may only be used by the present owner, being our current client in relation to the property as referred to on the drawing.

**GENERAL NOTES**

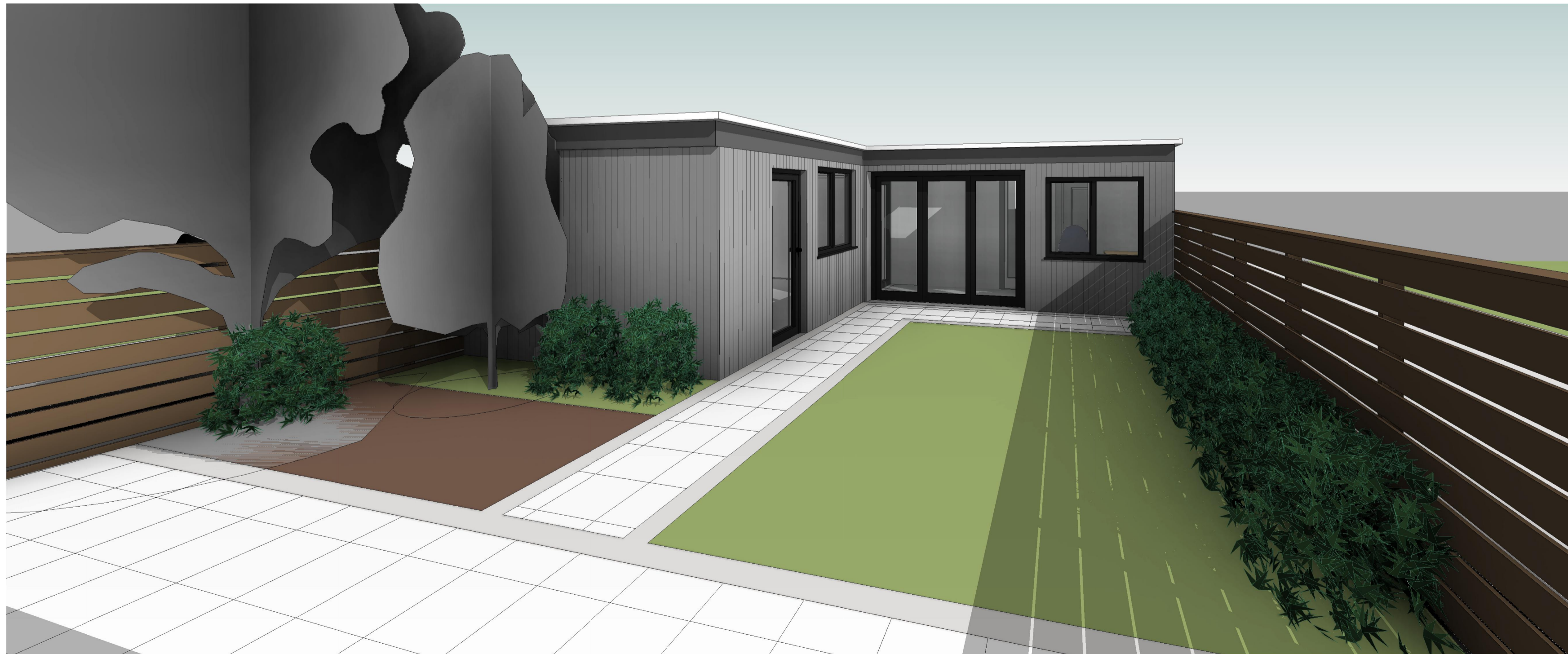
1. CHECK ALL DIMENSIONS ON SITE.
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
3. ALL VERTICAL MEASUREMENTS ASSUME GROUND TO BE LEVEL UNLESS OTHERWISE STATED.
4. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE GENERAL NOTES.
5. WORKS TO BE CARRIED OUT WITH MATERIALS AND WORKMANSHIP IN COMPLIANCE WITH APPROVED DOCUMENT FOR REGULATION 7 (THE AMENDED BUILDING REGULATIONS 2010)
6. WORKS TO BE CARRIED OUT IN A SAFE MANNER IN ACCORDANCE WITH CDM REGULATIONS 2007.
7. OPEN UP EXISTING STRUCTURE AS REQUIRED BY THE BUILDING INSPECTOR
8. THIRD PARTY SUPPLIER TO MEASURE ON SITE BEFORE MANUFACTURING
9. GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
10. ANY DISCREPANCIES IN THESE DRAWINGS SHOULD BE NOTIFIED TO US PRIOR TO ANY WORKS PROCEEDING.
11. UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY, FACE OF STUDS AND FACE OF CONCRETE WALLS AND BEAM CENTRE TO CENTRES.
12. "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.
13. REPETITIVE FEATURES ARE NOT ALWAYS DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
14. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 100MM FROM FACE OF STUD (WALL).
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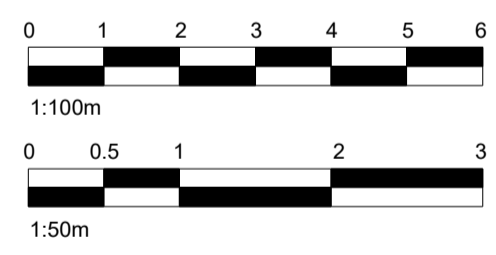
1 3D View A



3 3D View C



2 3D View B



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 27 Welland Gardens Perivale Greenford UB6 8SZ

Drawing Title: Perspectives		
Status: --		
Scale: @A2	Date: 28/06/2022	Drawn By: NAP
Drawing No.: 013	Rev:	