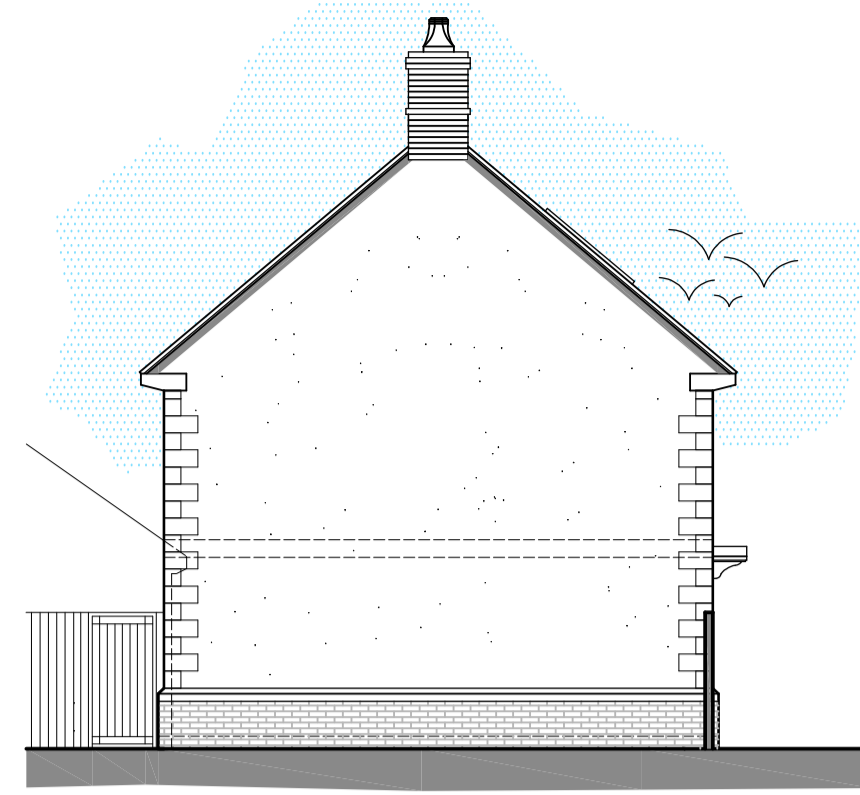


South Elevation



East Elevation

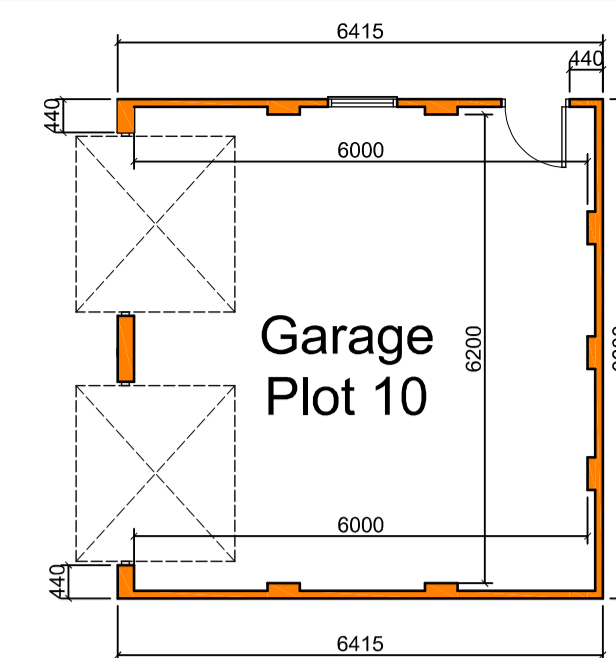


North Elevation



West Elevation

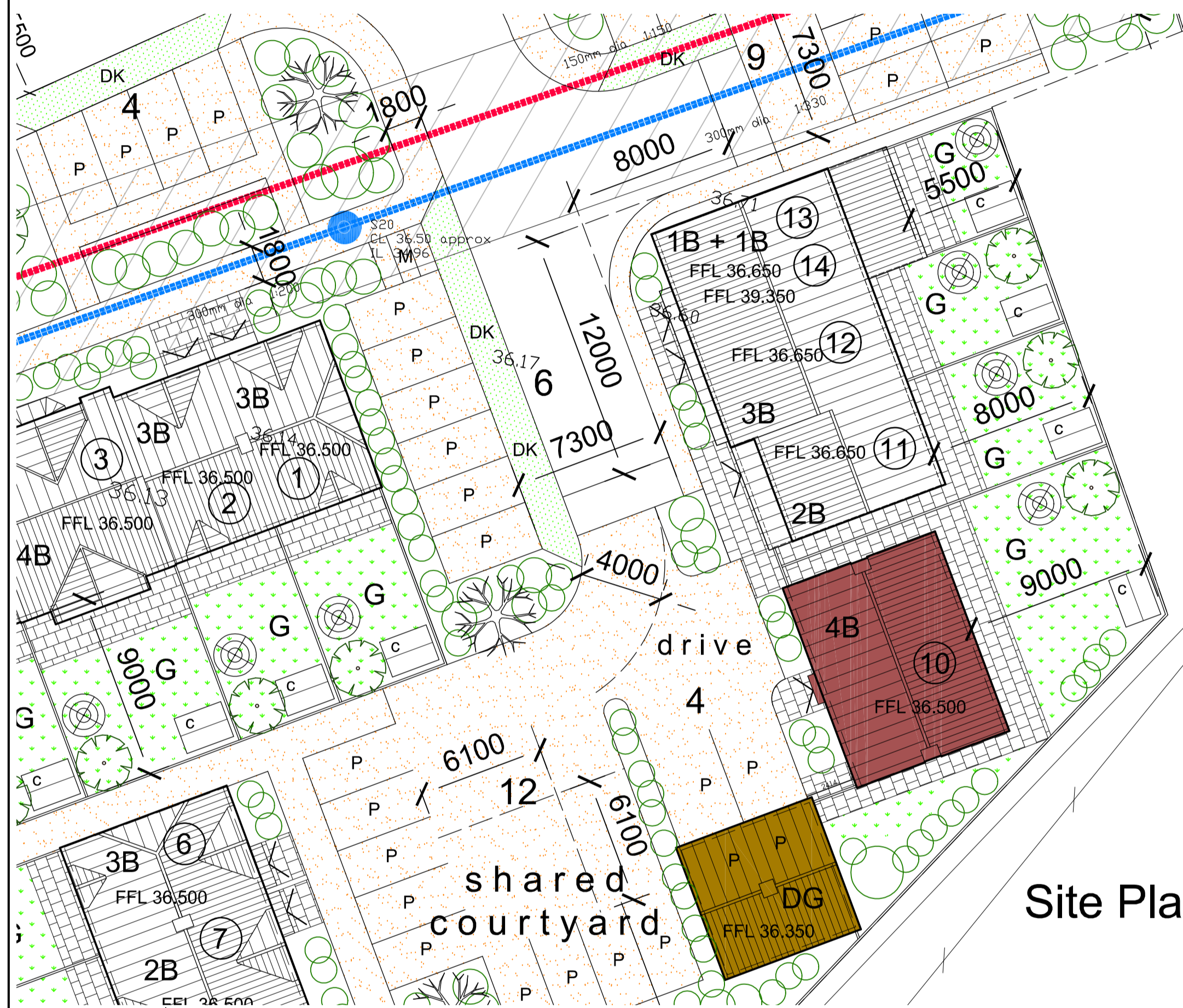
GARAGE MATERIALS
 Mini stonewold grey roof tiles
 Walls to be red multistock facing brick
 Rainwater goods, soffits and fascia boards to be Black upvc



Garage Plot 10

Ground Floor Plan
 1:100
 Double Garage Plot 10

NOTES
 1. Responsibility is not accepted for errors made by others in scaling from this drawing. All construction information should be taken from figured dimensions only.
 2. Any discrepancies are to be reported to the architect.
 3. This drawing is copyright.



Note: Measured survey carried out by West Country Land Surveys Ltd. Adjacent buildings based on Ordnance Survey data.

Site Plan 1:200

LEGEND

- G - Garden
- P - Parking
- DG - Double Garage
- CBF - 1800mm high Closed Board Fencing
- DK - Dropped Kerb
- M - Motorcycle Parking
- Existing Foul drainage
- Existing Storm water drainage
- Rotary dryer
- Bin Store
- Bicycle Store
- Proposed Dwellings + Garages
- Block paving to driveway/ shared surfaces - tba
- Dropped kerb to pavement / verge
- Outline of approved un-built buildings (ref. 2016/1076/REM)
- 3m+3m easment either side of Wessex Water FW + SW sewers
- Grassed Area
- Proposed Shrubs & Hedge planting, refer to Landscaping Schedule



Ground Floor Plan 1:50
 Plot 10



First Floor Plan 1:50
 Plot 10

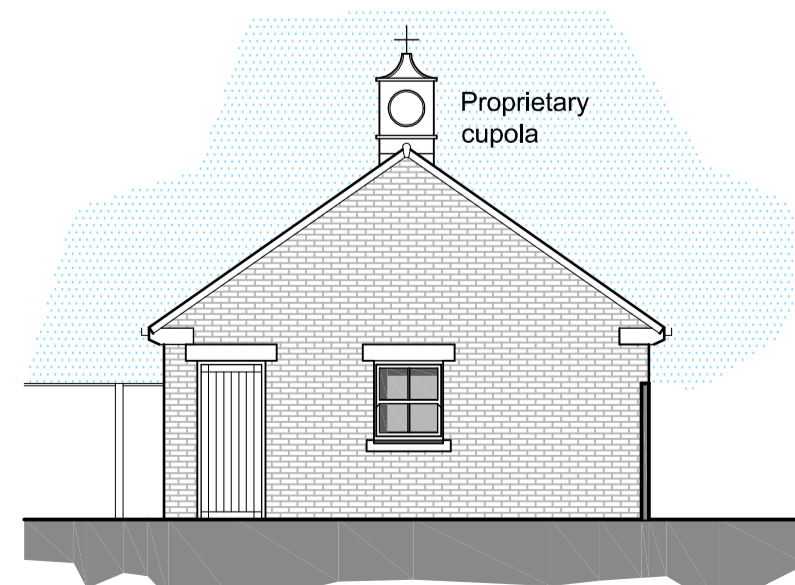
Material Schedule

- Roof**
- Clay Mini Stonewold grey roof tiles
- Walls**
- Red multistock facing brick plinth, Bradstone Pennine dressed reconstituted stone quoins and render
- Window Heads & Cills**
- Plain stone colour Bath stone
- Corbels & Plinth Stone**
- Plain stone colour Bath stone
- Window Type**
- Standard casement uPVC type - Dark Grey
- Rainwater Goods**
- Black uPVC

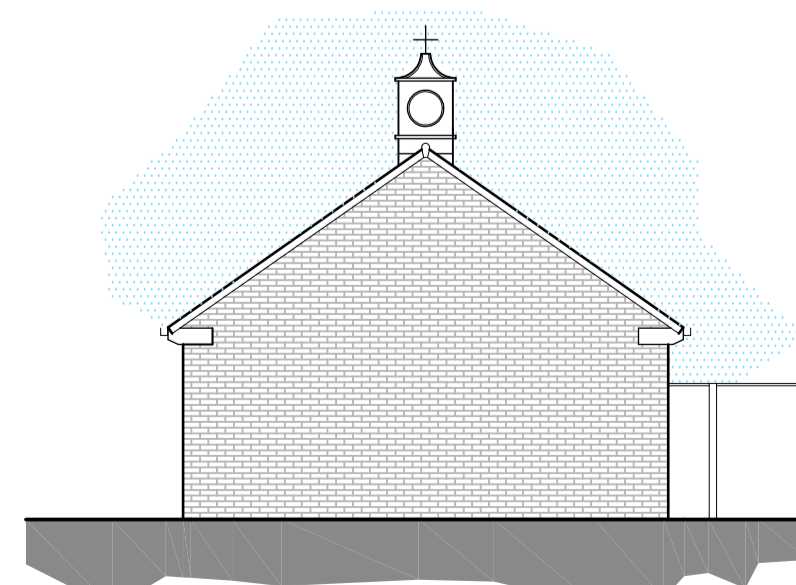
SCHEDULE OF AREAS (inside external walls)

No.	Storey	Bedrooms	Area	Garage	Plot
1	2	4 bed unit @	127m ²	double + 2	10

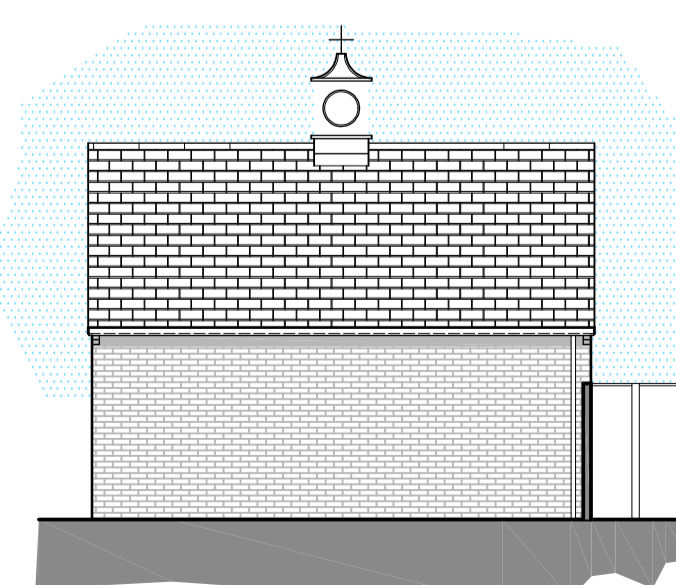
Note: Areas are approximate only and do not include garages.



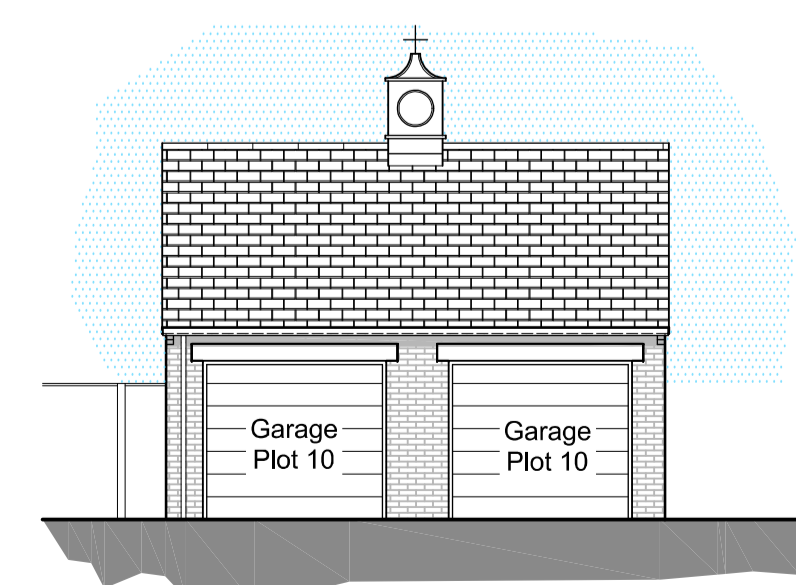
East Elevation



West Elevation



South Elevation



North Elevation

Revisions:
 Rev/ comments/ initials - date

Della Valle architects

Lake View • Charlton Estate • Shepton Mallet • BA4 5QE
 T 01749 330672 • E mail@dellavallearchitects.co.uk
 Chartered Architect • Designer • Project Manager

Client • Flower & Hayes Ltd
 Job • Residential Development at (Land to West of Date Palms Ltd), Mansfield Way, Ham Street, Baltonsborough, Glastonbury, BA6 8PT

Title • Proposed Plans & Elevations - Plot 10
 Scale • 1:50, 1:100 & 1:200 @A1
 Date • November 2018
 Drawn • JL

Dwg No • F1302 / 105