

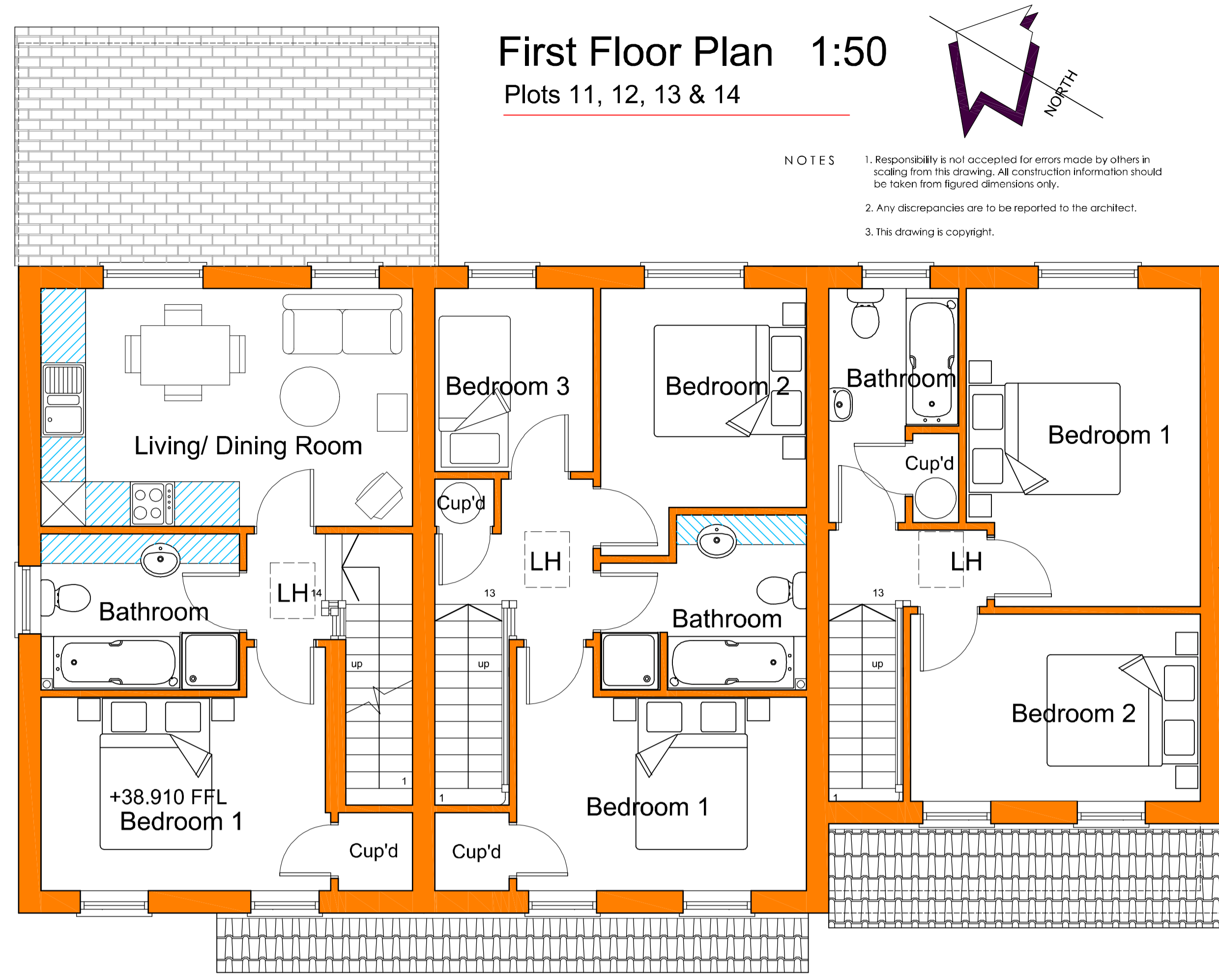


Ground Floor Plan 1:50
Plots 11, 12, 13 & 14

Material Schedule

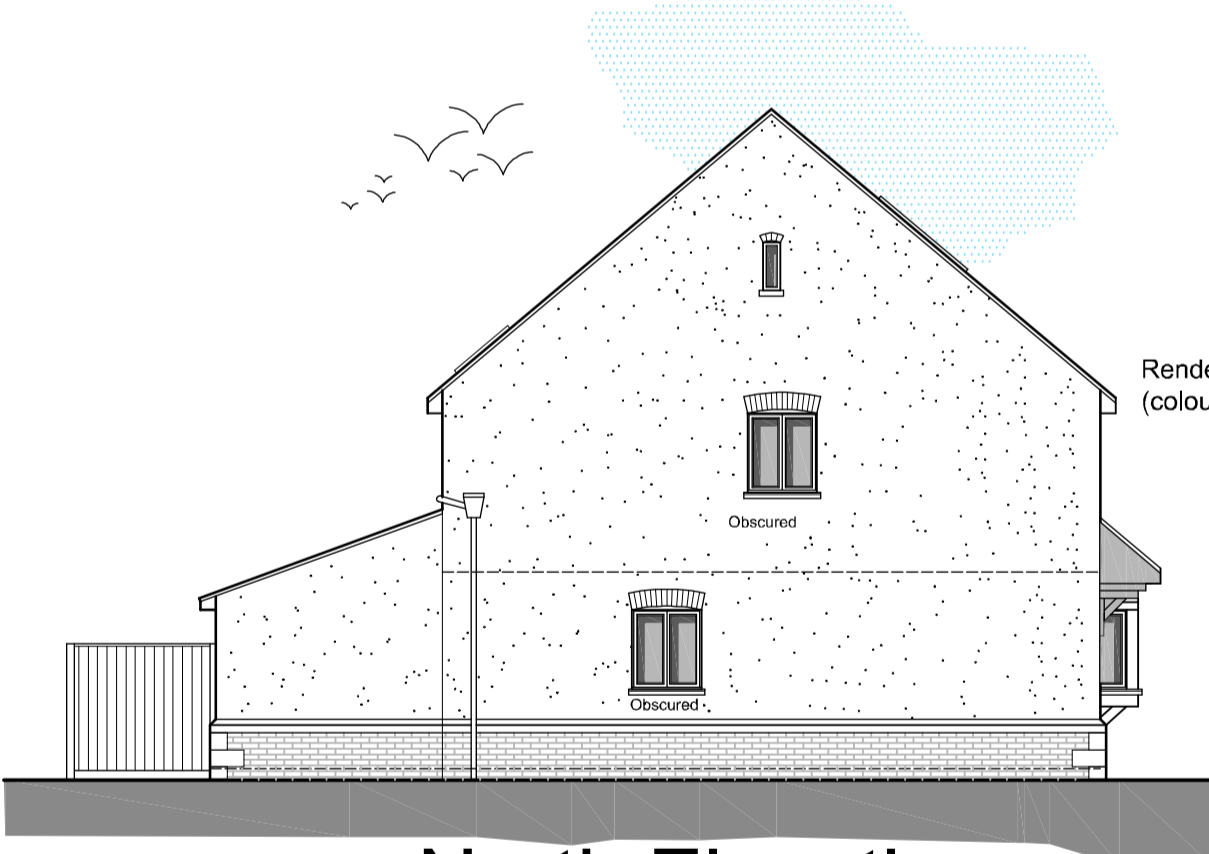
- Roof**
- Concrete double roman roof tiles, with plain tiles to rear lean-to (plot 13)
- Walls**
- Bradstone Pennine dressed reconstituted stone plinth, reconstructed stone quoins, and render to plots 11 & 12
- Red multistock facing brick to plot 13
- Window Heads & Cills**
- Red multistock facing brick arch to window head, plain stone colour Bath stone cills
- Corbels & Plinth Stone**
- Plain stone colour Bath stone
- Window Type**
- Standard casement uPVC type - Dark Grey
- Rainwater Goods**
- Black uPVC

Revisions:
Rev. A/ highway amendments added consistent with drawing SP.01_C/ JL - 11.03.19

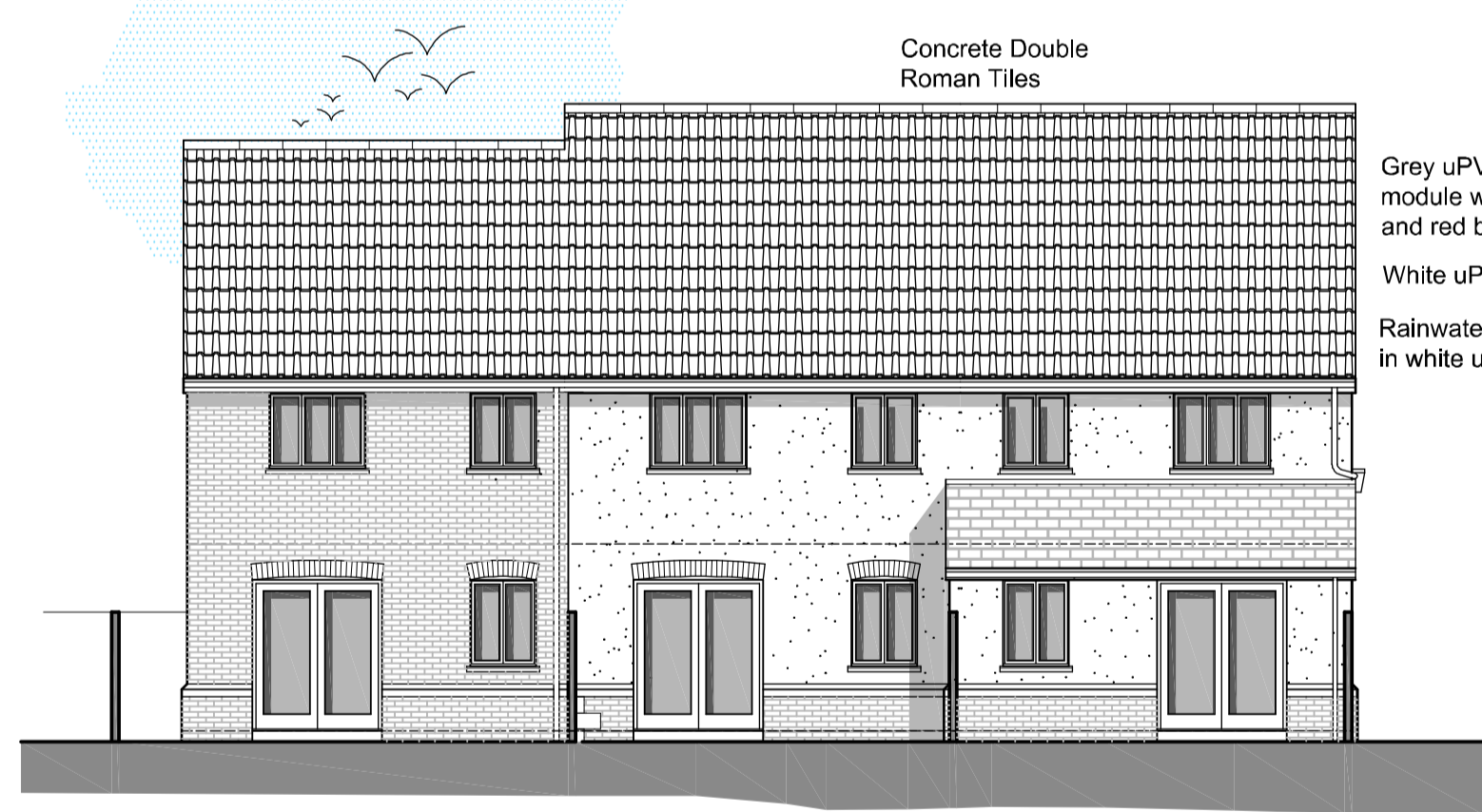


First Floor Plan 1:50
Plots 11, 12, 13 & 14

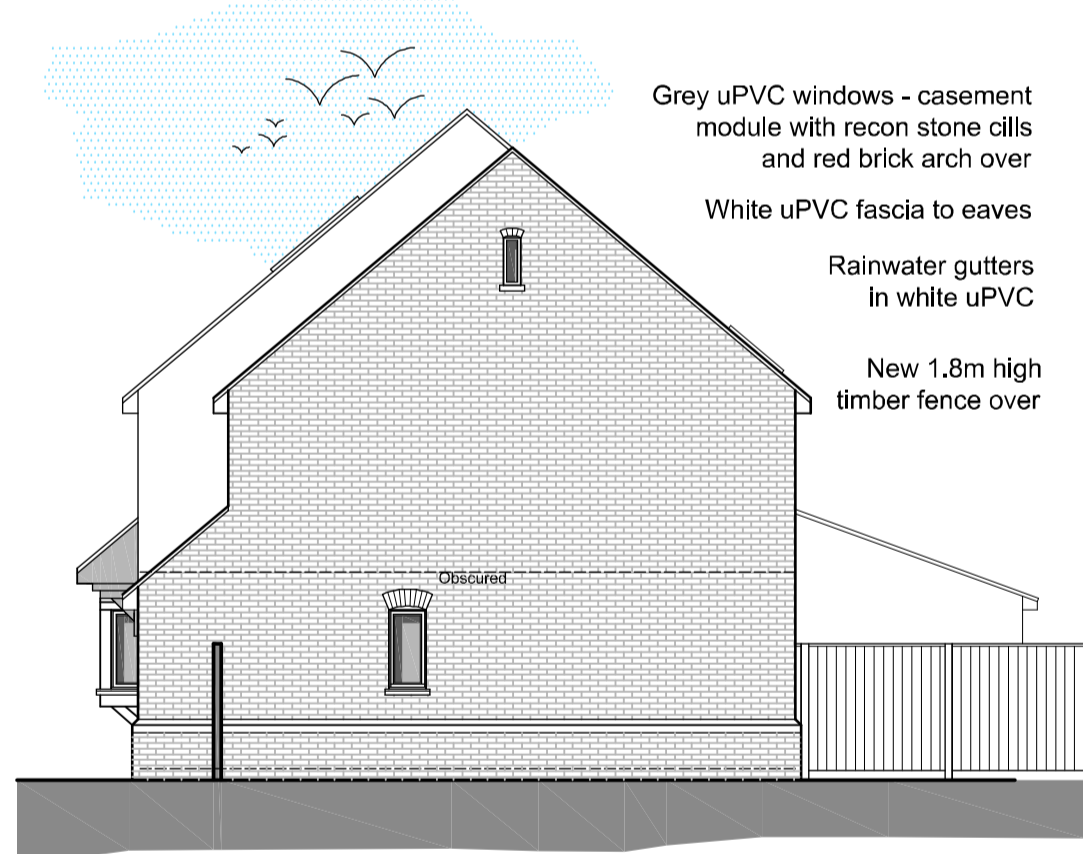
- NOTES**
1. Responsibility is not accepted for errors made by others in scaling from this drawing. All construction information should be taken from figured dimensions only.
 2. Any discrepancies are to be reported to the architect.
 3. This drawing is copyright.



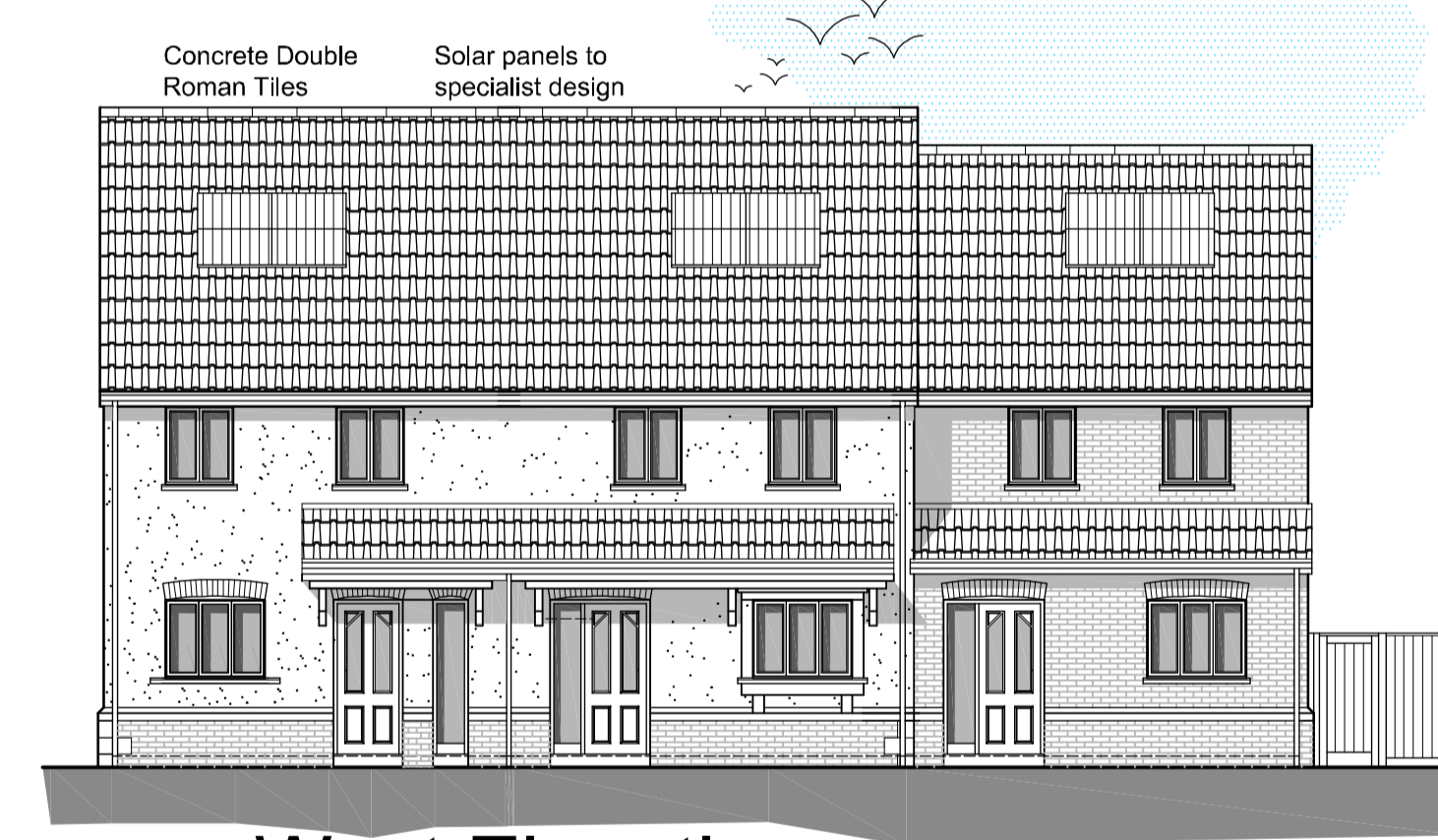
North Elevation



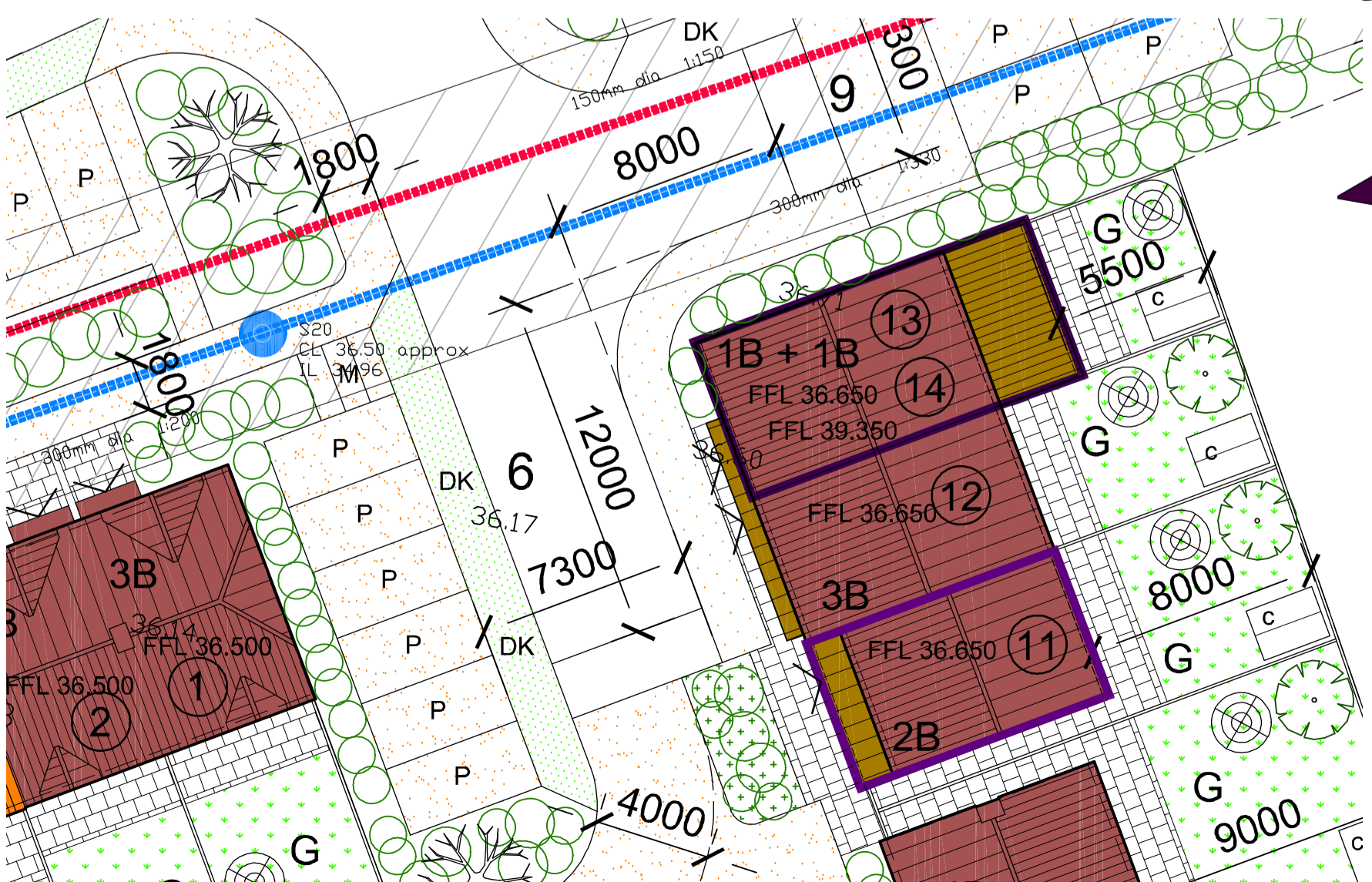
East Elevation



South Elevation



West Elevation



Site Plan 1:200

LEGEND

- G - Garden
- P - Parking
- DG - Double Garage
- CBF - 1800mm high Closed Board Fencing
- DK - Dropped Kerb
- M - Motorcycle Parking
- Existing Foul drainage
- Existing Storm water drainage
- Rotary dryer
- Bin Store
- Bicycle Store
- Proposed Dwellings + Garages

Note: Measured survey carried out by West Country Land Surveys Ltd. Adjacent buildings based on Ordnance Survey data.

SCHEDULE OF AREAS (inside external walls)

No.	Storey	Bedrooms	Area	Garage	Plot
1	2	3 bed unit @	75m ²	3 spaces	11
2	2	3 bed unit @	80m ²	3 spaces	12
3	2	1 bed unit @	50m ²	2 spaces	13
4	2	1 bed unit @	41m ²	2 spaces	14

Note: Areas are approximate only and do not include garages.

- Block paving to driveway/ shared surfaces - tba
- Dropped kerb to pavement / verge
- Outline of approved un-built buildings (ref. 2016/1076/REM)
- 3m+3m easment either side of Wessex Water FW + SW sewers
- Grassed Area
- Proposed Shrubs & Hedge planting, refer to Landscaping Schedule

Della Valle architects

Lake View • Charlton Estate • Shepton Mallet • BA4 5QE
T 01749 330672 • E mail@dellovallearchitects.co.uk
Chartered Architect • Designer • Project Manager

Client • Flower & Hayes Ltd
Job • Residential Development at (Land to West of Date Palms Ltd), Mansfield Way, Ham Street, Baltonsborough, Glastonbury, BA6 8PT

Title • Proposed Plans & Elevations - Plots 11-14
Scale • 1:50, 1:100 & 1:200 @A1
Date • November 2018
Drawn • JL

Drg No • F1302 / 106/ A