

DESIGN & HERITAGE STATEMENT

SARAH PLUMRIDGE

CHAWLEY GREEN FARM, HIGH WYCOMBE

JUNE 2022

Ref: 5209/3.1/KL

Revision: 0

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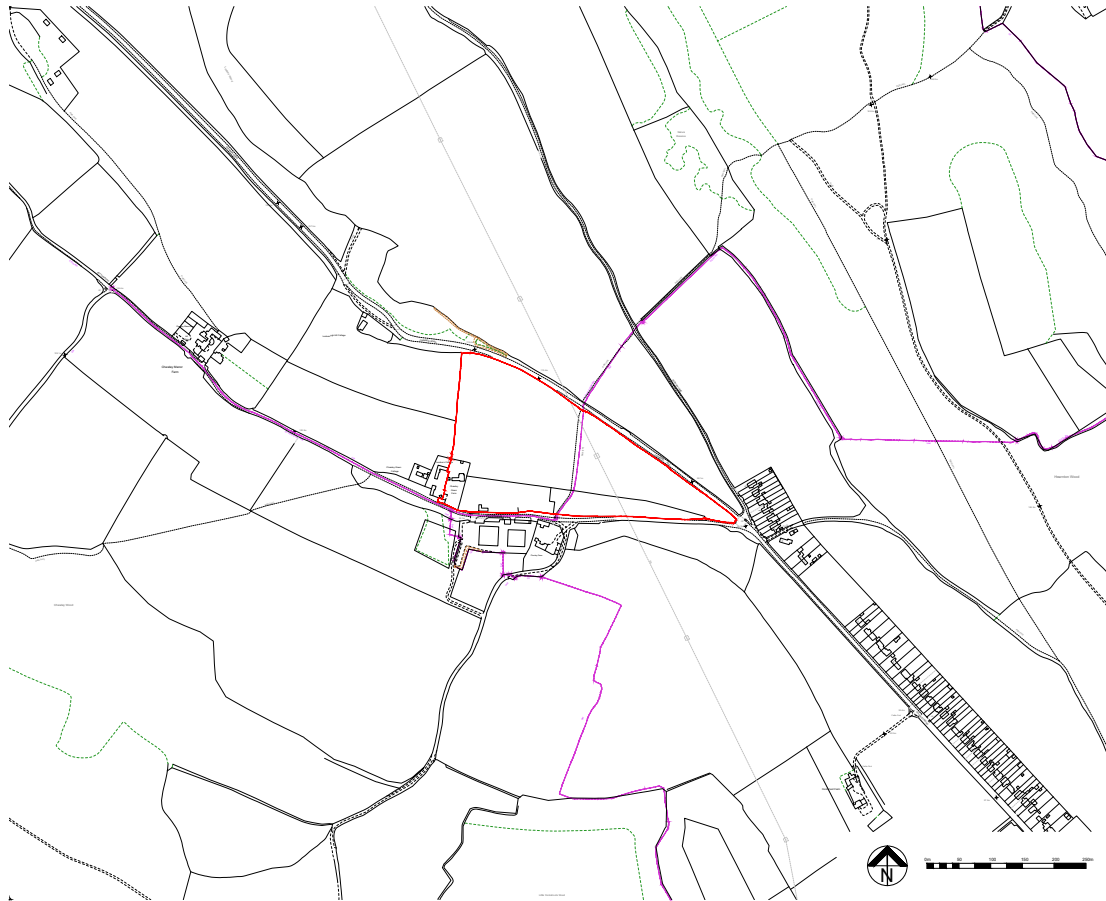


Figure 1: Site Location Plan

1.0 INTRODUCTION

- 1.1 This statement has been prepared in support of a Full Planning Application and Listed Building Consent, for works at Chawley Green Farm, West Wycombe, Buckinghamshire. The proposal comprises internal works to the barn in order to provide ancillary accommodation; as well as demolition of the existing stable and construction of additional storage, with proposed new access.
- 1.2 Although not listed itself, the barn and stables fall within the curtilage of the main farmhouse, a Grade II listed building UID: 1161292. The main 17th century farmhouse is a timber frame construction with whitewashed brick infill and whitewashed flint plinth. The L-plan comprises old tile roofs with brick chimneys to gables and centre. Described as 1.5 storeys, there are 4 bays with casement windows and gabled semi-dormers above. A fire insurance plaque inscribed “West of England, Exeter” still stands.
- 1.3 In order to assess the impact of the proposed works and provide a justification in heritage terms, it is first necessary to understand the history and significance of the site and its contribution to the setting, character and appearance of the green belt and Chilterns AONB. To that end, the first section of this report describes the site and its surroundings in those terms. The second part of the report provides an assessment of the impact of the proposed scheme on the high street terrace and on the setting of the conservation area.

- 1.4 This report therefore complies with paragraphs 128 and 129 of the National Planning Policy Framework (NPPF), which sets out the requirements for understanding the significance of and impact on heritage assets, and the accompanying guidance contained in the NPPG.



Figure 2: Ordnance Survey (OS) map of 1842 - 1952 (Published 1885)



Figure 3: Aerial View

2.0 HISTORIC BACKGROUND

- 2.1 West Wycombe is situated approximately two miles to the west of the centre of High Wycombe, at the confluence of four Chiltern valleys. Although to the east is the 20th century urban town centre, the north and west are bounded by rolling countryside of the Chilterns AONB, providing a rural backdrop to West Wycombe Park, where the River Wye runs.
- 2.2 During the 1920's, the Royal Society for the Arts, Manufacturing and Commerce campaigned for the preservation of ancient cottages. Their major achievement was the purchase of West Wycombe village in 1929, which had fallen into a state of disrepair. By 1934, major restoration work had been completed and the Royal Society formally handed the village to the national Trust for permanent preservation.
- 2.3 West Wycombe is one of the most important conservation areas and historic landscapes in the country. It is a perfectly preserved microcosm of a traditional English rural idyll, creating a gateway to the Chilterns AONB. Buildings either side of the main thoroughfare are timber framed, with examples of colour-washed brick and 18th century cottages. With the exception of the village hall, every building to the south side of the street is listed, where each plot back on to the grounds of West Wycombe Park. Stucco is widely used on grand buildings, with stone detailing and flint decoration. Rendered buildings often conceal timber frames, whilst the most common material is brick.

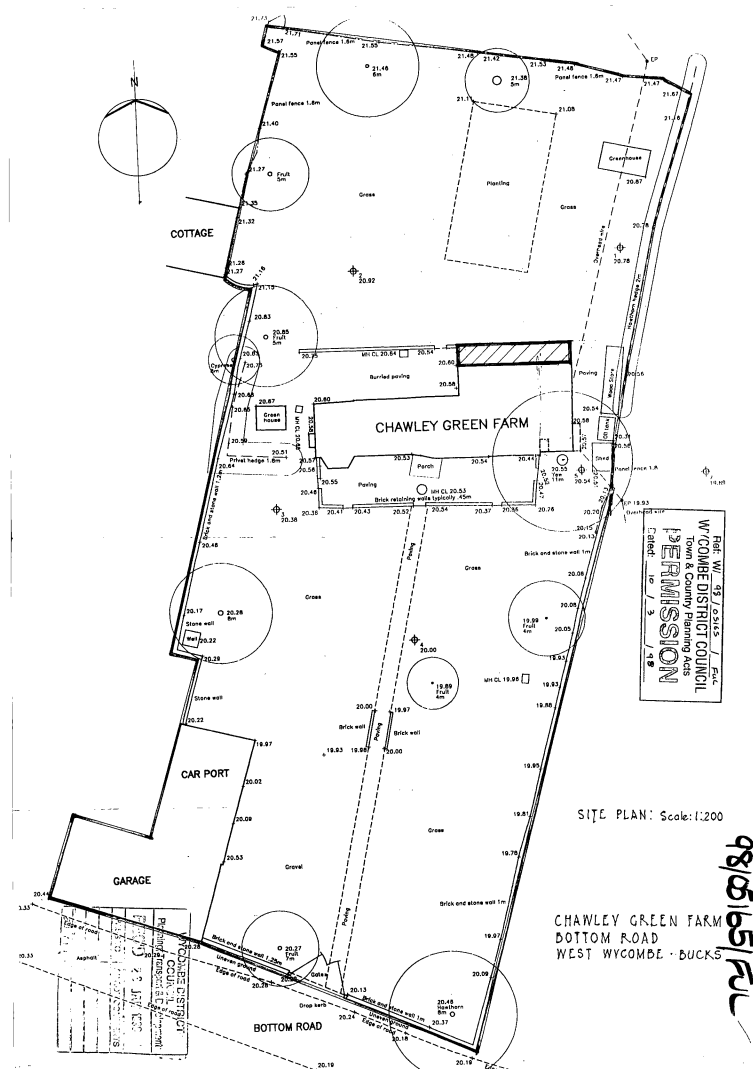


Figure 4: Historic Site Plan

- 2.4 Chawley Green Farm is located approximately 1 mile north of the main high street of West Wycombe, accessed from Chorley Road. Figure 4 depicts the main house site plan as part of the larger Chawley Green Farm. The farm house and barn can clearly be seen, as well as the greenhouses and significant trees on the site. The main house has been extended to the rear, with a porch to the side and outbuilding in the rear garden.
- 2.5 There have been few alterations to the 'original' fabric of the farm house, although all the windows were recently replaced with like for like modern upgrades (20/06659/LBC).
- 2.6 A gravel driveway leads from Bottom Road to the barn and front of the house, with large garden to the front. The east wall separates the residential area from a small orchard and wider farm extents of approximately 16.3 acres, where the stables to be demolished are located. A second access gate exists but is not in use, this application includes reinstating this as a safer vehicular route.

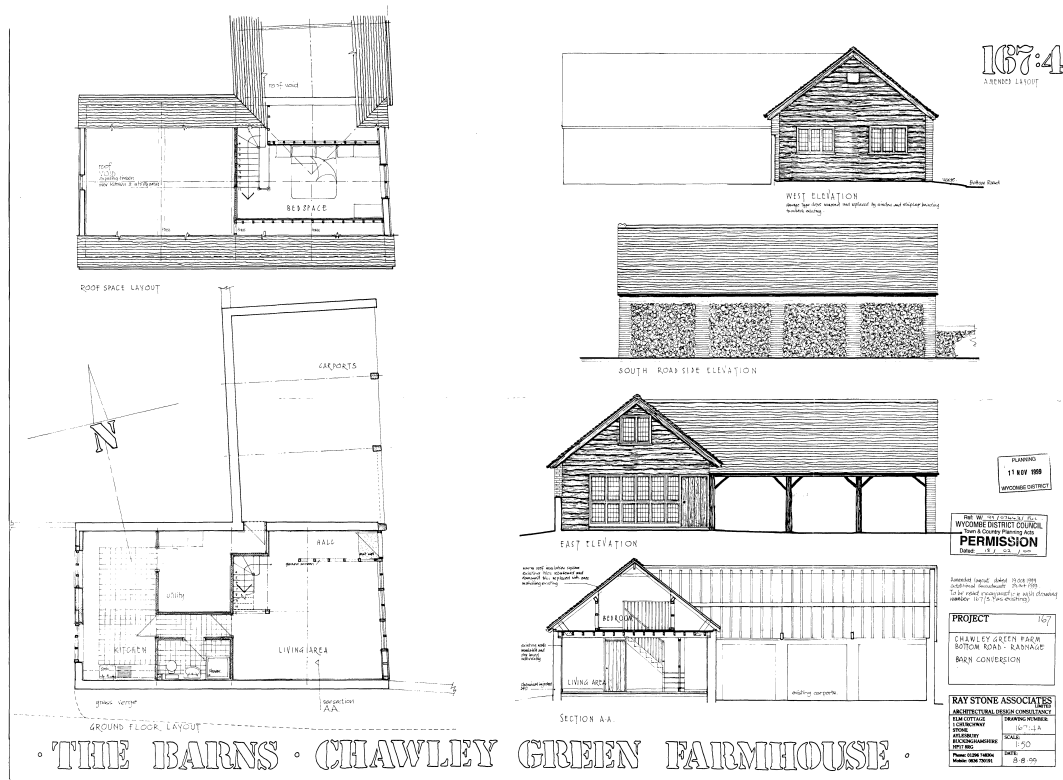


Figure 5: 99/07443/FUL Proposed Plans, Elevations and Section

3.0 PLANNING HISTORY

3.1 99/07443/FUL

Conversion of outbuildings to provide additional living accommodation
 In February 2000, permission was granted for works to the existing barn in order to form a 1-bedroom guest accommodation. Plans were approved for the installation of doors and windows in the east and west elevations to facilitate a living, kitchen, utility and bathroom at ground floor, with bed space upstairs. The permission was never implemented.

3.2 09/06830/LBC

Listed Building application for construction of single storey rear extension/garden room

3.3 12/05995/LBC

Householder application for construction of detached summerhouse in rear garden

3.4 12/06132/LBC

Listed building application for construction of porch to the side

20/06559/LBC

Listed Building application for insertion of like for like replacement windows

4.0 PLANNING POLICY CONTEXT

4.1 The proposals for the application site will need to be considered in light of policy and guidance set out for historic buildings and areas. The statutory duties, national guidance and local plan policies relevant to the proposals supported by this statement are summarised below:

4.2 The Planning (Listed Buildings and Conservation Areas) Act 1990

Provides the overarching statutory framework, it notes within Section 7 that listed building consent is required for:

'any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest.'

4.3 It also notes within Section 16(2) that when considering whether to grant consent the following duty is placed upon the decision maker; *'In considering whether to grant listed building consent for any works the local planning authority, or as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.'*

4.4 National Planning Policy Framework 2018

The NPPF was published on 27th March 2012 and replaced all Planning Policy Statements and Planning Policy Guidance notes. It was further updated, and a new version published on 24th July 2018.

4.5 Importantly the NPPF sets out the level of information that would be required in support of applications affecting heritage assets. **Paragraph 189** states:

'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.'

4.6 **Paragraph 190** sets out the assessment that a Local Planning Authority (LPA) (or in this case that Secretary of State) should undertake when determining applications affecting heritage assets, and states:

'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.'

4.7 **Paragraph 192** confirms the issues that the LPA should take account of when determining such applications; taking account of:

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality*

4.8 Wycombe District Local Plan, 2019

Policy DM20 sets out those areas of policy on which the Council will rely on the detailed policies of the National Planning Policy Framework (NPPF) for determining planning applications. The current NPPF being the third edition published in February 2019.

'4. Applications for Listed Building Consent will be considered against the requirements of the Planning (Listed Buildings and Conservation Areas) Act 1990.'

4.9 Policy DM31 relates to works affecting listed buildings and notes;

'1. All development is required to conserve and, where possible, enhance the Historic Environment. Great weight will be given to the conservation of a designated asset's significance, its setting, and other character features or positive elements of special interest.

Designated heritage assets include:

- a) Listed Buildings*
- b) Scheduled Monuments*
- c) Registered Historic Parks and Gardens*
- d) Conservation Areas*

2. Developments likely to affect the significance of designated or nondesignated heritage assets, or their setting, are required to evidence a thorough understanding of context, the significance of the asset and any potential impacts on that significance through the preparation of a proportionate heritage impact assessment.

4.10 Paragraph 6.117 states:

'It is preferable for listed buildings to be retained in their original uses, however, where it is demonstrated that the original use is not viable, an appropriate change of use will be considered in order to prevent the listed building from falling into disuse and disrepair, in line with the presumption in favour of sustainable development.'

4.11 Conservation Principles (English Heritage 2008)

This document provides a useful basis for completing an assessment on heritage significance and thus attaching value to the significance of a heritage asset. These are based around an understanding of an asset's evidential, historical, aesthetic or communal value. The aim of this document is to:

'Set out a logical approach to making decisions and offering guidance about all aspects of the historic environment, and for reconciling its protection with the economic and social needs and aspirations of the people who live in it.'

4.12 According to the document, the value of a place/asset should be assessed according to these four values. These are not discrete, self-contained concepts but overlap and interact to some extent. The assessment will therefore utilise these values when assessing significance within this document.



Figure 6: Farm House and Barn from Bottom Road

5.0 ASSESSMENT OF SIGNIFICANCE

- 5.1 In April 2008, English Heritage published ‘**Conservation Principles - Policies and Guidance**’, which set out guidance for the sustainable management of the historic environment.
- 5.2 Chorley farm house is a 17th century, timber framed building, comprising 3 bedrooms. The original L-shape plan has been extended to the rear to form a single-storey garden room. Originally the residence for the working farm, there have been few alterations, with the exposed frame and colour-washed brick infill, still prevalent. The house is shielded from Bottom Road by a large gravel driveway with various shrubbery, as well as the barn, which sits adjacent to the road on its south elevation.
- 5.3 The barn to the north of the site is a late 17th, early 18th century, timber framed building with weatherboard. In 2000, works in relation to permission 99/07443/FUL were never implemented for the barn, however, it would have included windows and doors in the east and west elevations, including internal alterations resulting in the formation of a 1-bedroom guest accommodation, ancillary to the main dwelling. Given the design and siting of the barn, it makes a significant contribution to the character and appearance of the area, as such, it’s development would ensure the building is maintained, without the historic fabric being damaged.

6.0 BARN PROPOSAL

- 6.1 Development of the barn comprises the installation of a first-floor structure to provide two bedrooms, a family bathroom, with 'jack and jill' ensuite to a new study accessed from a separate stair. The ground will retain the existing garage door in the west elevation as an external store, with new kitchen, utility, WC and open living and dining.
- 6.2 This proposal is a development of planning consent 99/07443/FUL, however, the nature of the plans submitted did not properly utilise the full potential of the space. As such, a revised scheme is proposed which uses similar external design choices and full utilisation of the first floor space. Three new conservation style roof lights are proposed in the east elevation for daylighting the study and bathroom.
- 6.3 The barn will provide ancillary accommodation to the main dwelling, introducing two new bed spaces and additional facilities. Furthermore, the retention of the building with limited alterations and no extensions will not impact on the rural character of the Chilterns AONB or the rural amenities of the Green Belt and will not have any greater impact than currently exists.

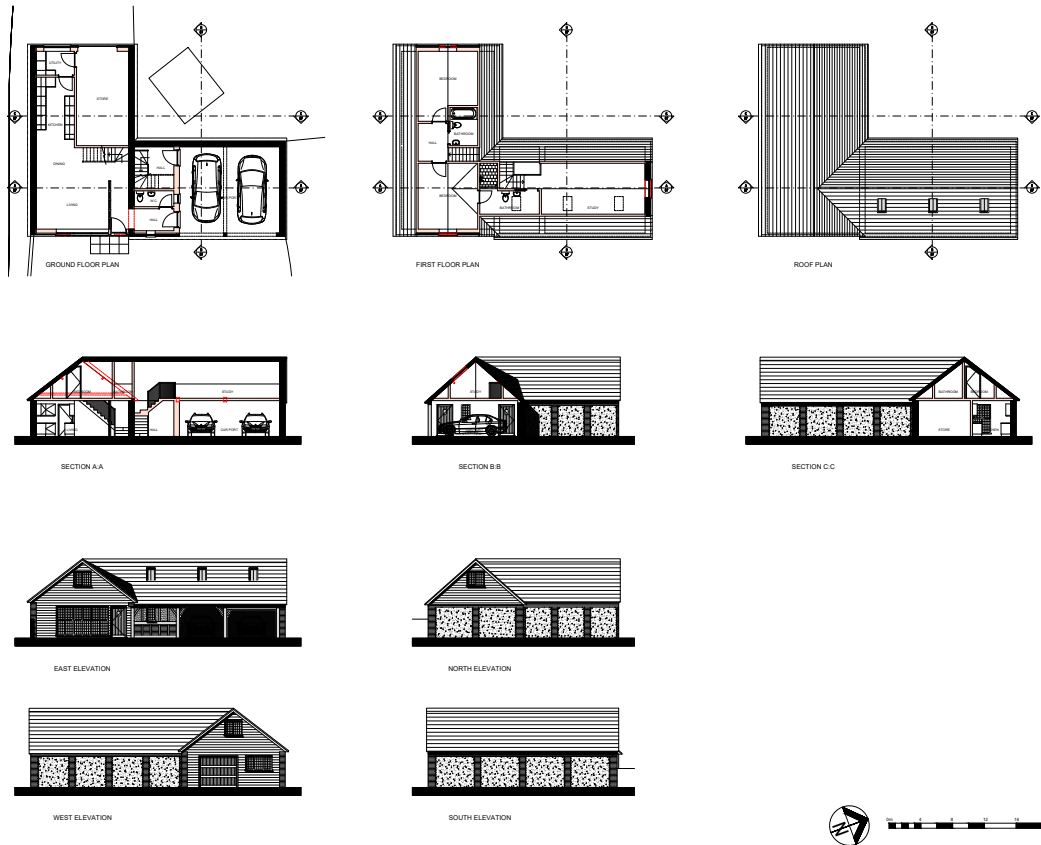


Figure 7: Proposed Barn Plans, Sections and Elevations

7.0 STORAGE PROPOSAL

- 7.1 In addition to development of the barn, the application also comprises demolition of the existing stables to the east of the site. The timber structure has fallen into disrepair and is no longer suitable for any use.
- 7.2 The current L-shape plan will be reconfigured, creating a new structure of the exact same total volume. The proposal has been designed as a recreation of the existing stables, separated into four internal storage areas to negate the loss of storage provision created by change of use for the barn.

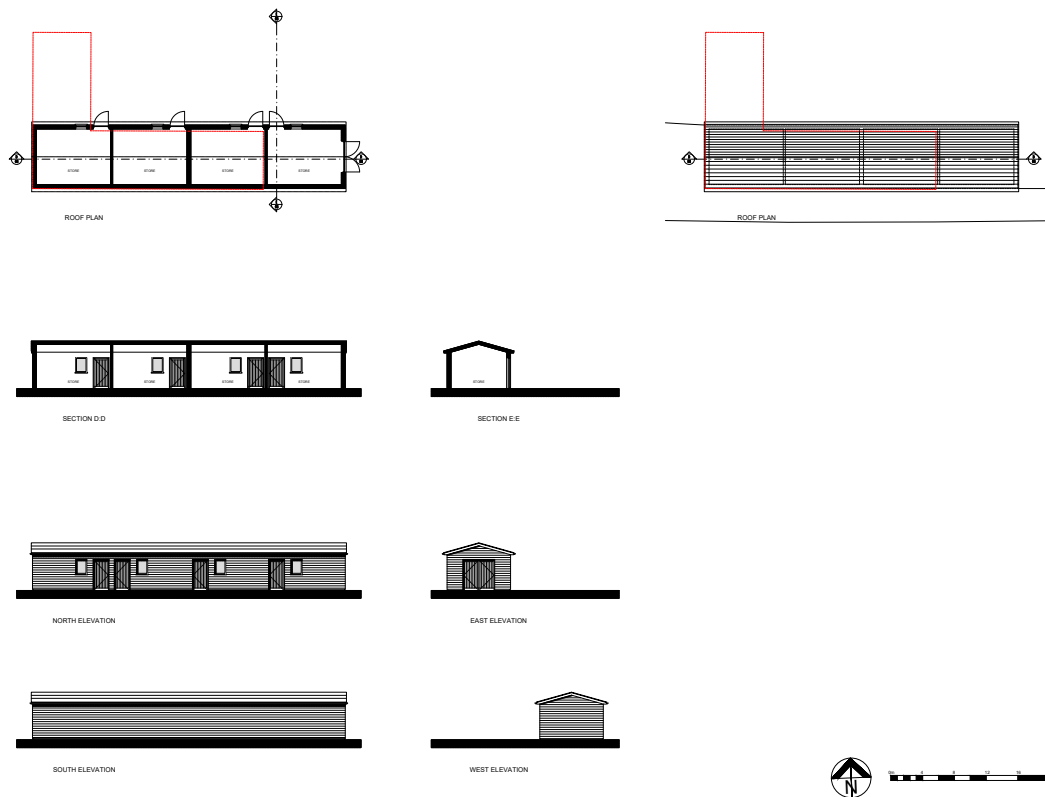


Figure 8: Proposed Storage Plans, Sections and Elevations



Figure 9: Material Palette

8.0 MATERIALS

- 8.1 The proposed development will preserve and enhance the existing characters of the barn and its heritage setting.
- 8.2 Replacement of the existing windows and proposed new openings will be double glazed panels and white timber frames, with casements per the elevation drawings.
- 8.3 Heritage assets of the barn will be crucially preserved, such as the external timber, brick and flint work. They will be restored where necessary and left exposed.
- 8.4 It is intended to replace the existing boarding which has fallen into disrepair, with new weatherproof treatments to match the existing natural colour.
- 8.5 Floor and wall finishes will be chosen to suit function, whilst being sympathetic to the historic fabric of the building.



Figure 10: Proposed Access

9.0 ACCESS

- 9.1 In addition to changes to the barn and stables, it is intended to use the existing secondary access to the main dwelling, east of the site along Bottom Road.
- 9.2 Visibility splays at this entrance are much greater than the existing access, making it a much safer and accessible route.
- 9.3 A section of brick wall will be removed in order to facilitate the new route, and the proposed plan of the new storage removes the L-shaped stables to allow improved vehicular access.
- 9.4 The site is located in Residential Zone B and the optimum parking requirement as set out in Buckinghamshire Countywide Parking Guidance dictates 1.5 parking spaces per two-bedroom unit, with the provision vastly above these requirements. Bicycle storage will also be provided to the required standard.
- 9.5 Access to the main farmhouse and barn remains unchanged.



Figure 11: Barn West Elevation

10.0 CONCLUSION

- 10.1 This statement demonstrates that the proposed alterations would not adversely affect the setting of the Grade II listed building or the visual amenity of the wider area and so would not conflict with the provisions of development plan policies CP9 (Sense of Place), DM31 (Development Affecting the Historic Environment), and HE2 (Alterations and Extensions to Listed Buildings); of the Adopted Wycombe Local Plan.
- 10.2 The careful use of materials and construction method will comply with Buckinghamshire Council's guidance to ensure that the overall character of the area and the adjoining buildings will be conserved and enhanced. Specific details can be dealt with by conditions.
- 10.3 As such, it is Considered that the proposals comply with the advice on conserving and enhancing the historic environment contained in the NPPF, the relevant policies of the adopted Core Strategy, and importantly, the statutory tests set by Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- 10.4 We believe that this development will enhance the local character and is in keeping with the area.

10.0 ADDITIONAL PHOTOGRAPHS



Figure 12: Barn East Elevation



Figure 13: Barn First-Floor

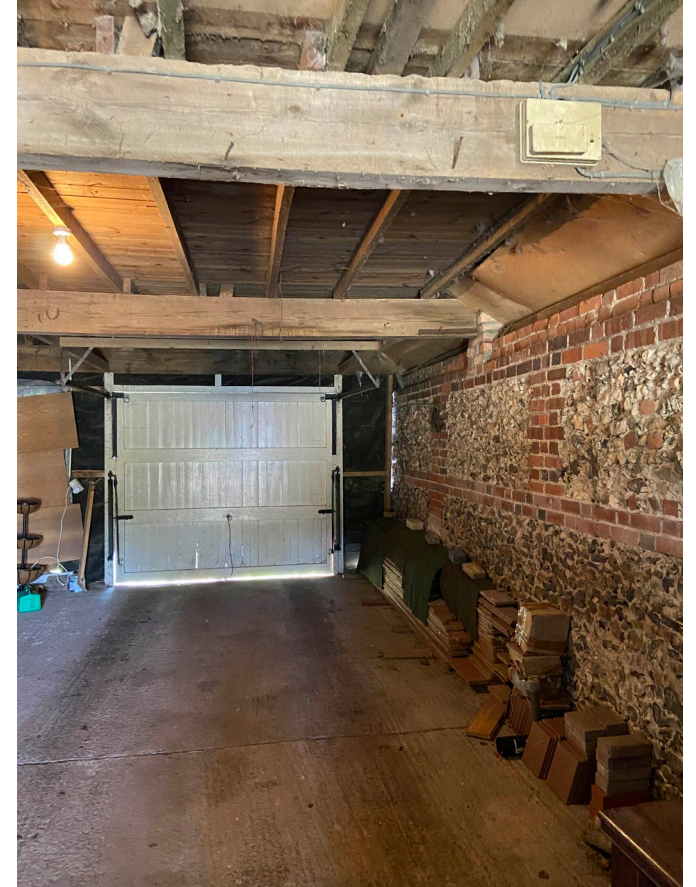


Figure 14: West Internal Elevation



Figure 15: Barn East Elevation Internal



Figure 16: Barn Car Port

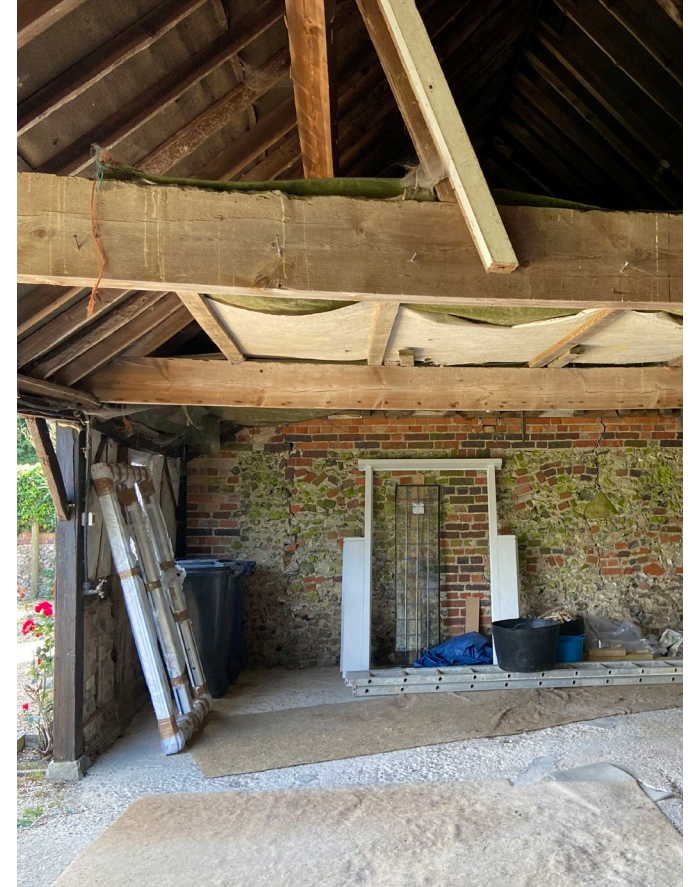


Figure 17: Barn Car Port Internal

10.0 ADDITIONAL PHOTOGRAPHS



Figure 18: Stables East Elevation



Figure 19: Stables West Elevation



Figure 20: Stables North Elevation



Figure 21: Brick Wall Access (Farmhouse Side)



Figure 22: Brick Wall Access (Stables Side)



Figure 22: Orchard to East of Farmhouse