

Document Control

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Associated Documentation

This Design and Access Statement should be read in conjunction with the following drawings and documents:

2120_P001_Location Plan
2120_P002_Existing and Proposed Site Plans
2120_P003_Existing Site Plan
2120_P004_Proposed Site Plan
2120_P005_North Barn - Existing Floor Plan
2120_P006_North Barn - Existing Elevations
2120_P007_East Barn - Existing Plan and Elevations
2120_P008_South Barn - Existing Plan and Elevations
2120_P009_North Barn - Proposed Floor Plan
2120_P010_North Barn - Proposed Elevations
2120_P011_East Barn - Proposed Floor Plan and Elevations
2120_P012_South Barn - Proposed Floor Plan and Elevations
2120_P013_Carport - Proposed Floor Plan and Elevations

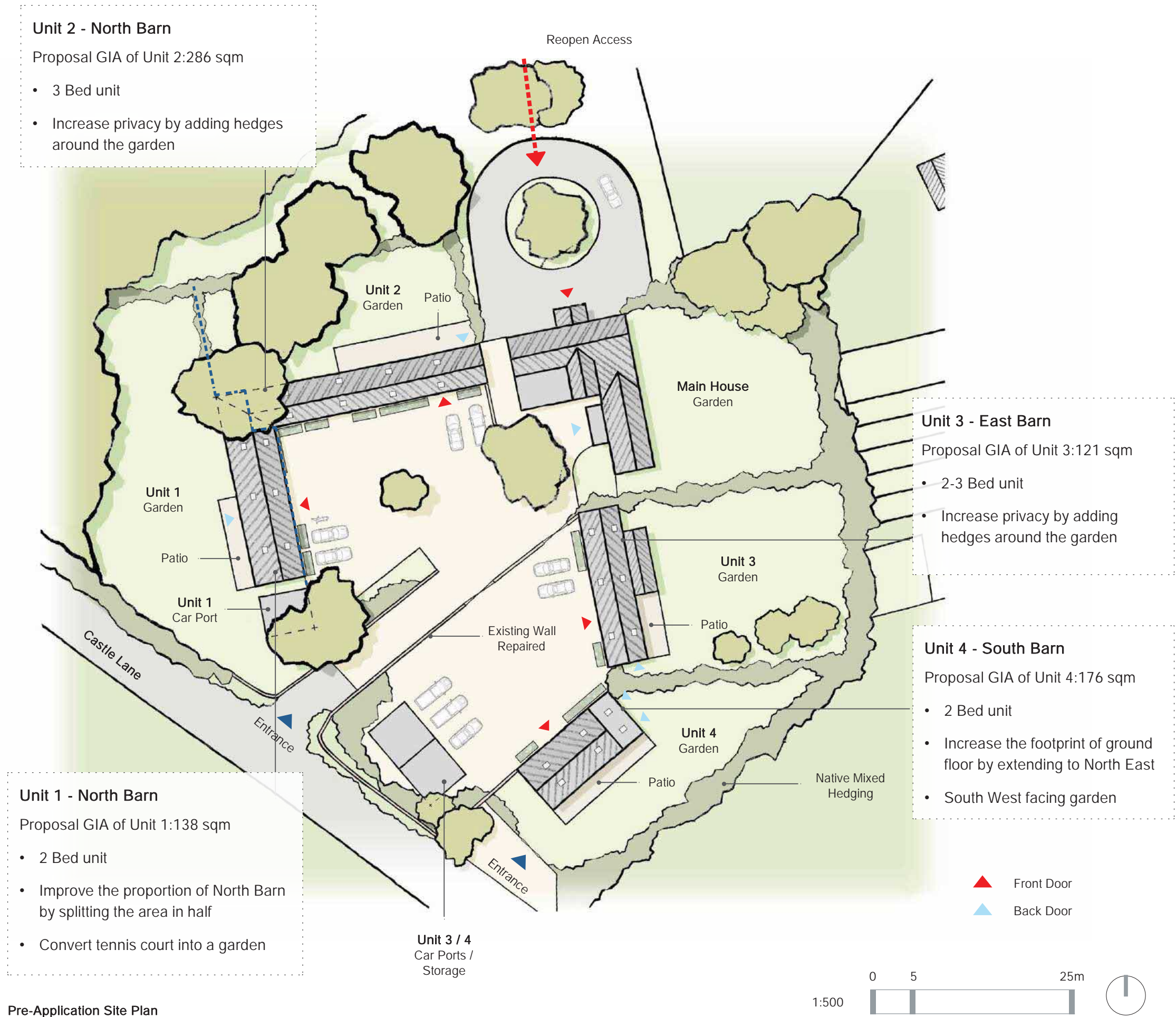
2.0 Pre-Application

A pre-application was submitted to Stroud District Council in August 2021 by McLoughlin Planning and a response was received on December 23rd, 2021. The pre-application report states that the conservation team at Stroud District Council consider the former farmhouse and barns a “non-designated heritage asset”. This has been a material consideration and has informed the design, layout and appearance of the scheme.

Pre-Application Response

In order to address the feedback received in the pre-application response, a number of changes have been made to the design.

1. The number of units have been reduced from 4 to 3.
2. The area of the site that is within flood zones 2 and 3 remains as existing, therefore mitigating the need for a FRA
3. The southern wing of the “North Barn” will be unconverted and provide equipment storage for the wider site as well as dedicated storage for the North Barn.



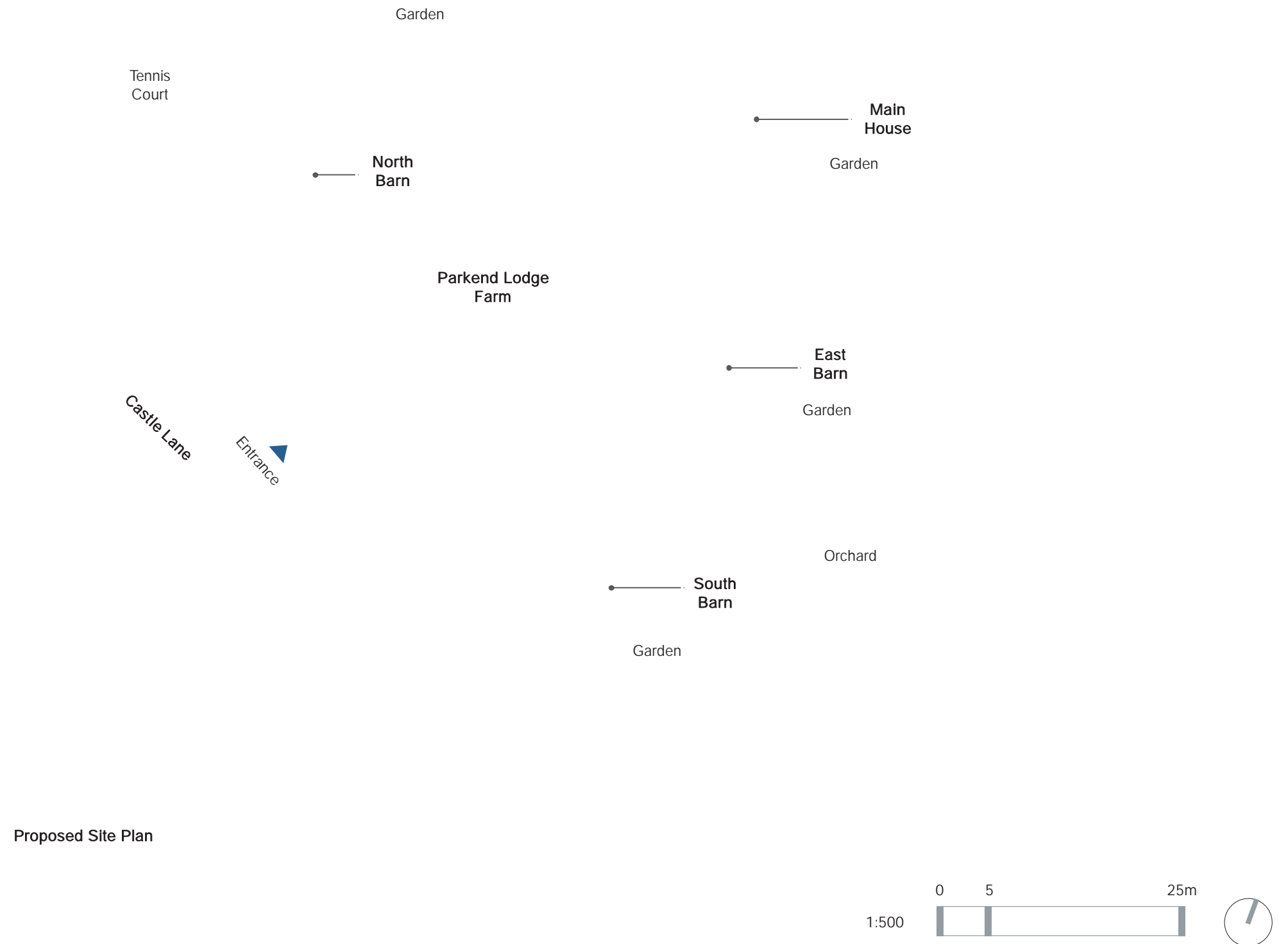
4.0 Overview of Proposals

The proposals are to create three dwellings, one in each barn, accessed via a shared driveway and courtyard. The barns are quite distinct from each other in terms of their form, material palette and orientation therefore each one is described individually on pages 11-13. However, there is a common set of principles that have been used to influence the design these are summarised below:

- To respect and minimise impact on the historic fabric of each barn.
- To ensure that each dwelling has access to outside space and is fit for modern living.
- To create a development that retains the agricultural character and doesn't detract from the setting of the main house.

The design approach is to respect the character of the barns and create a development of dwellings that is sensitive to this rural setting and the historic fabric of these non-designated heritage assets. It is proposed to convert the barns to create the following accommodation:

- Divide the north barn to form one dwelling and a storage area.
- Convert the east barn into a three-bedroom dwelling for a member of the family.
- Convert and add a small lean-to extension to the south barn to create a two-storey dwelling for a family member.



Proposed Site Plan

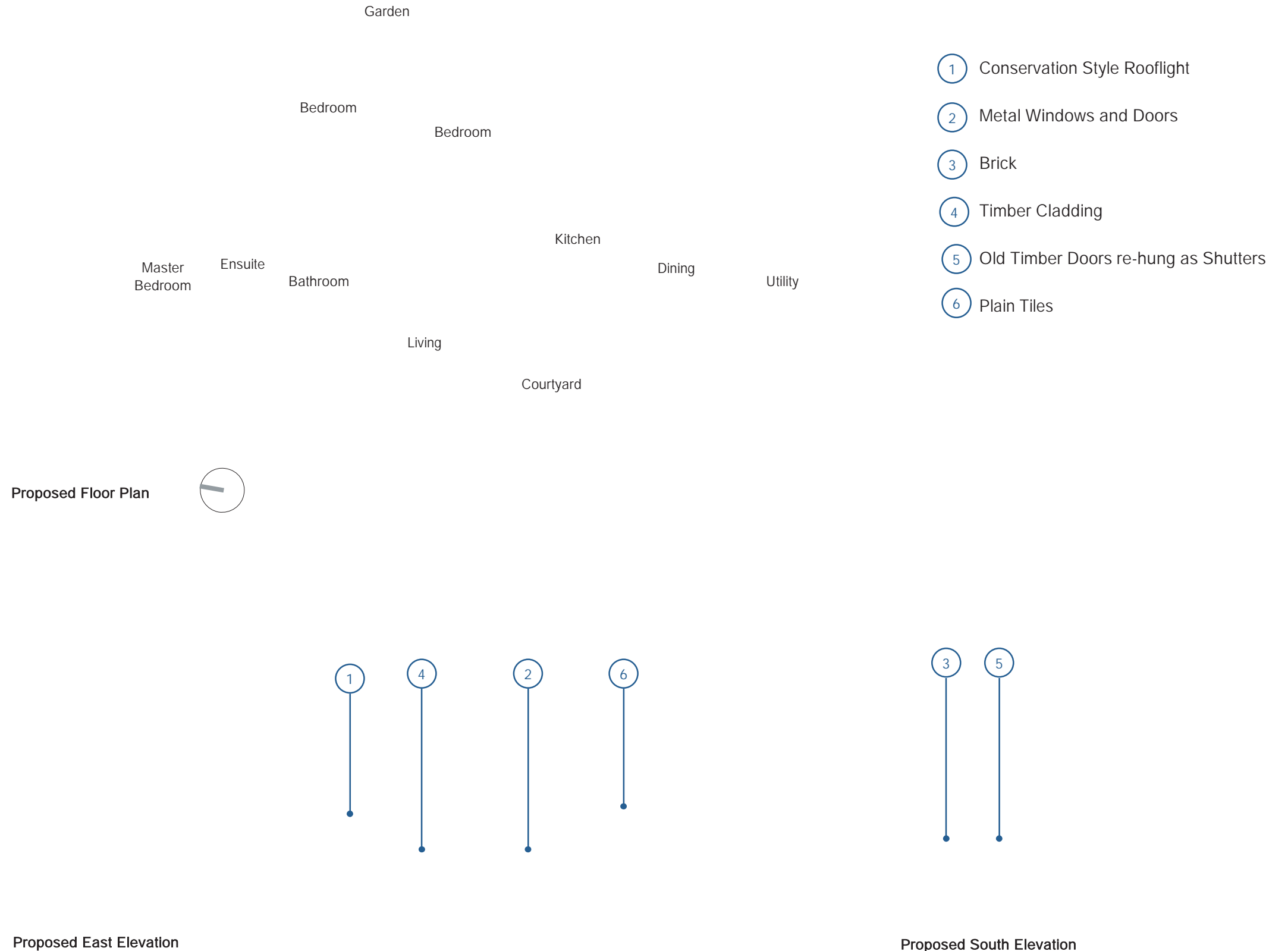
5.0 Proposals in Detail

5.3 East Barn

The east barn is a single storey barn dating from the same period as the north barn and is constructed from brick under a tiled roof. The elevation facing west appears to have been open-fronted originally and later infilled with render and domestic windows. It is proposed to reinstate the open-frontage using timber posts and large sections of glazing in a similar manner to the north barn.

The east barn will be converted into a three bedroom dwelling with an open-plan living space located in the southern section of the barn. The master bedroom and bathrooms are located in the northern section of the main space, two other bedrooms are located in the eastern lean-to section of the barn. The design intent is to celebrate the simple utilitarian form of the barn, minimising the amount of new openings and using existing openings where possible. The old timber doors will be re-hung in the open-position to act as shutters, all other openings will be retained to form windows, minimising the impact on the visual appearance of the barn. A combination of slimline aluminium windows and a minimal number of conservation-style rooflights are proposed in order to increase the amount of light in the barn. The barn will be re-tiled to match the main house and south barn, incorporating access tiles and a membrane suitable for bats.

The existing garden for the farmhouse will be subdivided with one half retained for the main house and the other half used to create a back garden for the east barn. A small courtyard area will be created in front of the barn to buffer it from the yard and parking areas. Waste and bicycle storage will be provided in the proposed new carport structure.



5.0 Proposals in Detail

5.4 South Barn

This barn is quite different in character from the other two barns, it appears to date from the c18th and is a timber-framed threshing barn with vertical proportions. The design approach for this building is similar to the other barns, following a minimal intervention approach. The layout of this barn consists of an open-plan kitchen/ living /dining area on the ground floor with a bootroom and utility contained in a new lean-to addition proposed to the west elevation. A new floor will be inserted providing two bedrooms and bathrooms at first floor level.

The new addition is modest in size and has a similar architectural language and material palette to the barn. The addition will be clad in horizontal timber ship-lap boarding, on a brick plinth, under a roof covered in plain tiles to match the barn.

New openings in this barn will be kept to a minimum with windows added to each gable at first floor level, and new glazing inserted in the large threshing openings to provide light and views to the central living area. Two new roof lights are proposed on the south east roof slope, these will be conservation-style and sit flush with the tiles to ensure they sit discreetly within the roof slope. A bat loft will be provided within the apex of the roof and 2no. bat boxes on the south west elevation.

The garden of the south barn is located to the south and west of the building, a small area of paving is proposed to the area adjacent to the living area to provide an external patio.

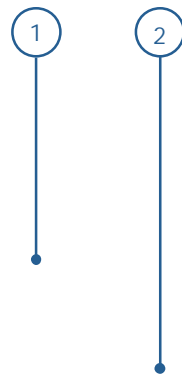


Proposed Ground Floor Plan

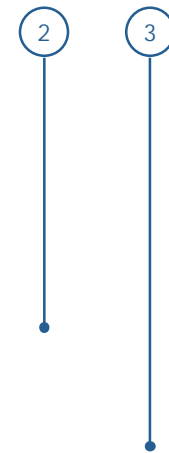


- 1 Conservation Style Rooflight
- 2 Metal Windows and Doors
- 3 Timber Cladding

Proposed First Floor Plan



Proposed South East Elevation



Proposed South West Elevation

6.0 Other Considerations and Conclusion

Access & Parking

The courtyard is large and can easily accommodate parking for the barns, as well as for visitors, with minimum impact on the main house. The existing access to the site will be retained, the former tree-lined entrance to the farmhouse will be reinstated to create a separation for guests arriving at the main house. Dedicated parking for each dwelling will be provided in the courtyard, along with visitor parking for guests.

Carport

A new timber carport is proposed along the west boundary of the site. This will have an open front and a solid area to the rear, which will provide storage for the bins and bicycles for the east and south barns.

Conclusion

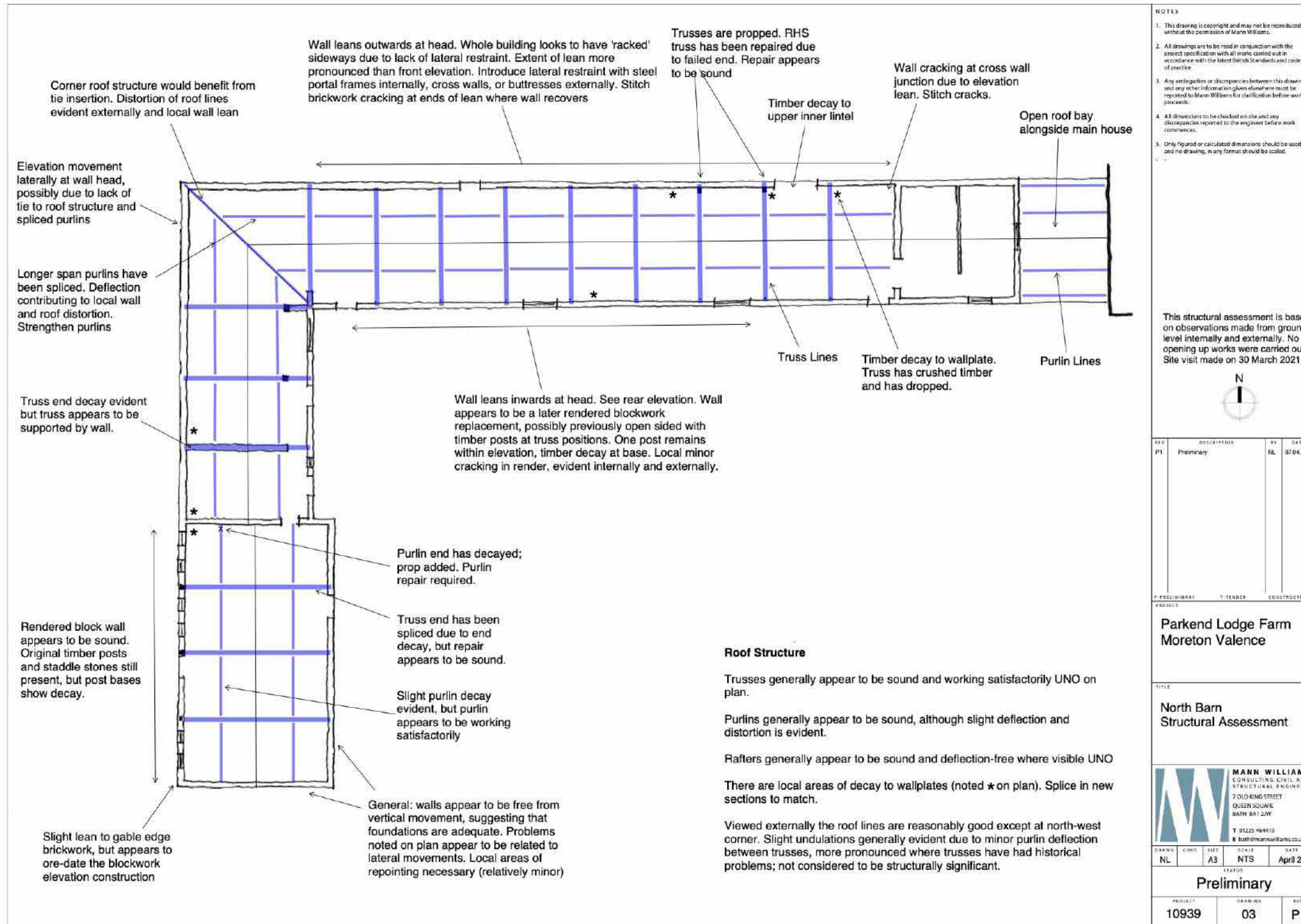
In conclusion, there are a number of benefits of the scheme:

- The site is inherently sustainable and makes good use of redundant barns that have no agricultural use.
- The creation of a holiday let will encourage tourists to visit the area and therefore will be beneficial to the local economy.
- The design respects the historic character and material palette of the existing barns and will ensure that the structures are well-maintained, enhancing the area.

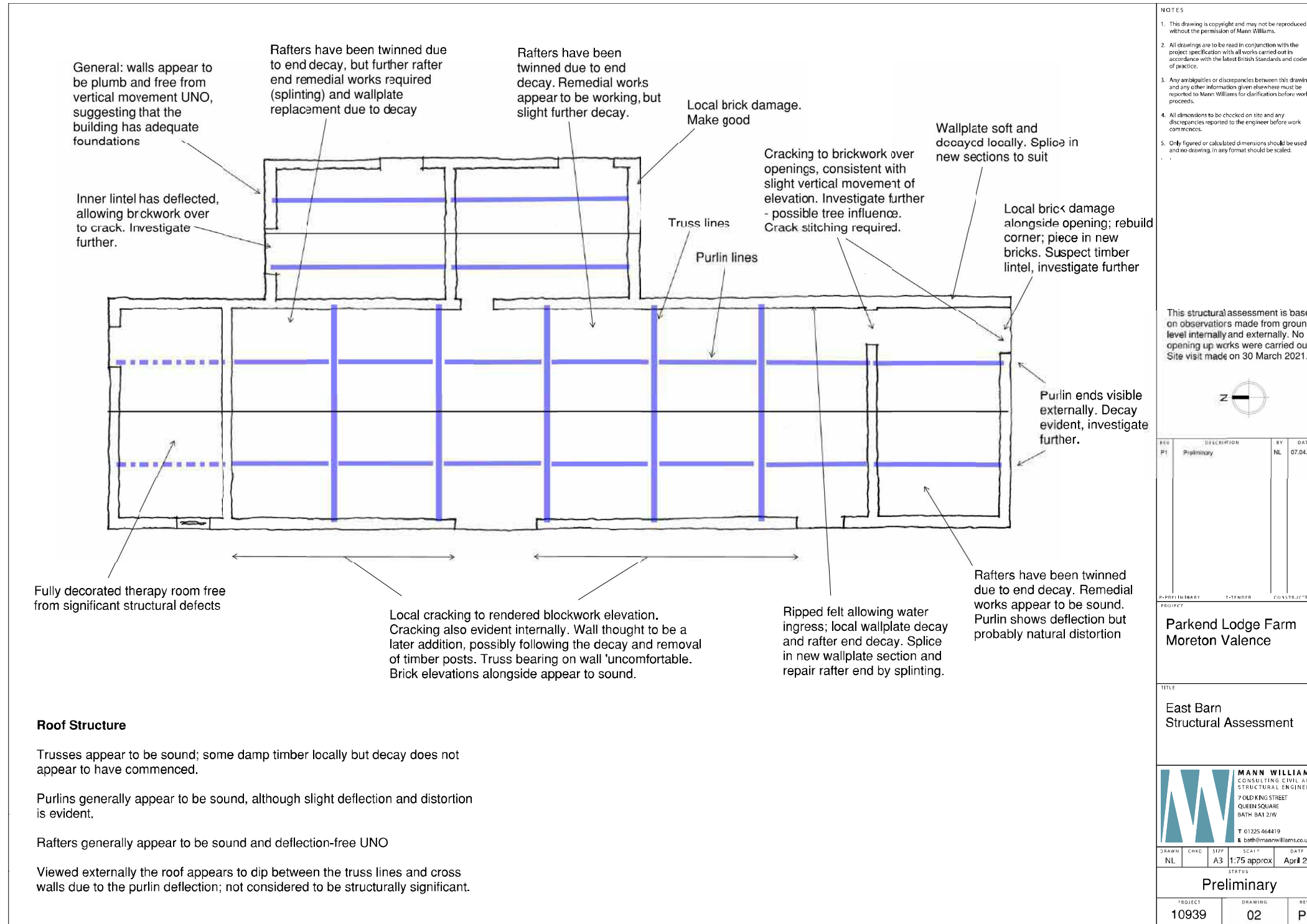
In conclusion, the scheme is in line with the principle of sustainable development as per the National Planning Policy Framework, and therefore we see no reason why it should not be supported.

7.0 Appendix A

Structural Appraisal - North Barn



7.0 Appendix A Structural Appraisal - East Barn



7.0 Appendix A

Structural Appraisal - South Barn

Roof Structure

Central trusses appear to be sound

Purlins generally appear to be sound, although slight deflection evident. Possible timber discolouring due to damp assumed to be historical but inspection recommended.

Rafters appear to be sound and deflection-free

Viewed externally the roof appears to dip between the truss lines due to the purlin deflection and the building 'racking'.

NOTES

- This drawing is copyright and may not be reproduced without the permission of Mann Williams.
- All drawings are to be read in conjunction with the project specification with all works carried out in accordance with the latest British Standards and codes of practice.
- Any ambiguities or discrepancies between this drawing and any other information given elsewhere must be reported to Mann Williams for clarification before work proceeds.
- All dimensions to be checked on site and any discrepancies reported to the engineer before work commences.
- Only figured or calculated dimensions should be used and no drawing, in any format, should be scaled.

This structural assessment is based on observations made from ground level internally and externally. No opening up works were carried out. Site visit made on 30 March 2021.

REV	DESCRIPTION	BY	DATE
P1	Preliminary	NL	06.04.21

P-PRELIMINARY	T-TENDER	CONSTRUCTION		
PROJECT				
Parkend Lodge Farm Moreton Valence				
TITLE				
South Barn Structural Assessment				
MANN WILLIAMS CONSULTING CIVIL AND STRUCTURAL ENGINEERS 7 OLD KING STREET QUEEN SQUARE BATH BA1 2JW T 01225 464419 E bath@mannwilliams.co.uk				
DRAWN	CHECKED	SIZE	SCALE	DATE
NL		A3	1:50 approx	April 21
STATUS				
Preliminary				
PROJECT	DRAWING	REV		
10939	01	P1		