Desument Ca	ntrol	1.0 Introduction & Context	03	Associated Documentation
Document Control		1.1 Introduction		This Design and Access Statement following drawings and documents:
<ul> <li>Job Title:</li> <li>Job number:</li> <li>Report title:</li> <li>Report number:</li> <li>Revision:</li> <li>Date of issue:</li> <li>Purpose of issue:</li> </ul>	Barns at Parkend Lodge Farm 2120 Design and Access Statement 02 13.07.22 Planning	<ul> <li>1.2 Site Analysis</li> <li>1.3 Existing Site Photographs</li> <li>2.0 Pre-Application</li> <li>3.0 Structural Condition of the Barns</li> </ul>	07 08	2120_P001_Location Plan 2120_P002_Existing and Proposed 2120_P003_Existing Site Plan 2120_P004_Proposed Site Plan 2120_P005_North Barn - Existing F 2120_P006_North Barn - Existing Pla 2120_P007_East Barn - Existing Pla 2120_P008_South Barn - Existing Pla 2120_P009_North Barn - Proposed 2120_P010_North Barn - Proposed 2120_P011_East Barn - Proposed F 2120_P012_South Barn - Proposed
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13 Royal Crescent, Cheltenham, Gloucs GL50 3DA		6.0 Other Considerations and Conclusion	14	
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# DESIGN STOREY

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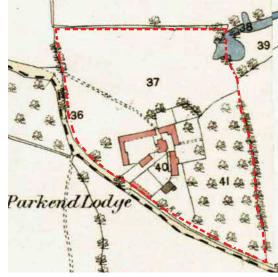
### 1.0 Introduction & Context 1.1 Introduction

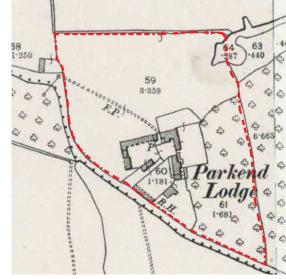
This report has been produced to accompany a planning submission by Mcloughlin Planning for the development of the three barns associated with Parkend Lodge farm. The owners of Parkend Lodge have lived in the property for a number of years and would now like to convert the barns to create additional accommodation for family members as well as holiday lets to provide additional accommodation.

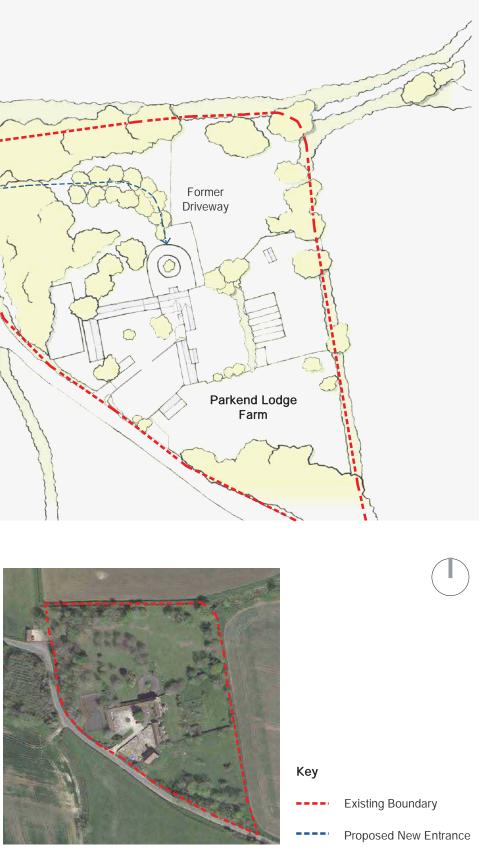
Parkend Lodge is a large property, located on a 5.44acre site, which comprises of a farmhouse and three other barns of a variety of styles and ages. The nearest neighbouring property is located 150m from the site which is only visible from Castle Lane. The farmhouse likely dates from the c18th and is constructed from brick with stone quoins under a tile roof. There is a double height timber-framed threshing barn which is clad in timber, which likely also dates from this period. There are two other barns constructed from brick and partially rendered which likely date from the Victorian Era.

Historic map regression of the site depicts a number of structures that have since been removed, these include a small barn to the south of the courtyard and a long linear building that bounds the lane to the south west. The sections of render on all barns seem to indicate that the walls have been in filled later, there is also evidence of timber posts embedded in the walls, suggesting that these would have been open-fronted barns.









Historic Map 1844-1888

Historic Map 1894-1903

Google Maps Aerial View 2022

# 1.0 Introduction & Context

1.3 Existing Site Photographs







North Barn East Elevation

North Barn South Elevation and Courtyard

Main House View From South West









East Barn West Elevation

South Barn and Courtyard

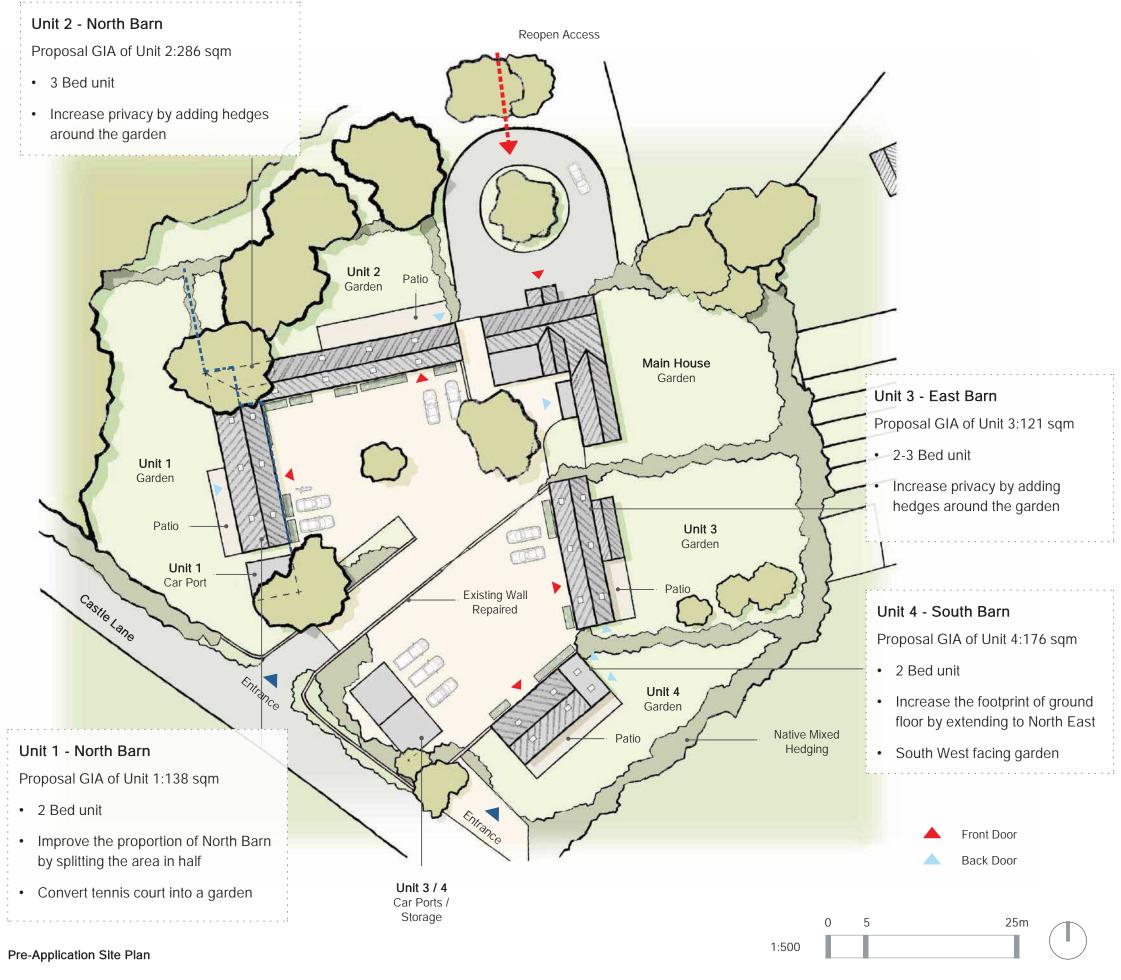
# 2.0 Pre-Application

A pre-application was submitted to Stroud District Council in August 2021 by McLoughlin Planning and a response was received on December 23rd, 2021. The pre-application report states that the conservation team at Stroud District Council consider the former farmhouse and barns a "non-designated heritage asset". This has been a material consideration and has informed the design, layout and appearance of the scheme.

#### **Pre-Application Response**

In order to address the feedback received in the preapplication response, a number of changes have been made to the design.

- 1. The number of units have been reduced from 4 to 3.
- The area of the site that is within flood zones 2 and 3 2. remains as existing, therefore mitigating the need for a FRA
- The southern wing of the "North Barn" will be 3. unconverted and provide equipment storage for the wider site as well as dedicated storage for the North Barn.



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#### 3.0 Structural Condition of the Barns

#### Structural Condition of the Barns

The structural condition of the barns has been assessed by a suitably qualified structural engineer, from Mann Williams Consulting Engineers, and he has indicated that they are suitable for conversion. However, there are a number of areas that have been highlighted where repairs are required. These are indicated on the structural engineer's drawings submitted with this application (please refer to Appendix A) and in the summary provided for each barn below:

"In general the buildings are in reasonable structural condition, but with local issues to be resolved. These issues can be resolved without significant loss of historic fabric. From a structural perspective there is no apparent reason why a conversion to residential use would be detrimental to the historic structural fabric.

#### South Barn

The central timber frames appear to be racking slightly to the south; this could be remedied by stiffening the roof structure, or, should a mezzanine floor be considered, it could be detailed to enhance the lateral stability of the barn as a whole.

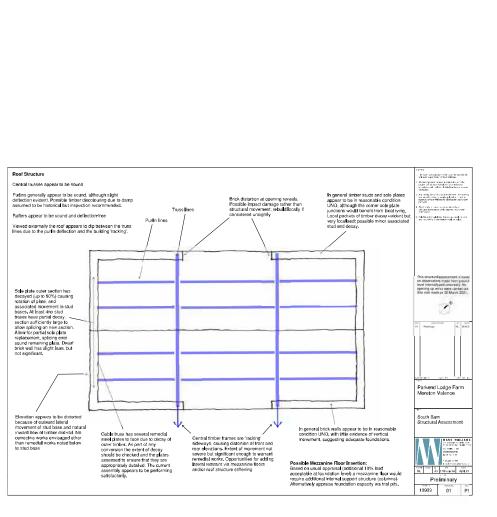
Otherwise there are local pockets of timber decay in the frame, necessitating local repairs such as stud base splicing and sole plate splicing.

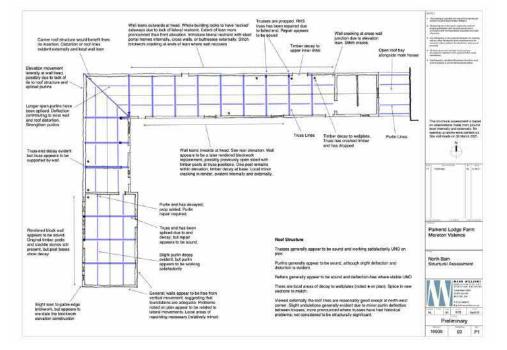
East Barn

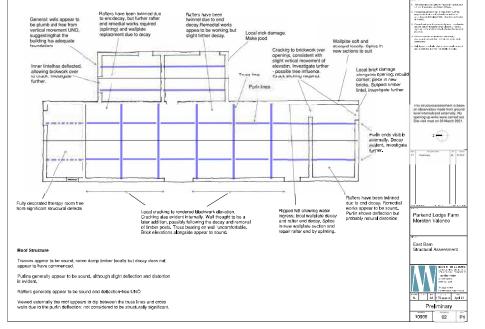
#### North Barn

Water ingress through the roof has created areas of timber roof structure decay; rafter end repairs and wall plate remedial works are envisaged, but relatively locally.

Possible tree influence where cracking is apparent; further investigation required.







Structural Engineer's Drawings - Refer to Appendix A

Similar to the south barn, there is slight racking of the central section of the north leg of the barn. There are several possible remedial solutions, such as building compartmentation or buttressing, but the existing fabric can be retained. Otherwise there are areas of minor timber decay or weakness in the roof structure, where minor remedial works are required."

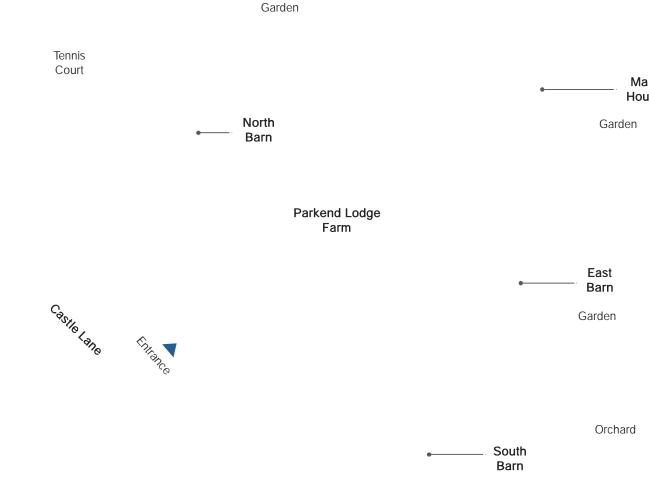
### 4.0 Overview of Proposals

The proposals are to create three dwellings, one in each barn, accessed via a shared driveway and courtyard. The barns are quite distinct from each other in terms of their form, material palette and orientation therefore each one is described individually on pages 11-13. However, there is a common set of principles that have been used to influence the design these are summarised below:

- To respect and minimise impact on the historic fabric of each barn.
- To ensure that each dwelling has access to outside space and is fit for modern living.
- To create a development that retains the agricultural character and doesn't detract from the setting of the main house.

The design approach is to respect the character of the barns and create a development of dwellings that is sensitive to this rural setting and the historic fabric of these non-designated heritage assets. It is proposed to convert the barns to create the following accommodation:

- Divide the north barn to form one dwelling and a storage area.
- Convert the east barn into a three-bedroom dwelling for a member of the family.
- Convert and add a small lean-to extension to the south barn to create a two-storey dwelling for a family member.



Garden

Proposed Site Plan

Main House



## 5.0 Proposals in Detail 5.1 Design Approach

The proposed design has been carefully considered to respect the character of these historic barns. Careful attention has been given to the material palette and treatment of openings to ensure the agricultural character of the buildings in preserved.

Where possible existing openings have been retained and utilised as either doors or windows, where necessary these have been supplemented by the use of rooflights. It is proposed to open up the sections of the open-fronted barns, that have been infilled with render and insert glazed sections which will reinstate the historical character of these barns. Where new openings are proposed, these are small in scale and agricultural in style to retain the character of the barns. The design of the development will respect the historic fabric; existing walls, structure and materials will be retained and repaired where possible.

A limited palette of materials will be used to provide consistency across the farmstead, this will consist of existing brick, new horizontal timber weatherboarding and tiled roofs to match existing. The existing rendered walls will either be replaced with glazing or timber weatherboarded cladding, similar to the cladding on the two-storey barn.



East Barn Brick Wall



East Barn Sliding Door



South Barn Timber Wall







East Barn **Roof Structure** 



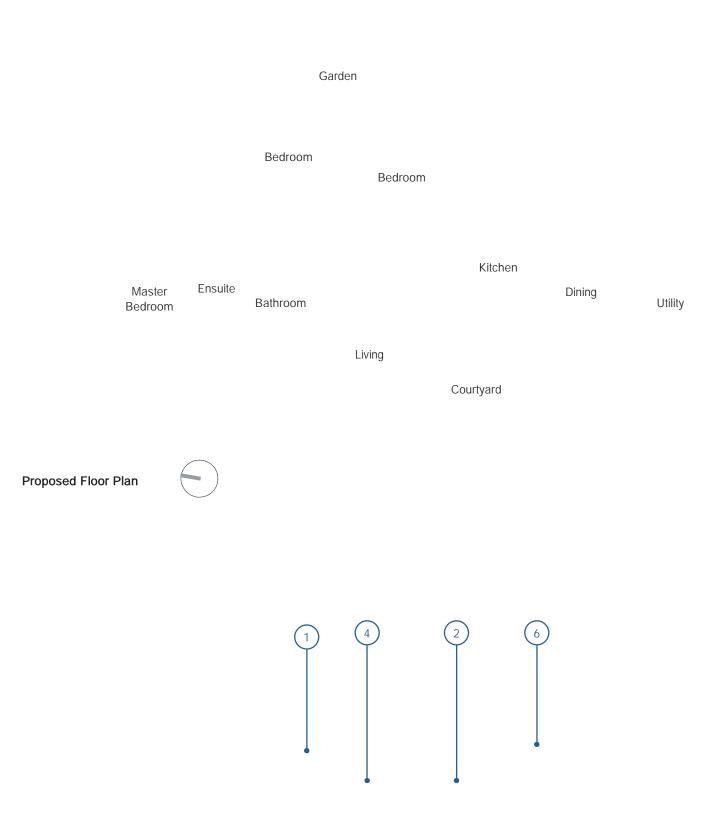
South Barn **Roof Structure** 

### 5.0 Proposals in Detail 5.3 East Barn

The east barn is a single storey barn dating from the same period as the north barn and is constructed from brick under a tiled roof. The elevation facing west appears to have been open-fronted originally and later infilled with render and domestic windows. It is proposed to reinstate the open-frontage using timber posts and large sections of glazing in a similar manner to the north barn.

The east barn will be converted into a three bedroom dwelling with an open-plan living space located in the southern section of the barn. The master bedroom and bathrooms are located in the northern section of the main space, two other bedrooms are located in the eastern lean-to section of the barn. The design intent is to celebrate the simple utilitarian form of the barn, minimising the amount of new openings and using existing openings where possible. The old timber doors will be re-hung in the open-position to act as shutters, all other openings will be retained to form windows, minimising the impact on the visual appearance of the barn. A combination of slimiline aluminium windows and a minimal number of conservation-style rooflights are proposed in order to increase the amount of light in the barn. The barn will be re-tiled to match the main house and south barn, incorporating access tiles and a membrane suitable for bats.

The existing garden for the farmhouse will be subdivided with one half retained for the main house and the other half used to create a back garden for the east barn. A small courtyard area will be created in front of the barn to buffer it from the yard and parking areas. Waste and bicycle storage will be provided in the proposed new carport structure.



**Proposed East Elevation** 

- Conservation Style Rooflight
- Metal Windows and Doors 2
- Brick (3)
- **Timber Cladding** 4
- Old Timber Doors re-hung as Shutters
- (6) Plain Tiles



#### Proposed South Elevation

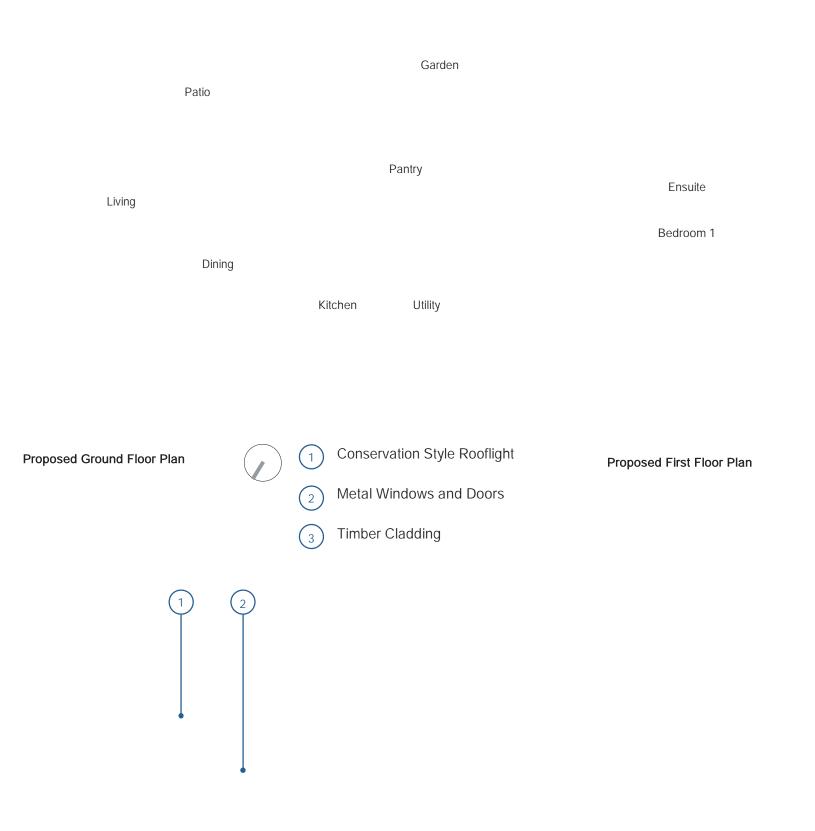
### 5.0 Proposals in Detail 5.4 South Barn

This barn is quite different in character from the other two barns, it appears to date from the c18th and is a timber-framed threshing barn with vertical proportions. The design approach for this building is similar to the other barns, following a minimal intervention approach. The layout of this barn consists of an open-plan kitchen/ living /dining area on the ground floor with a bootroom and utility contained in a new lean-to addition proposed to the west elevation. A new floor will be inserted providing two bedrooms and bathrooms at first floor level.

The new addition is modest in size and has a similar architectural language and material palette to the barn. The addition will be clad in horizontal timber ship-lap boarding, on a brick plinth, under a roof covered in plain tiles to match the barn.

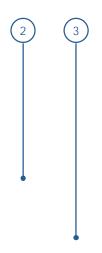
New openings in this barn will be kept to a minimum with windows added to each gable at first floor level, and new glazing inserted in the large threshing openings to provide light and views to the central living area. Two new roof lights are proposed on the south east roof slope, these will be conservation-style and sit flush with the tiles to ensure they sit discreetly within the roof slope. A bat loft will be provided within the apex of the roof and 2no. bat boxes on the south west elevation.

The garden of the south barn is located to the south and west of the building, a small area of paving is proposed to the area adjacent to the living area to provide an external patio.



Ensuite

Bedroom 2



## 6.0 Other Considerations and Conclusion

#### Access & Parking

The courtyard is large and can easily accommodate parking for the barns, as well as for visitors, with minimum impact on the main house. The existing access to the site will be retained, the former tree-lined entrance to the farmhouse will be reinstated to create a separation for guests arriving at the main house. Dedicated parking for each dwelling will be provided in the courtyard, along with visitor parking for guests.

#### Carport

A new timber carport is proposed along the west boundary of the site. This will have an open front and a solid area to the rear, which will provide storage for the bins and bicycles for the east and south barns.

#### Conclusion

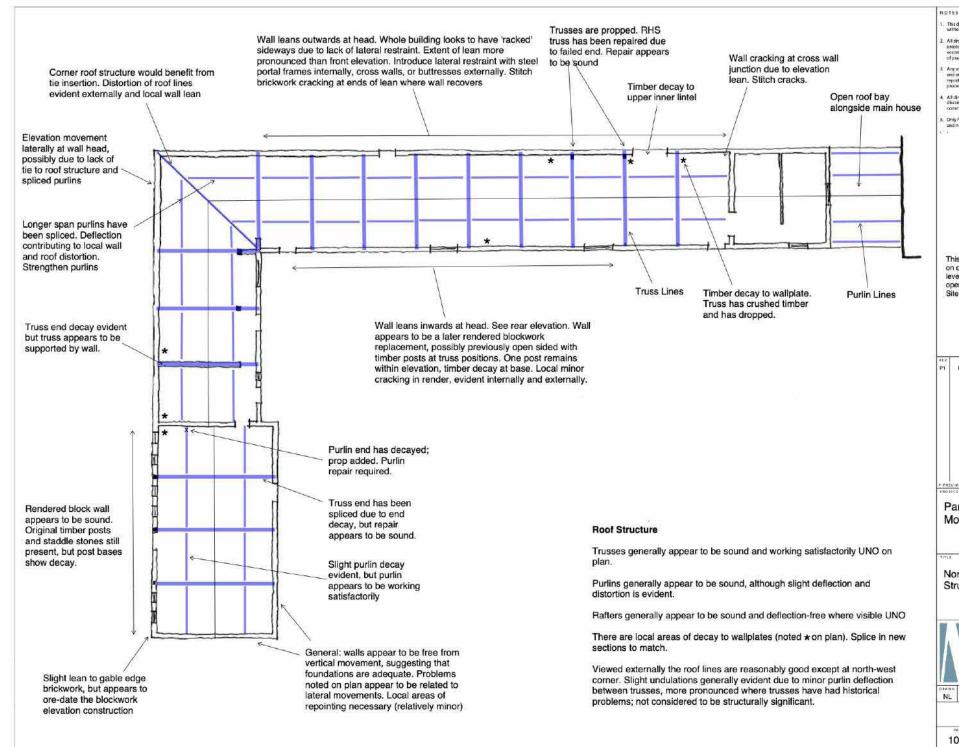
In conclusion, there are a number of benefits of the scheme:

- The site is inherently sustainable and makes good use of redundant barns that have no agricultural use.
- The creation of a holiday let will encourage tourists to visit the area and therefore will be beneficial to the local economy.
- The design respects the historic character and material palette of the existing barns and will ensure that the structures are well-maintained, enhancing the area.

In conclusion, the scheme is in line with the principle of sustainable development as per the National Planning Policy Framework, and therefore we see no reason why it should not be supported.

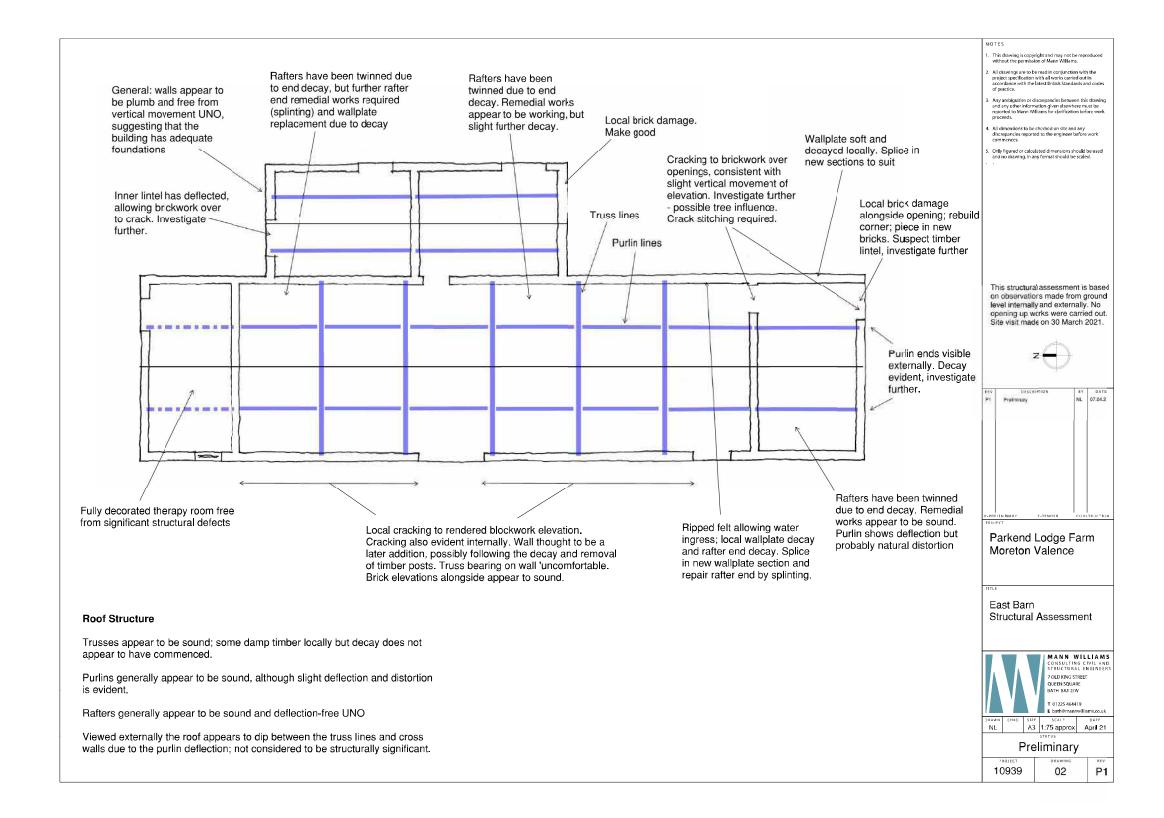
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## 7.0 Appendix A Structural Appraisal - North Barn





### 7.0 Appendix A Structural Appraisal - East Barn



## 7.0 Appendix A Structural Appraisal - South Barn

