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Agricultural Building at High Pole Farm

Mr G Thomas

Structural Inspection Report

May 2022



P3679-2



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Registered in England and Wales No 8325892

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1 PURPOSE OF THIS REPORT

It is proposed to change the use of an agricultural building at High Pole Farm, Sutton in Craven to residential use.

The purpose of this report is to comment on the suitability of the structure of the existing building for the proposed change of use.

2 FINDINGS

An internal and external visual examination was made of the areas accessible from ground level on 4th May 2022. At the time of the inspection the weather was drizzly showers and there had been showers during the previous 12 hours. The building is shown on David Hill drawing P2142/002 which is enclosed in Appendix A. The elevation descriptions used in this report relate to the building orientation shown on the drawing.

2.1 Building Description

The building is a modern steel portal frame structure with full height masonry walls to all sides (Photograph 1). Stability is provided by tubular steel bracing in the roof to restrain the gables (Photograph 2). No longitudinal wall bracing could be seen, and it is possible that if any is present it will be in the wall cavity. Alternatively, longitudinal stability may be provided by the blockwork inner leaf which is built into the side of the columns.

The walls are of cavity construction with a concrete blockwork inner leaf and coursed local stone outer leaf to the north east elevation and a fair faced concrete outer leaf to the remaining. The building is divided internally into 3 cells with full height masonry walls on the lines of portal frames.

The roof is from plastisol coated trapezoidal metal sheets carried by timber purlins spanning between the portal frames. Later insulation has been added to the underside of the roof in the central cell.

The floor of the north western area which is compacted hardcore and to the remainder is a concrete slab.

The surrounding ground falls down to the north west and the floor levels step accordingly.

The central cell has a small mezzanine floor which is independent of the main structure (Photograph 3).

The north western cell is currently used as a reclaimed timber store, the central area as a workshop and the south eastern cell as a storage.

2.2 Building Condition

The walls are all straight and free from obvious bows and no visible defects were seen. There is little corrosion on the steel frame and all the materials and construction appeared to be of a good quality.

A damp proof course is visible in both the walls and the slab (Photograph 4).

Although no timber decay or infestation was seen all timbers to be retained should be inspected by a timber infestation and decay specialist.

3 CONCLUSIONS

We understand that it is proposed to change the use of the building to a dwelling utilising the existing envelope. Following our inspection, we are of the opinion that the existing envelope is free from significant defects and that the structure is capable of conversion without any significant rebuilding or alteration.

All retained timbers should be inspected by a damp and fungal decay specialist.

4 GENERAL REMARKS

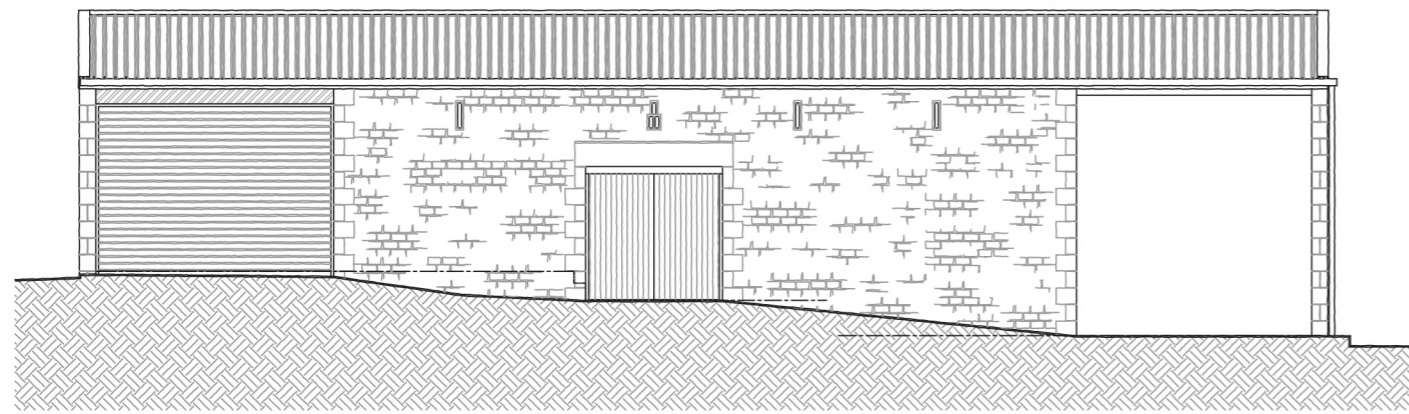
This report has been commissioned by Mr G Thomas to give a structural engineer's opinion on the suitability of converting the existing building to residential use. It should not therefore be considered a full structural survey of the property. The conclusions presented herein are based on the inspection on 4th May 2022 and no liability can be accepted for the condition of parts of the structure that were not inspected or for deterioration after the survey.

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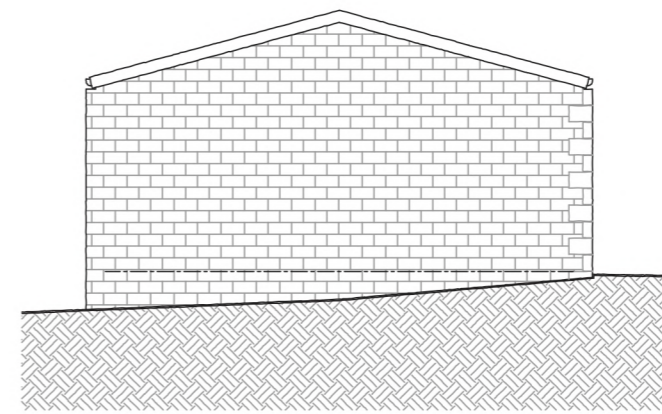


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Agricultural Building at High Pole Farm

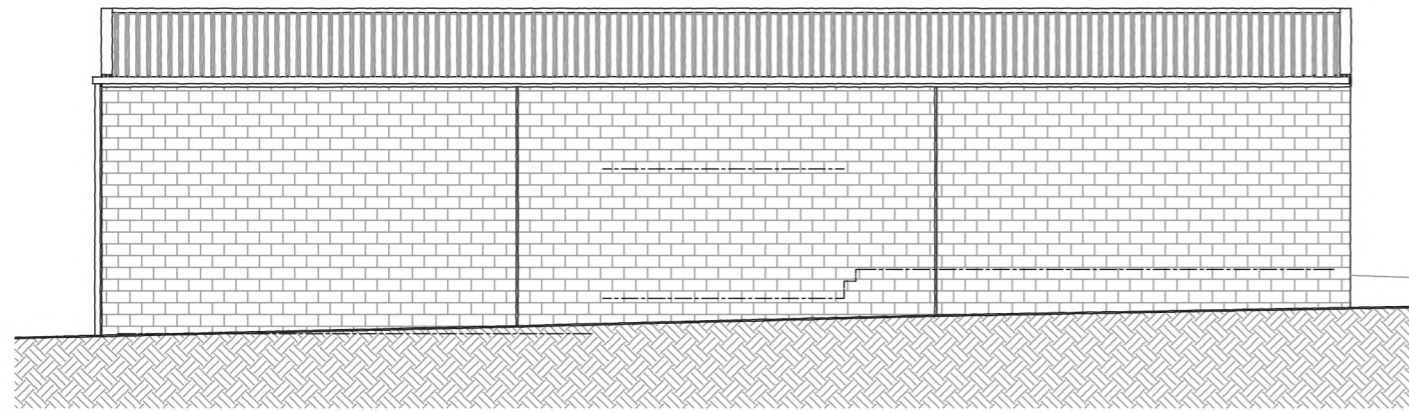
APPENDIX A
David Hill Drawing P2142/002



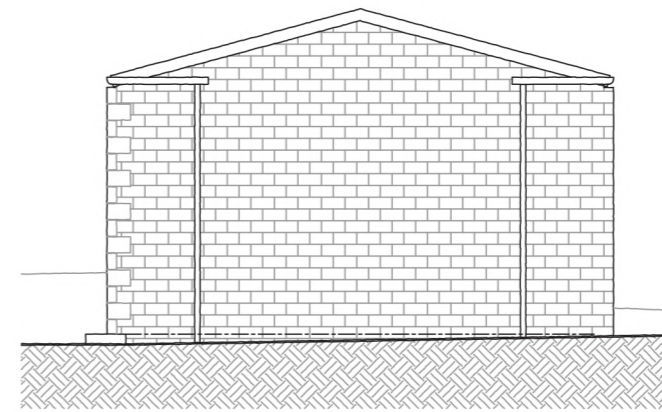
North East Elevation



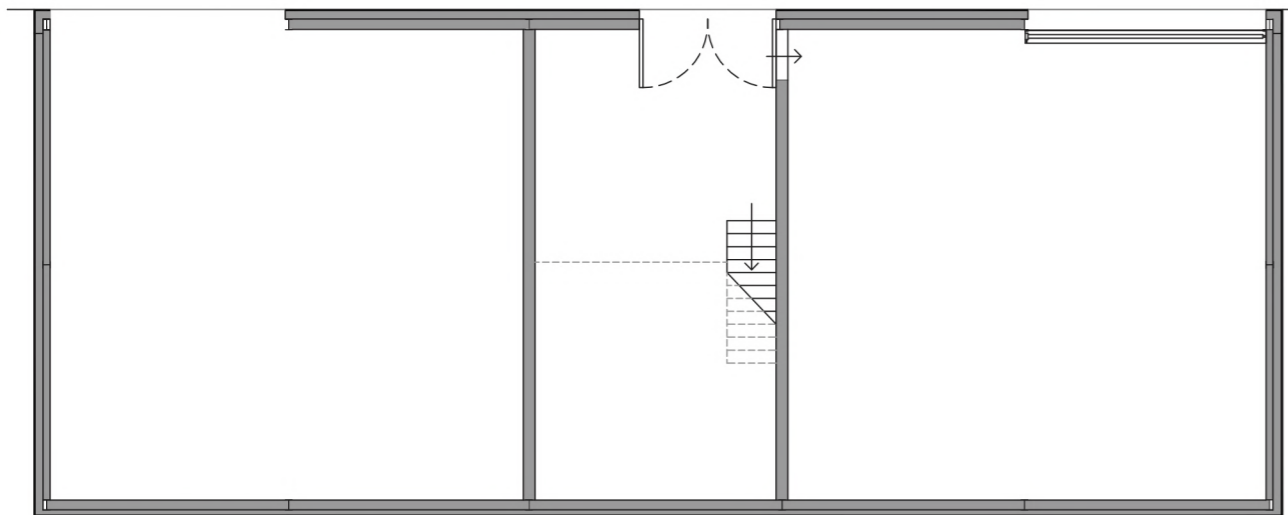
South East Elevation



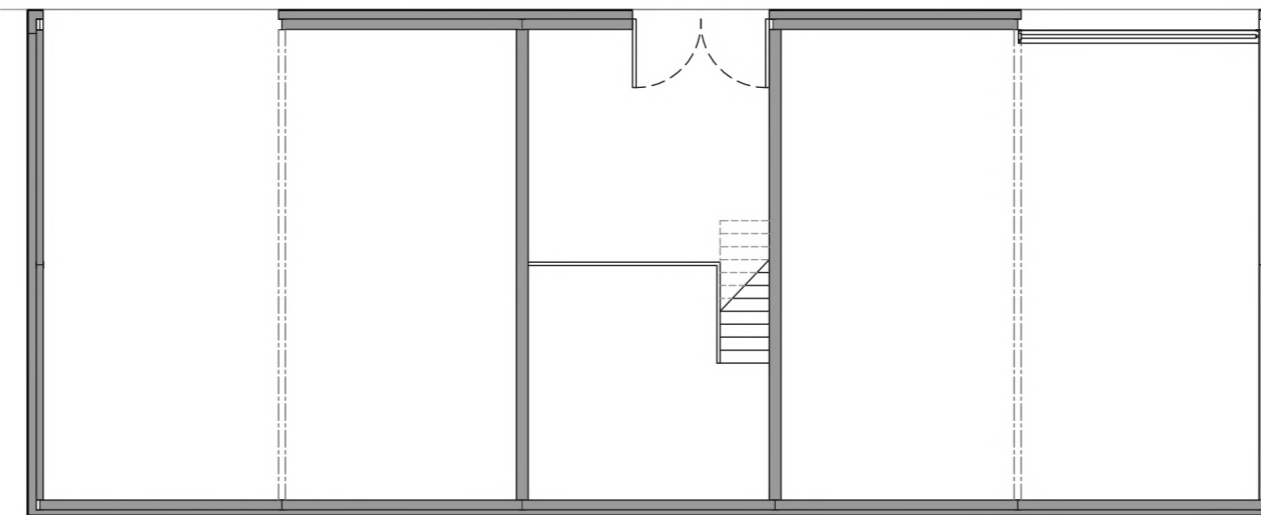
South West Elevation



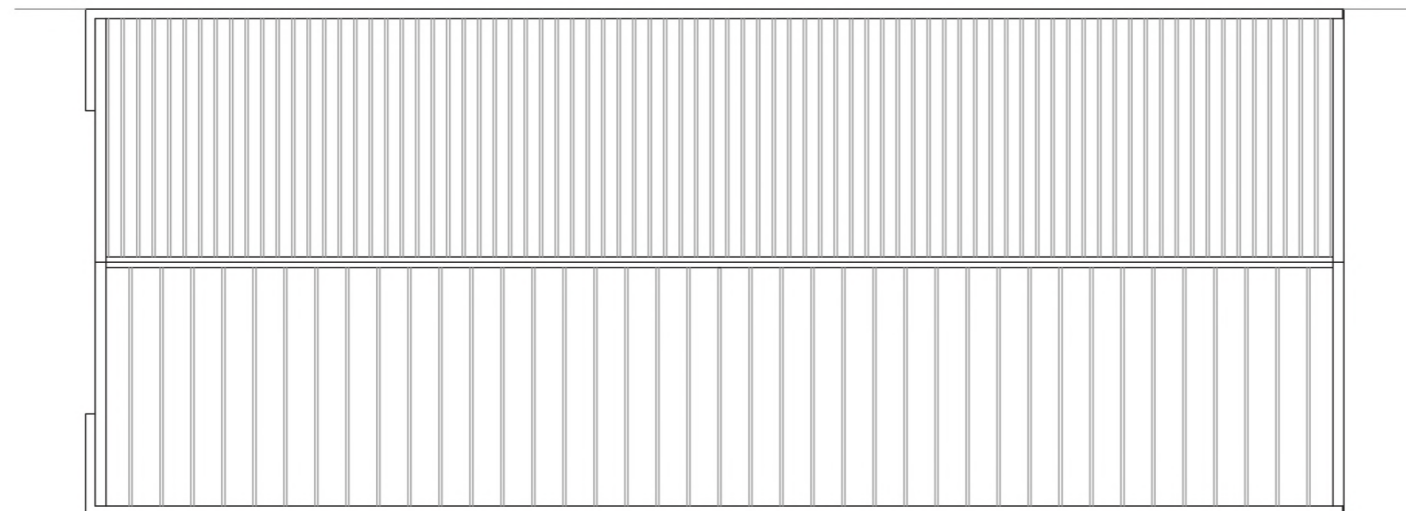
North West Elevation



Ground Floor Plan



First Floor Plan



Roof Plan

General Notes

In all cases figured dimensions shall be taken in preference to scaled dimensions.
 All relevant dimensions shall be checked on site before any prefabricated work is put in hand.
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Project Name and Address

Plans & Elevations as Existing
 Proposed Re-development of
 High Pole Farm
 Sutton-in-Craven
 Keighley
 North Yorkshire
 BD20 7BE

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| Scale A2@1:100 | Date Feb 2022 | Drawn by PJM |
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Drawing No **P2142/002**

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|----|--------------------|------|
| No | Revisions / Issues | Date |
|----|--------------------|------|



APPENDIX B
Photographs



Photograph 1. General view of north east elevation



Photograph 2. Roof bracing



Photograph 3. Central cell mezzanine floor



Photograph 4. Slab damp proof membrane