
SUPPORTING STATEMENT

Erection of covering to existing silage store
and all associated works

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Supporting Statement

1. Introduction

This supporting statement is submitted in relation to the planning application for the erection of a covering to an existing silage store and all associated works

This application is seeking full planning permission, under section 73A of the Town and Country Planning Act 1990, for the construction of a new access and all associated works.

2. Reason for refusal 21/0493/FUL & 21/0650/FUL

- ***Insufficient information has been received to enable consideration of the impact of the proposed development upon water quality in the surrounding area and pollution of the surrounding water environment. The development is therefore contrary to Planning Policy Wales (Edition 11, 2021), Technical Advice Note (TAN) 5: Nature, Conservation and Planning (2009), Policies DM2, DM13 and SP7 of the Powys Local Development Plan (2018) and Supplementary Planning Guidance: Biodiversity and Geodiversity (Adopted October 2018).***

The application is for the covering of an existing silage store. The Welsh government are supporting the covering of silage store for environmental benefits by reducing water pollution. Since leaving the EU the UK government has committed to continuing the Countryside Productivity Grant Scheme – this is a scheme that offers smaller grants to enhance the productivity of UK agriculture. The covering will meet the requirements of the silage, slurry and agricultural fuel oil (SSAFO) regulations 2010

- ***Insufficient information has been submitted to enable an assessment of the impact of the proposed development upon public right of way 16, contrary to Policies SP7 (3) and DM13 (Criterion 9) of the Powys Local Development Plan (2018).***

The application is to cover an existing silage store. There is a footpath on the site however the existing silage store is an existing obstruction of the footpath therefore the covering of the store will not generate any further obstruction. The client will apply to divert the footpath.

CONCLUSIONS

The planning application is for the covering of the of an existing silage store and will be a betterment on the existing site. The client will apply to divert the exiting footpath.