

Heritage Statement

Double Red Duke, Bourton Rd, Clanfield, Bampton OX18 2RB

August 2022



Introduction and Scope of Report

The purpose of this report, which has been prepared and written by Clare Wood is to provide the proposed alterations to the Grade II listed The Alfred Tennyson, Belgravia with a reasoned and sustainable justification in heritage terms.

This report should be read in conjunction with the Design & Access Statement which examines and explains the design rationale taken to the proposed alterations.

Proposed works are required in order to develop building into sustainable business which requires alterations outlined.

Design & Access Statement naturally includes an explanation of the design approach taken to the application proposals, which remains unchanged, while this report examines the proposed alterations in the context of the building's 'special' interest and provides them with a reasoned justification in conservation terms.

The alteration to this building will have minimal impact on the building fabric. The applicants have sought to achieve a balance between this impact and the history and original existing features of this important Grade II listed building.

The Nature & Significance of the Asset

Property description The property is a pub. It is Grade II Listed and is within the Belgravia Conservation Area. It is a 19th Century end of terrace corner building. It is of yellow brick with a slate mansard roof. The property is three storeys with an attic and basement with arched entrances and windows at ground floor set within channelled stucco.

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Terraced houses including public house. Early C19. Yellow brick, slate mansard to No 10; 3 storeys plus attic to No 10. Each house 2 windows wide. Channelled stucco to ground floor. Arched entrances and ground floor windows. Square headed windows above, gauged heads. Glazing bars to No 10; plate glass to No 9. Altered door cornice to No 9. Return to left side. Included only for group value with rest of street.

The significance of The Cotswold Plough Hotel as a heritage asset is derived primarily from its architectural or aesthetic and historical values. The setting of the site, being a semi-rural, green environment with a majority of the existing surrounding properties dating from the 13th century onwards, also makes a contribution to its heritage significance.

Late-20th century developments within the setting of the site have had varying degrees of success on its setting. The Plough Inn, is a Grade II listed building, it is three-bayed and of two storeys, with tall gabled attics and integral end stacks, it was built in the mid 17th century perhaps for one of the Yeatmans, who owned it in 1839. The symmetrical main front has chamfered mullioned windows under individual hood moulds, four-light in the outer bays, and two-light in the attic and above the central, four centre-headed doorway. A west range of one storey and attic, formerly services and stabling, existed by the early 19th century but was slightly remodelled after 1886, and until the road was widened in the late 19th century there was a low, gabled east range. The house was extended northwards in the 20th century, when the ground floor was converted from two rooms into one.

The Plough Inn, on the opposite side of the Faringdon road, opened in the 1840s, and in the later 20th century became an hotel and restaurant.

Significance as per Historic England official listing. Originally a house but now a Hotel, this building is dated mid-late C17 with later additions and alterations.

Exterior

Constructed from uncoursed limestone rubble with a stone slate roof and coped verges. It is two storey with an attic, the front elevation made up of 3 bays; chamfered mullion windows with dripstones, of 4 lights except for 2 light windows to centre on first floor with 3 prominent gabled full dormers. There is a central entrance, detailed as a 4-centred chamfered doorway with narrow flanking windows linked by a continuous dripstone and fitted with C20 plank door.

Integral end stacks with dripstones and tops rebuilt in C20 in red brick. There is an outline of the former gable range visible to right gable end. We also have a gabled full dormer to the centre rear.

Former stables and service range is attached to the left gable end, which is one storey with attic. The ground floor has, from left to right, a C20 casement plank door and two C20 casement in position of the infilled original openings with a 4 light chamfered mullion window and dripstone and another C20 plank door. Two hip-roofed eaves, with dormers to the right with 2 stone ridge stacks to left.

Interior

Ground floor of the main range (formerly 3 rooms, now one), has chamfered jambs and chamfered 4-centred wooden lintel. Fireplace in the first floor left room also has chamfered wooden lintel. C20 extension to the north side is constructed in Cotswold stone with pitched slate roof. C20 flat-roofed additions to the rear are not of special architectural interest

Historic Development

The Cotswold Plough Hotel is identified by Historic England to date from the mid-17th century, built presumably by a prominent yeoman, possibly the Yeatman's, who are recorded as owning and occupying the property at the time of the 1838 parish tithe map, as shown in **Figure 1**. The title map also shows that the building was an L-shape form with a separate structure further to the west, possibly an outbuilding/barn.

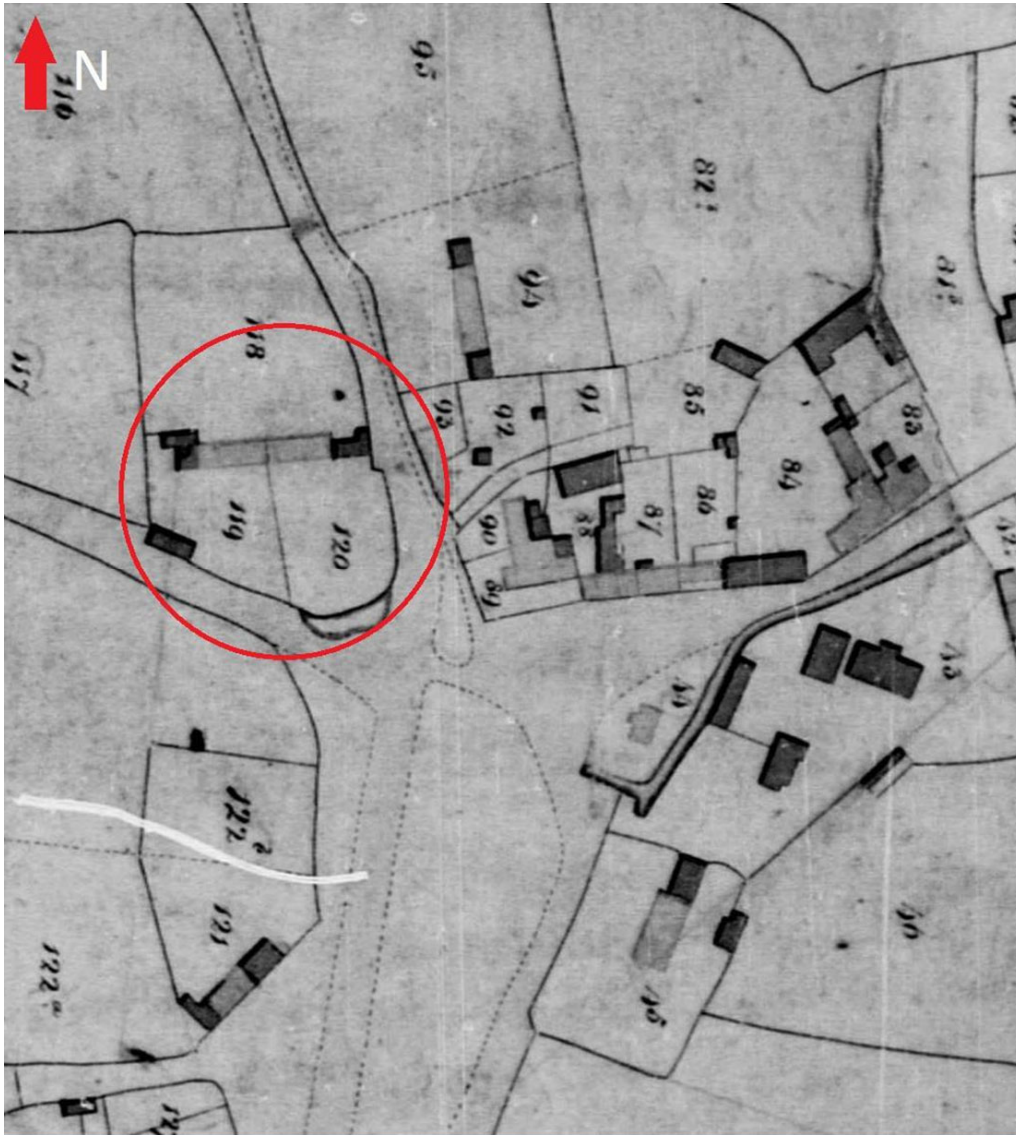


Figure 1. Extract of the 1838 parish tithe map with the Site location indicated in red. At this time the Site was owned and occupied by the Yeatman's, whose ancestors may have possibly constructed the original building in the mid-17th century.

The property appears to have remained a private dwelling until at least the late-19th century; the Ordnance Survey map of 1884 shows the Site labelled as the *Plough Inn* (see **Figure 2**). The map also shows the two separate buildings on the earlier tithe map now conjoined with an infill extension and a projecting bay extension to the north.

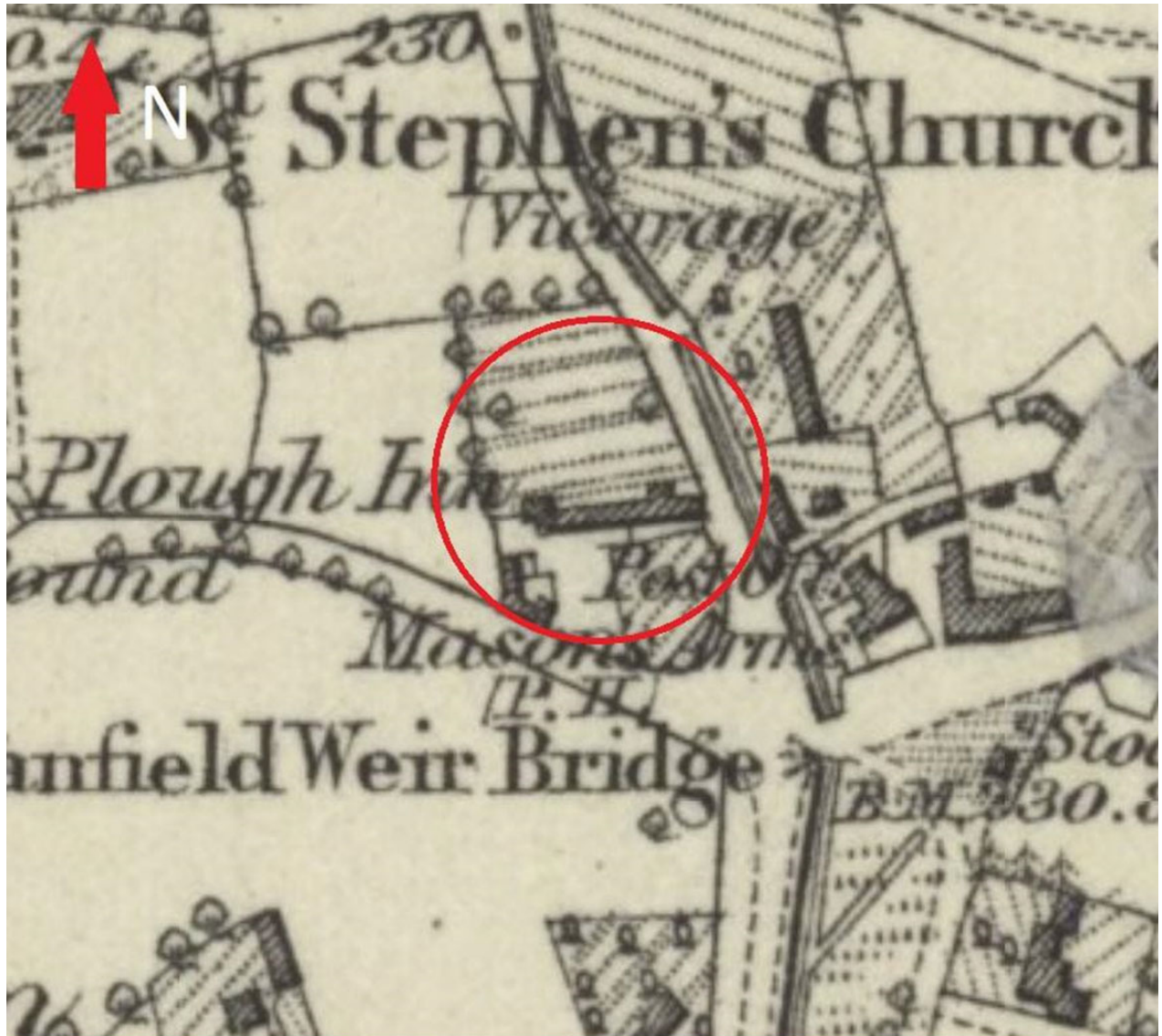


Figure 2. The Ordnance Survey map of 1884 with the Site location indicated in red shows that the two individual structures shown on the earlier tithe map had been connected through an in-fill extension, presumably the single storey with attic range that is present to this day. ©National Library of Scotland. 2020

A historic photograph from the 1920s (see **Figure 3**) shows the three bay range with the infill extension visible to the west, but lacking the dormer windows at first floor level, which are seen on a postcard image from the 1960s and are still present to this day. The increased use of motor vehicles from the mid-20th century required parking facility at the rural venue, and in 1974 a number of applications were made to the Local Authority, with an approval for 36 vehicles and the raising height of the (perimeter) wall (Planning R/N: W74/1143)



Figure 3. A postcard from the 1960s showing the Site with minor alterations to the plan form, including the construction of dormer windows to the 19th century western infill extension



Figure 4. A photograph of the Site taken c.1920s showing the mid-17th century three bay range with the 19th century single storey infill extension projecting to the left. The Site changed use from private residential use to public house sometime in the 19th Century.

The Site has subsequently obtained full planning and listed building consents for internal and external alterations, culminating in the two-storey erection projecting to the north of the 19th century extensions to provide further hotel accommodation. A further full planning and listed building consent application for a single storey kitchen extension was granted in November 1996, but was not implemented. And most recent planning approval for rear extension housing extension to restaurant.

The Extent of the Asset

The Plough is sited on Bourton Rd, Clanfield, Bampton OX18 2RB, with 51°42'59.8"N 1°35'20.6"W coordinates. The building is in plain sight with main entrance accessed via Pound Lane, historic access was via Bourton Road. The Site is located to the west side of Bourton Road, which delineates its eastern boundary, and is bounded by Pound Lane to the south. An area of land densely planted with trees bounds the Site to the north and west. The immediate setting is characterised by a traditional English village vernacular with a wider setting of agricultural farmland. The Site is located within the village and civil parish of Clanfield, situated in the local authority of West Oxfordshire District Council. The Site consists of a detached three-bay, two-storey building with attic dating from the mid- to late-17th century and constructed in uncoursed limestone rubble with stone slate roof.

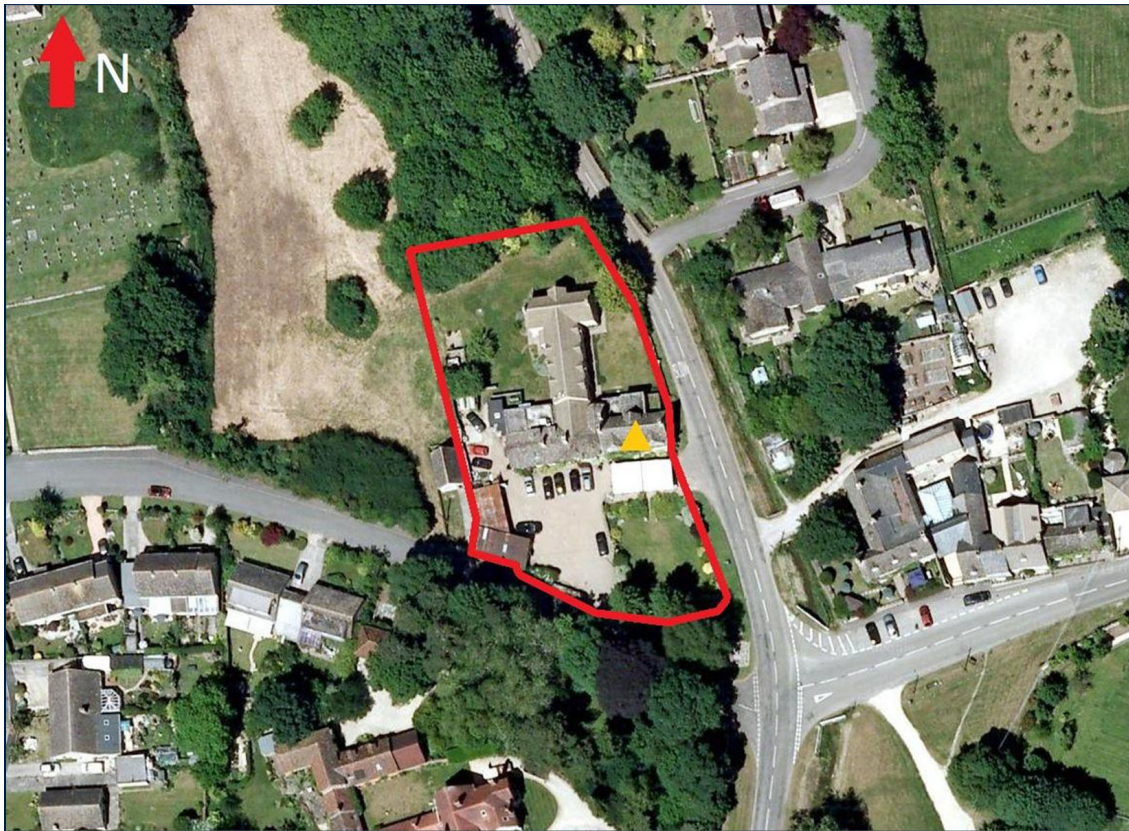


Figure 5: Aerial image of the indicative Site location (outlined in red). The designated heritage assets are denoted in yellow.

The Proposed Works & Impact

Proposed works are to be read in line with drawings accompanying listed building consent applications, illustrating proposed signage. Swing sign is reinstated to east elevation, this is of a metal fretwork design in colour agreed with conservation officer as RAL3003. An A4 menu case and metal plate will be sited by main entrance with minimal impact visually or physically to heritage site.

The overall approach to the proposal is dictated by the recognition of what is significant about the listed buildings, in terms of its external appearance, within proposal all significant elements of the building's external character and appearance are retained or enhanced within the scheme

Conclusion

For the reasons set out in the body of this report, it is clear that the proposed alterations are compatible with the 'special interest' and character of The Plough. Importantly the building will be provided with a sustainable use that is consistent with its character and fabric as a Grade II listed building.

It will provide a high quality boutique hotel which will benefit the building, and surrounding areas generally.

While the works will have some impact on historic fabric, it is considered that this is of an acceptable degree and that a balance has been achieved between impact and the benefits of securing an appropriate long-term and sustainable use for the listed building.

Relevant Planning History

Previous application undertaken at The Plough, Clanfield.

- Internally illuminated projecting aa sign - W85/0129
- Erection of porch and cold store, siting of lpg tanks, front entrance awning canopy - W85/0096
- Alterations and extensions to existing hotel - W96/1048
- Internal and external alterations and erection of extensions demolition of outbuilding porch cold store and external staircase - W96/1049
- Erection of single storey kitchen extension - W96/1454
- Erection of porch to west and chimney to south elevations and changes to windows (amendment to permission w96/1048) - W2000/1523
- Erection of porch to west and chimney to south elevations and changes to windows (amendment to consent w96/1049) - W2000/1524

Sources of Information

- Historic England entry 1198933
- BHO British History Online
- Below (social life: inns); for bldg, cf. DoE, *Revised Hist. Bldgs List: Clanfield*, 23; illust. in Bodl. MS Top. Oxon. c 485/2, nos. 4064–6, 4486.
- ORO, tithe map; OS Map 1:2500, Oxon. XXXVII.9 (1876 and 1899 edns); print of 1886 by W. Hissey, in owner's possession (1998).
- ORO, tithe award and map, nos. 119–20; *PO Dir. Oxon.* (1847 and later edns); *West Oxon. Standard*, 22 Apr. 1977 (wrongly suggesting that the bldg was formerly a manor house).
- The National Heritage List
- Historic ordnance survey maps
- Savills Assessment of planning history