

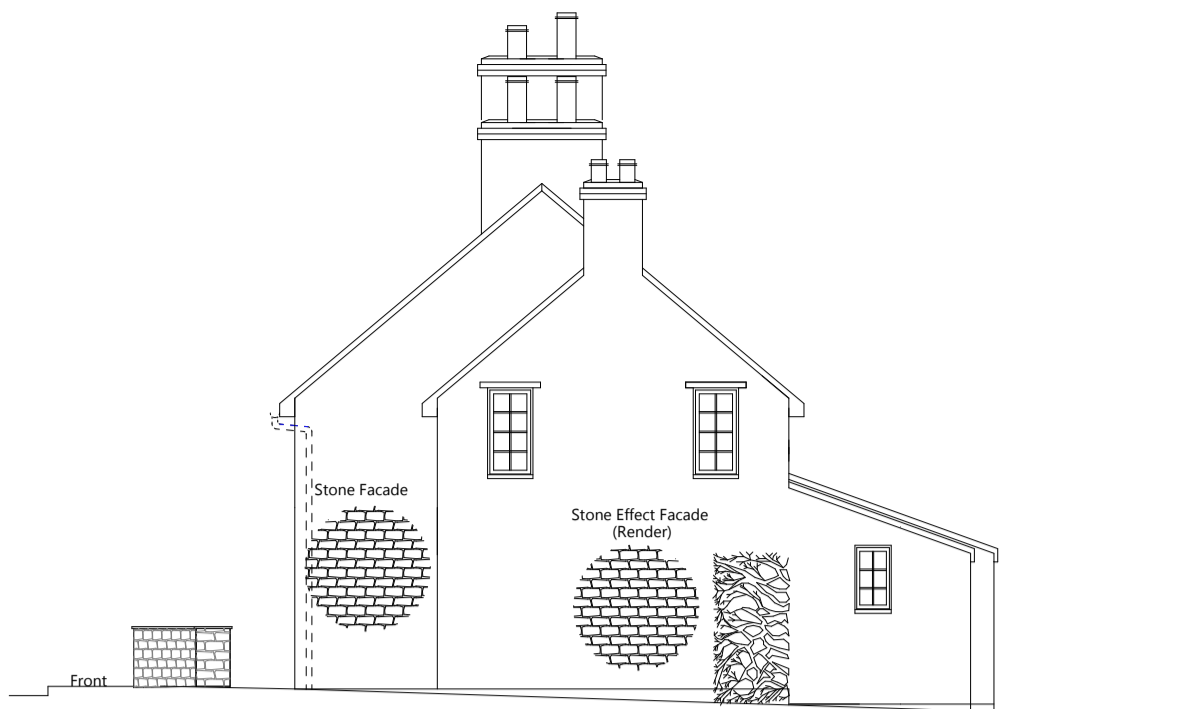
Existing Front Elevation



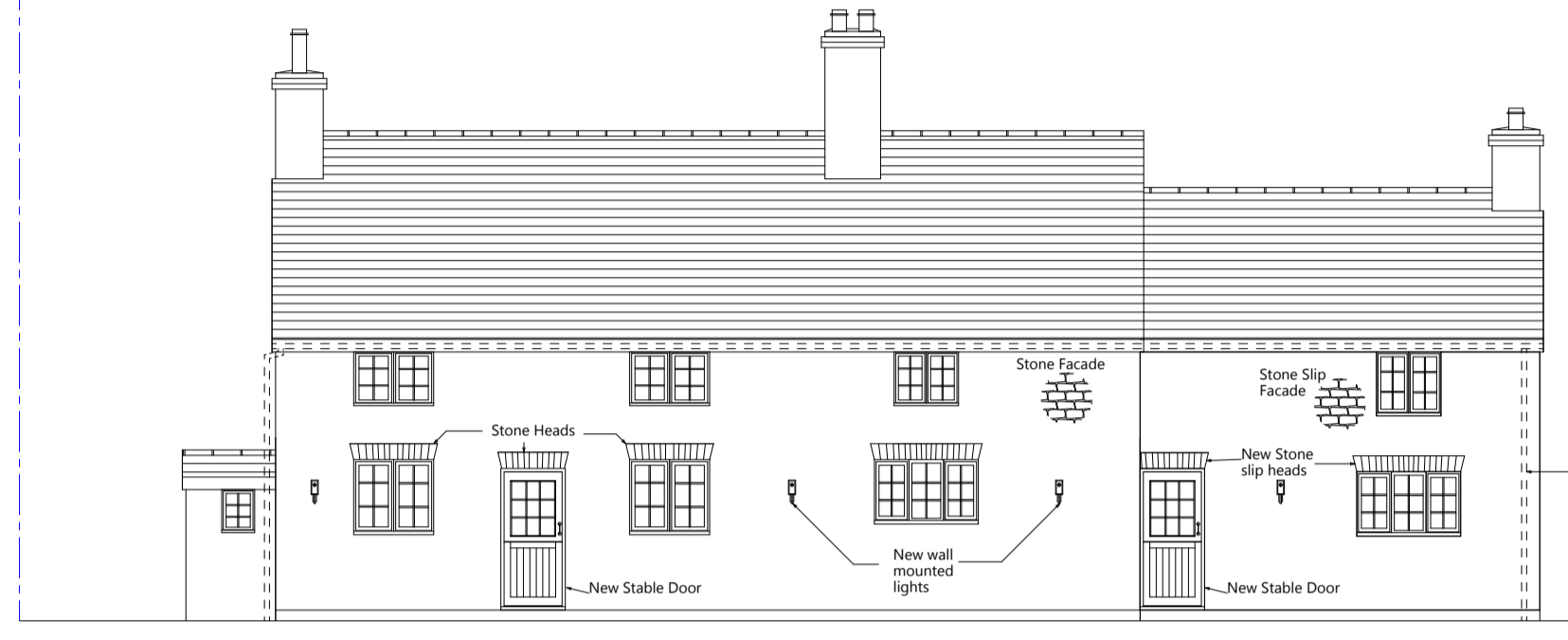
Existing Side 1 Elevation



Existing Rear Elevation



Existing Side 2 Elevation



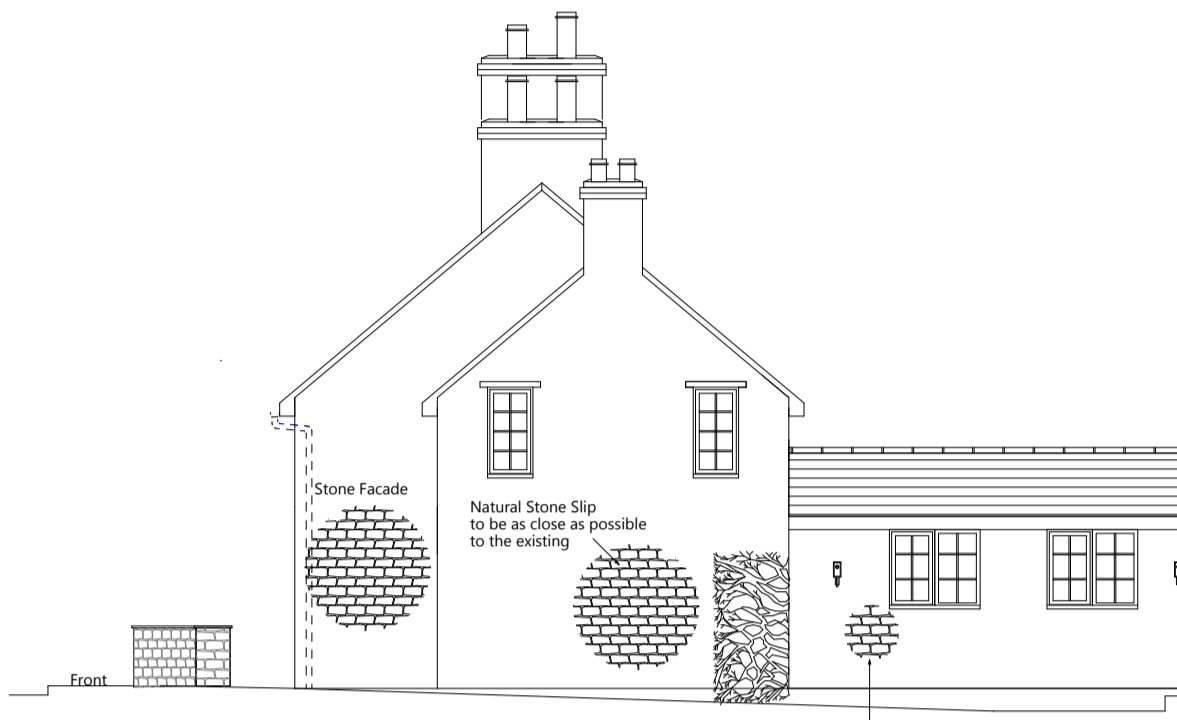
Proposed Front Elevation



Proposed Side 1 Elevation



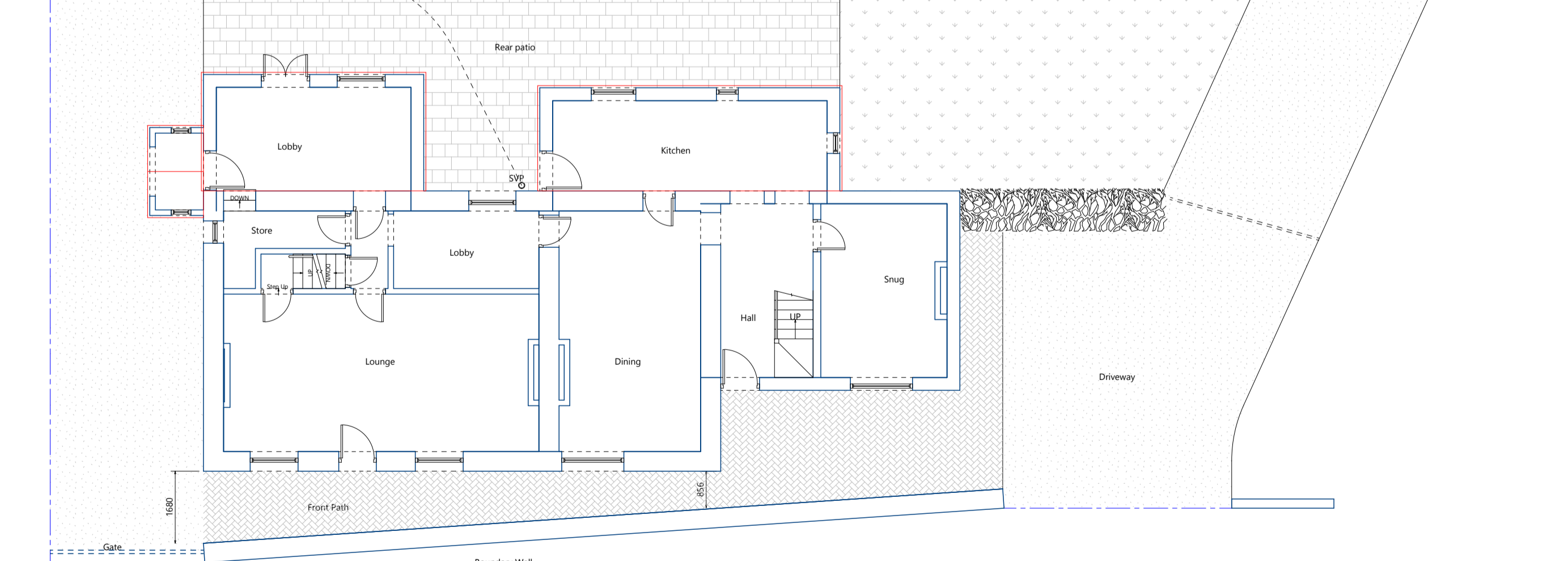
Proposed Rear Elevation



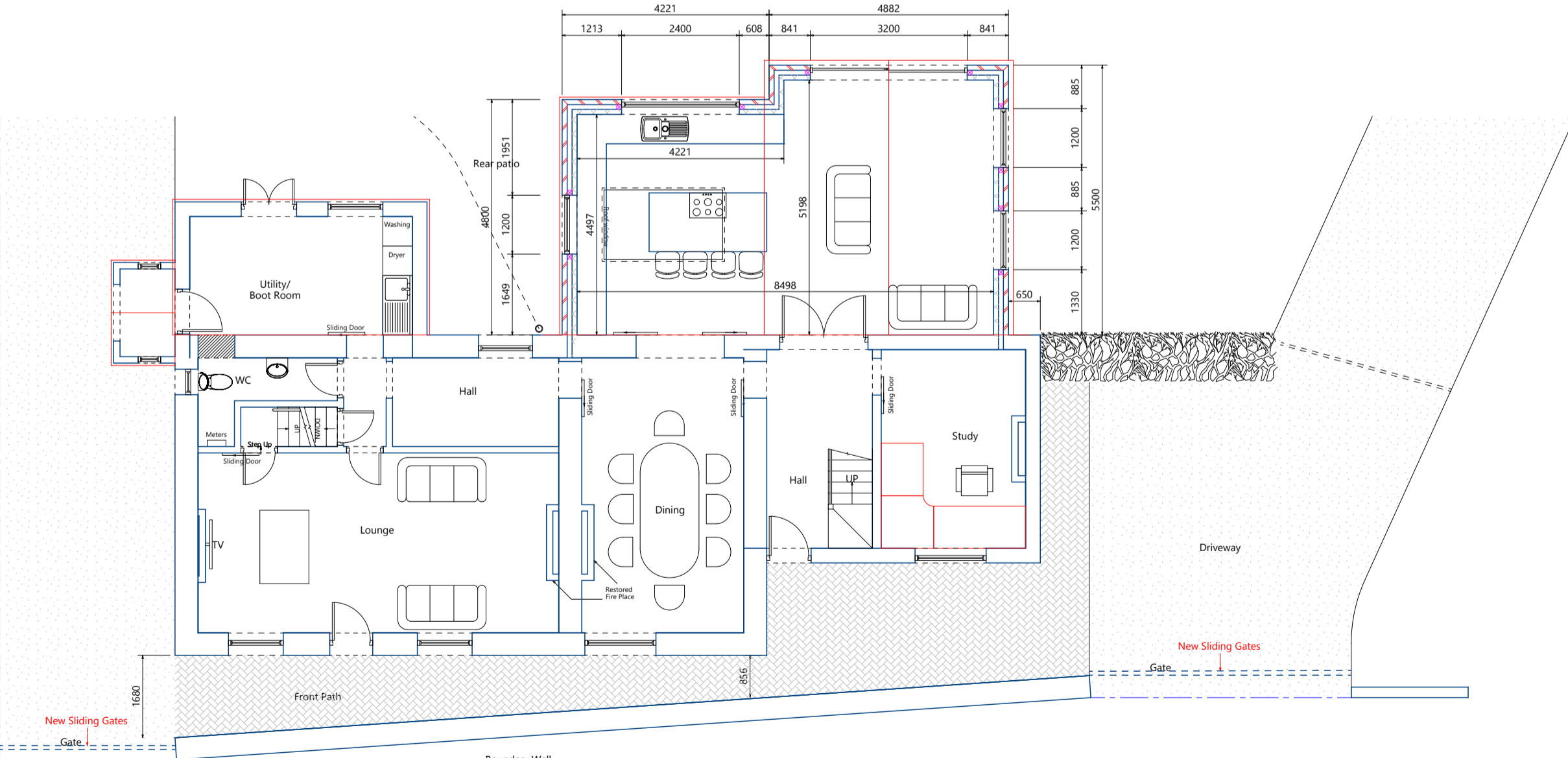
Proposed Side 2 Elevation



Proposed Front Elevation (street View)



Existing Ground Floor



Proposed Ground Floor

Sketch Drawings

Description of Works:
Single Storey Rear Extension

Client:
McGuire

Site Address:
Ward Cottage
83-85 Main Street
Papplewick
Nottingham
NG15 8FE

Drawing Number:
D101-08/02/2022

Drawing Revision:
08/02/2022 - A

Materiality:
See drawing notes

DRAWING NOTES

This project involves a single storey rear extension to create a new open plan kitchen and family room at the rear of the property, and a new sliding gate to the front of the property.

The new extension will replace the existing rear extensions at the property which are not in keeping with the original building in terms of materiality. They are also in a bad state of repair.

The new extension will be constructed in stone slip - as close a match as possible to the existing - with a GRP or rubber flat roof. Windows and doors will be Timber Georgan for PVC.

NOTE: Planning permission has been granted for the extension under ref. 2022/0248.

The new gates will be black steel sliding gates to match others in the area. Please see supporting information.

SCALE & ORIENTATION

Floor plans and elevations scale 1:100 @ A3
Construction Details 1:25 @ A3

0m 5m 1:100BA3
0m 1m 1:25BA3

LEGAL NOTICE

Copyright remains the property of The Practical Planning Company Ltd - no copies of these plans to be made without approval. Drawings must not be used for operations until the relevant approvals have been granted and checked on site by client and principal contractor. Any discrepancies in size or relevant details which may affect quantities and/or building costs and procedures must be reported to The Practical Planning Company Ltd and the drawings must not be used until the relevant approvals have been granted.

It is the responsibility of the client and principal contractor/builder to confirm to both building regulations and Construction Design & Management Regulations (CDM 2015). If existing trees are to be retained, they should be subject to a full arboricultural survey/inspection for safety. All trees are to be planted a minimum of five metres from buildings and three metres from drainage and services. A suitable method of foundation is to be provided to accommodate the proposed tree planting.

Any alterations to these drawings should be checked for compliance with planning and building control. It is the responsibility of the client to check that these plans do not contravene, affect consents or imposed boundaries, that they are in line with relevant planning and building control, and that issues relating to The Party Wall Act 1996 are implemented at the relevant stages.

CONTACT INFORMATION

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