

3. Design Proposal

Early Concept Stage Sketch

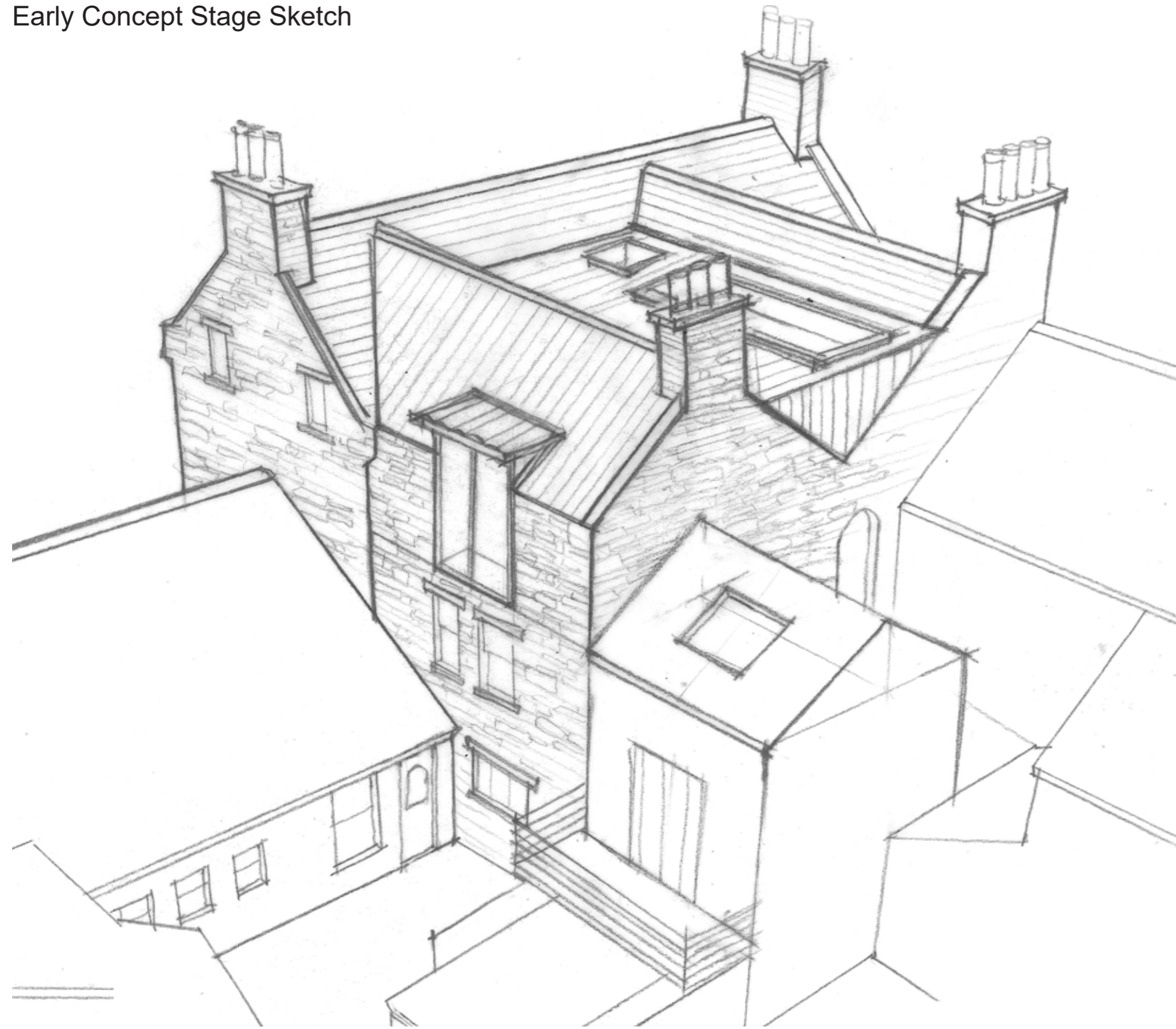


Figure 47. Early Concept Stage Option - Aerial View

Second-floor Extension - Massing

Early Concept Stage - Dormer window

The traditional form of Option A was then further developed and in order to provide required daylight, appropriate ceiling heights and views towards the Castle, an Arts and Crafts dormer window was proposed in keeping with the Arts and Crafts dormer prevalent in the area and the village.

Pre-application Advice (21/00954/PREAPP)

The proposal was submitted for the pre-application planning advice enquiry to the Northumberland County Council.

In the written response to the pre-application advice enquiry, the principle of development was considered to be acceptable with the planning approval relying largely on the detail of the final design and the provision of clear justification which is outlined in the Design and Access Statement and associated documents.

The sensitive stone and roof repairs where necessary were supported and uPVC window and rainwater goods replacement was encouraged.

The comments were also provided on the put-forward extension options. The scale of Options A and B was considered to have potentially a less than substantial harm to the aesthetic value of the listed building and its setting. While Options C and D were considered to be harmful to have substantial harm to the significance of the building and its setting.

It was also noted that the Arts & Crafts dormer would not be in keeping with the aesthetic value of the listed building as it would introduce a contrasting feature onto the building devoid of any dormers.

The response included the recommendation for a meeting with a case officer and conservation officer to discuss in detail the proposal.

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Second-floor Extension - Dormer Window

During the pre-application advice enquiry following consultants were approached:

- Building Conservation Officer - was supportive of sensitive stone and roof repairs and replacement of uPVC windows and rainwater goods. While the Officer noted that the second-floor level extension would result in harm if Option A was considered the harm would have been less than substantial.
- AONB Partnership - was supportive of the scheme to repair and enhance the Wynding House and restore the garden setting of the house. The partnership's preference was for extension Option A.
- County Archaeologist - Provided no substantial groundworks were proposed, the consultant did not recommend any archaeological work as part of the development proposal.



Figure 48. Early Concept Stage Option - East Elevation

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Second-floor Extension - Dormer Window



Figure 49. Stone dormer with slate roof.



Figure 50. Victorian timber dormer with lead cheek walls and clay roof.



Figure 51. Timber dormer.



Figure 52. Stone dormer with lead cheek walls.

Pre-application Meeting (21/00954/PREAPP)

Following the recommendation of the case officer, a meeting on-site was arranged to discuss the proposal with the Case Officer, Senior Planning Officer and Conservation Officer.

During the meeting, it was reiterated that the Local Authority is supportive of the proposed repairs and restorations to the house.

The preference for Option A was reiterated and agreed. The Local Authority recommended that traditional materials should be used to match the existing house. Additionally, it was agreed that the principle of the proposed dormer is acceptable.

Even though the variety of different dormers prevalent in the immediate vicinity in older and more recent buildings was discussed at length, the Local Authority maintained its stance that it would not be in keeping with the aesthetic value of the listed building as it would introduce a contrasting feature onto the building devoid of any dormers.

To conclude the meeting, it was agreed by all parties that other dormer styles will be further investigated and explored, and it should be more in keeping with the mock Georgian stone dormer of the 6 Wynding House built in the 1990s (see Figure 52).

Further Development - Dormer Options A-E

Following the discussion with the Local Authority, a detailed analysis of the dormers within the village was conducted with a conclusion that there is a large variety of dormers present in the village without a particular dominant character. However, following the pre-application planning advice, five dormer options based on the 1990s mock Georgian dormer window at 6 The Wynding were developed.

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Second-floor Extension - Dormer Window

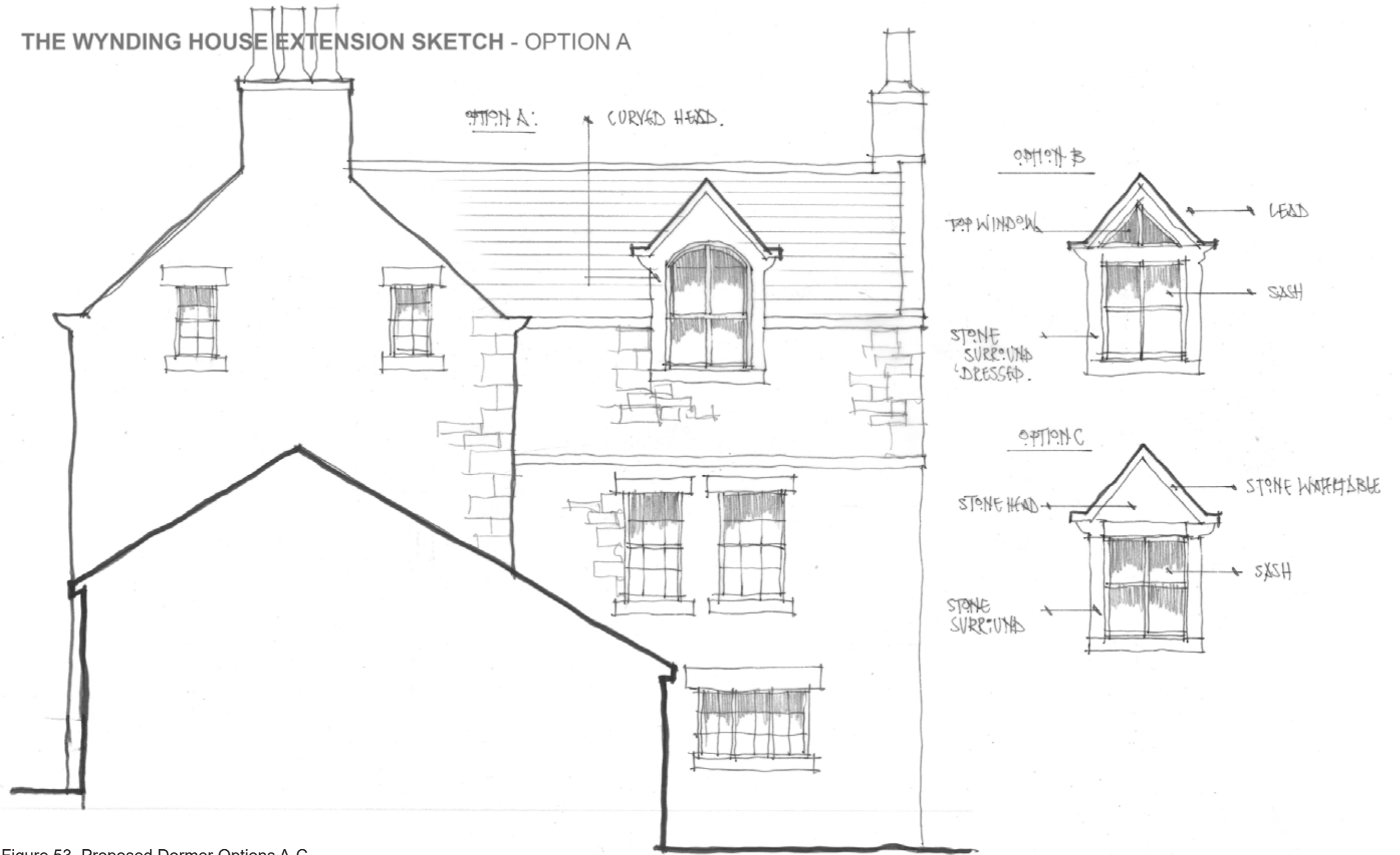


Figure 53. Proposed Dormer Options A-C

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Second-floor Extension - Dormer Window

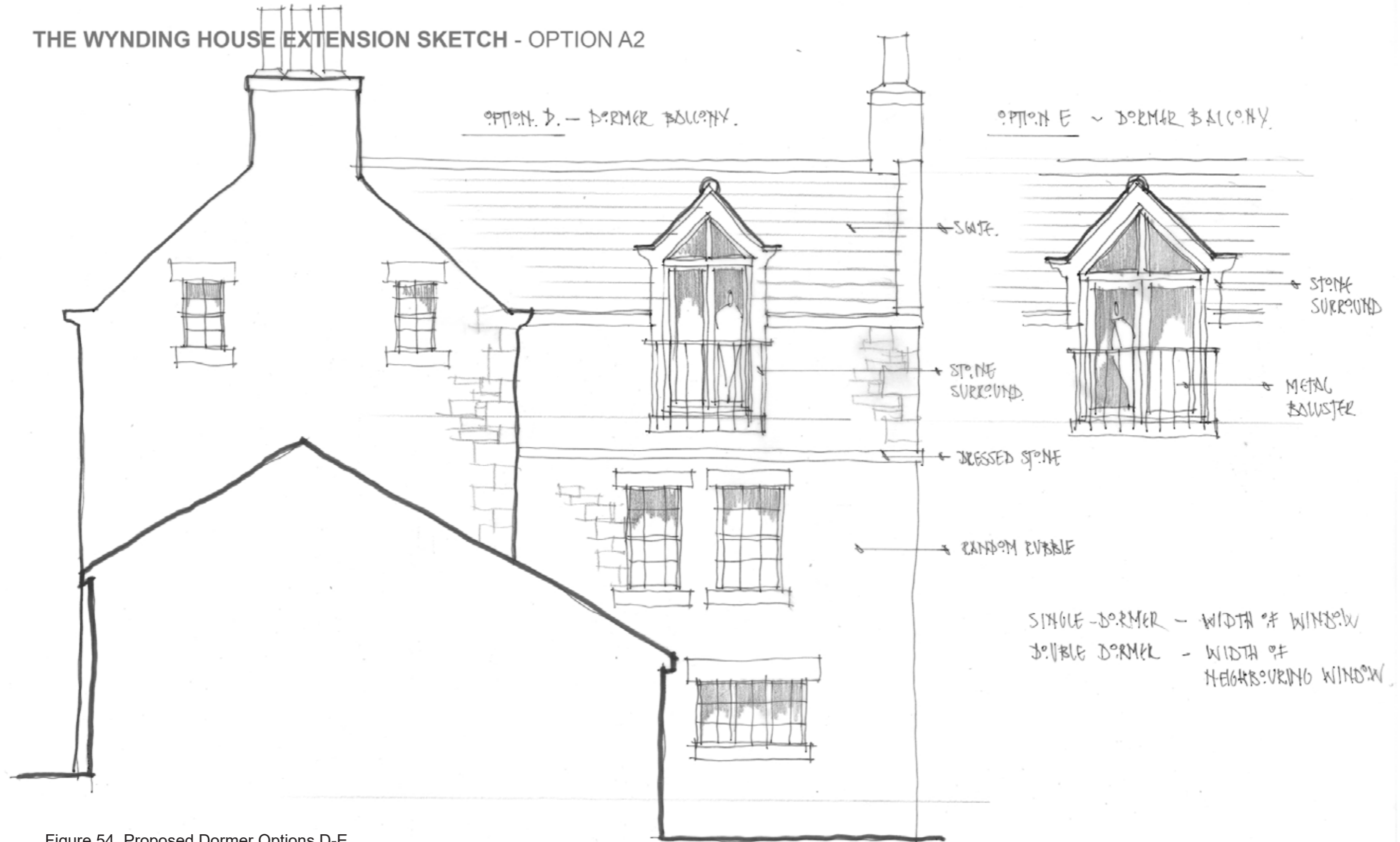


Figure 54. Proposed Dormer Options D-E

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Second-floor Extension Proposal

Final Design Option

When considering the appropriate option for the design of the dormer, a detailed investigation of dormers prevalent in the village was conducted. The conclusion of this analysis was that there is no one dominant style of dormers in Bamburgh and there is a large variety of different styles of dormers from different time periods.

As the contextual dormer analysis proved inconclusive, the next step included a detailed analysis of the characteristics of the Wynding House. The Wynding House is a Georgian House, with later Victorian and Edwardian modifications, that is characterised by its stone detailing. Therefore, to keep with the character of the house, the proposed dormer was to be stone.

There were five dormer window options proposed throughout the design development:

- Option A - Arched single window with a sash window set in a stone surround and stone gable above the window
- Option B - Single window with a sash window set in a stone surround and glazed gable above the window
- Option C - Single window with a sash window set in a stone surround with a stone gable above the window
- Option D - Extended window with metal fretwork in the same proportion as the single window.
- Option E - Extended double door window with metal fretwork.

Following the discussions with the Local Authority, the preference of the Conservation Officer was for Option C, however, to maximise the light in the proposed extension, Option B was chosen as the final design proposal. Options D and E were also considered appropriate as they not only allow for sufficient daylight to the room but also are aesthetically appropriate to the Georgian Wynding House.

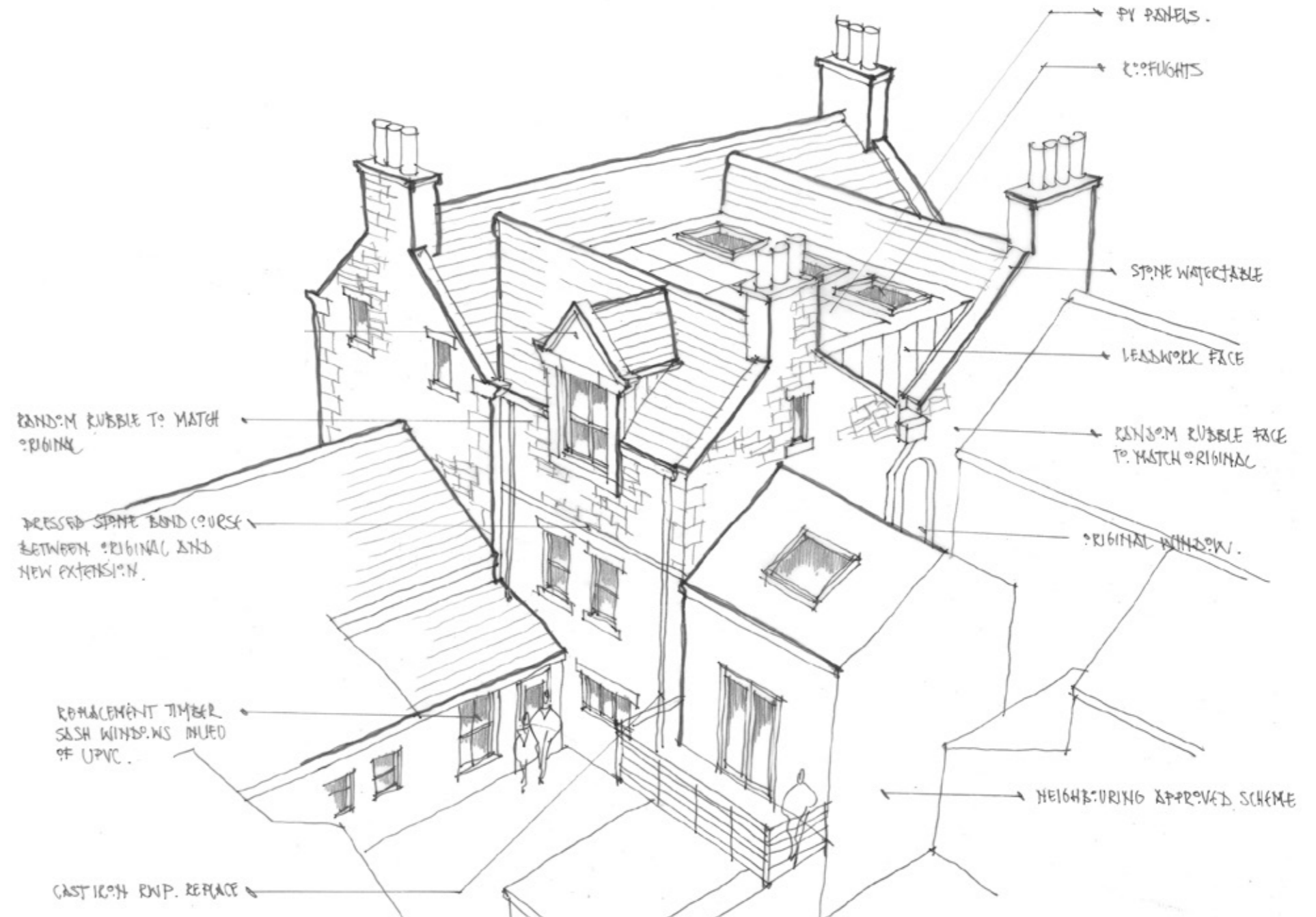


Figure 55. Proposed second-floor extension - Aerial View

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Second-floor Extension Proposal



KEY:

- 1 REPAIRS AND MAKING GOOD TO THE EXISTING MASONRY INCLUDING LIME MORTAR REPAIRS AND REMOVAL OF ANY CEMENT MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 2 RECONSTRUCTION OF THE MASONRY WALLS WITH REPLACEMENT STONE AND LIME MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 3 REMOVAL AND REPLACEMENT OF THE EXISTING WELSH SLATE ROOF WITH AIM TO RE-USE 50% OF THE ORIGINAL SLATE AND THE REMAINDER BEING REPLACED WITH SECOND-HAND SLATE TO MATCH EXISTING. SUBJECT TO SPECIALIST SURVEY.
- 4 NEW WELSH SLATE ROOF TO MATCH EXISTING.
- 5 EXISTING STONE WATER TABLE AND STONE KNEELERS TO BE REPAIRED WHERE REQUIRED. SUBJECT TO SPECIALIST SURVEY.
- 6 STONE REPAIRS TO THE PORTICO. SUBJECT TO SPECIALIST SURVEY.
- 7 EXISTING TIMBER WINDOWS REPAIR OR REPLACEMENT WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS. SUBJECT TO SPECIALIST SURVEY.
- 8 EXISTING uPVC WINDOWS TO BE REPLACED WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS.
- 9 BLOCKED UP ARROW SLIT WINDOWS TO THE GARAGE GABLE END TO BE REINSTATED. WITH NEW WINDOWS SET BACK WITH INTERNAL SHUTTERS. EXACT WINDOW POSITION TO MATCH INFILLED OPENINGS, SUBJECT TO SITE SURVEY.
- 10 EXISTING LOUVRE VENTS TO BE FILLED IN WITH STONE MATCHING THE EXISTING.
- 11 uPVC RAINWATER GOODS TO BE REPLACED WITH BLACK PAINTED CAST IRON GOODS.
- 12 CHIMNEY POTS TO BE REPAIRED IF REQUIRED. SUBJECT TO SURVEY.
- 13 NEW CHIMNEY POTS TO MATCH EXISTING.
- 14 EXISTING uPVC ROOF LIGHTS TO THE FRONT ELEVATION TO BE REPLACED WITH CONSERVATION ROOF LIGHTS.
- 15 NEW CONSERVATION ROOF LIGHTS TO THE GARAGE.
- 16 NEW CONTEMPORARY ROOF LIGHTS TO THE STAIR WELL.
- 17 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING FRONT DOOR.
- 18 NEW TRADITIONAL DOUBLE DOOR TO MATCH THE PROPOSED FRONT DOOR IN PLACE OF THE EXISTING GARAGE DOOR.
- 19 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING uPVC REAR DOOR.
- 20 NEW DRESSED STONE DETAIL BAND
- 21 NEW SASH DORMER WINDOW TO PROVIDE LIGHT, VIEWS AND HEIGHT TO THE PROPOSED EXTENSION. DRESSED STONE WITH LEAD CHEEK WALLS.

Figure 56. Proposed second-floor extension - East Elevation

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Existing Second Floor Plan

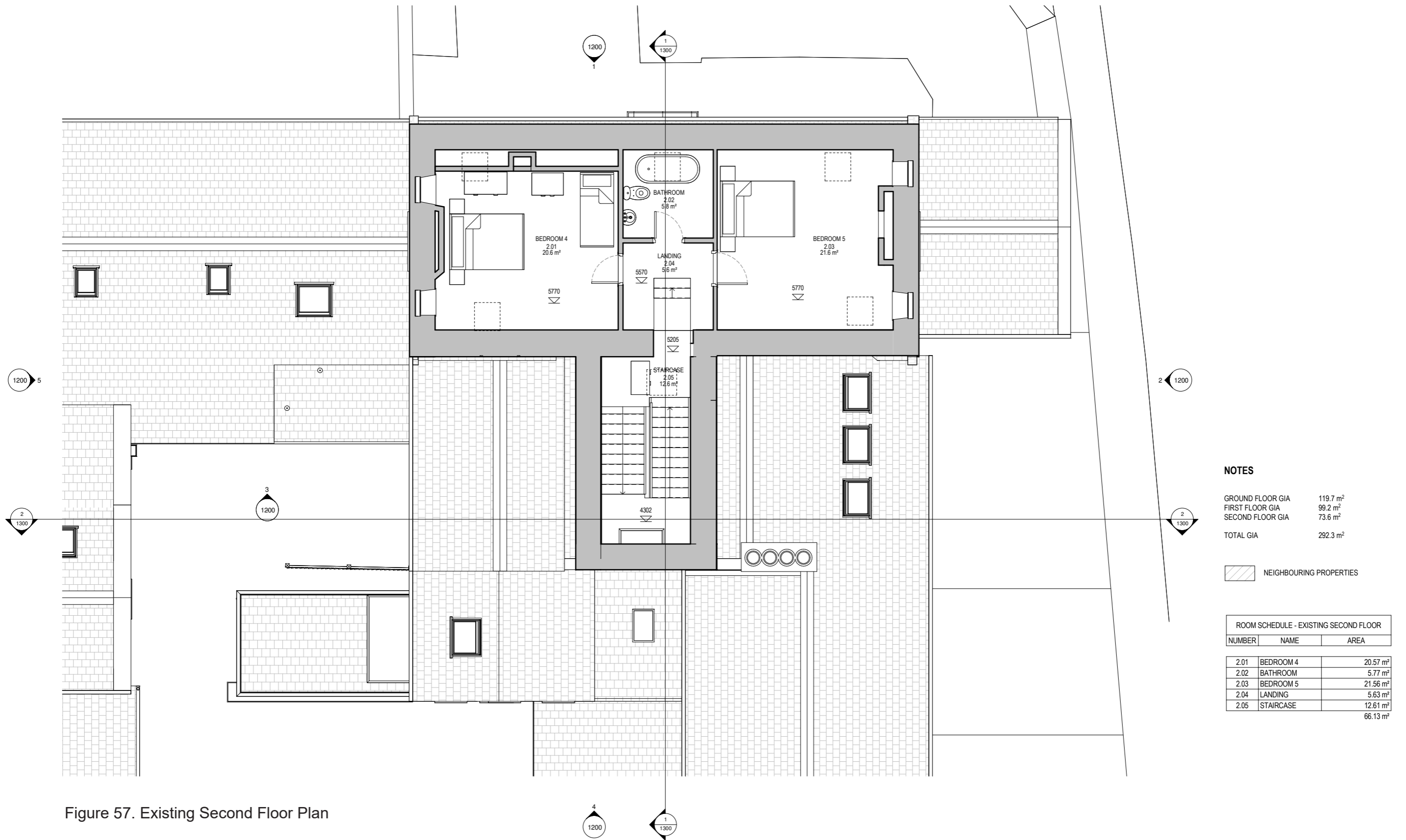


Figure 57. Existing Second Floor Plan

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Proposed Alterations to the Second Floor Plan

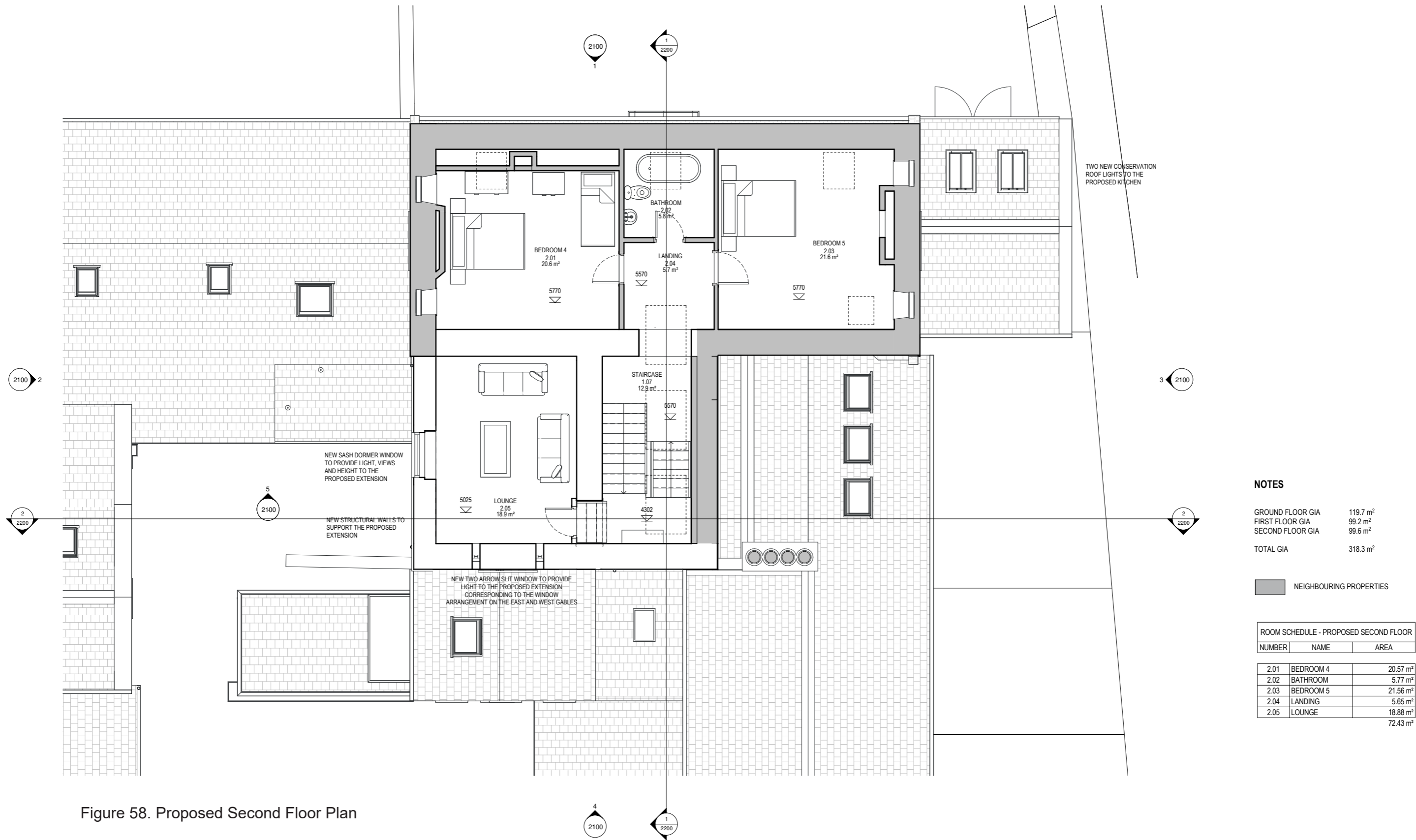


Figure 58. Proposed Second Floor Plan



Figure 59. Existing Cross Section



Figure 60. Proposed Cross Section



Figure 61. Existing Longitudinal Section

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Proposed Longitudinal Section



Figure 62. Proposed Longitudinal Section

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Existing Roof Plan



Figure 63. Existing Roof Plan

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Proposed Alterations to the Roof Plan



Figure 64. Proposed Roof Plan

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Existing and Proposed Key Views



Figure 65. Existing view to the north-west from the playing fields



Figure 66. Proposed view to the north-west from the playing fields

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Existing and Proposed Key Views



Figure 67. Existing view to the west from the playing fields



Figure 68. Proposed view to the west from the playing fields

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3.7 Front Garden Restoration

The front garden to the Wynding House as seen today has been considerably eroded over time by the subdivision of the adjacent property and the recent addition of a two-storey house built in the garden of the adjacent plot, which has had a significant impact on the setting and views to the Castle from The Wynding.

As evidenced by the historic photograph of the Wynding House (see Figure 69), the approach to the main house was formal and grand, emphasised by the long central pathway to the front door of the Wynding House with access from the southern part of the garden. The historic approach to the Wynding House and the importance of its front garden, unfortunately, eroded and diminished over time.

The proposal is to restore the arrangement of the front garden, enhancing the considerably eroded setting of the Wynding House.



Figure 69. A historic postcard. Precise date unknown, 1900s.

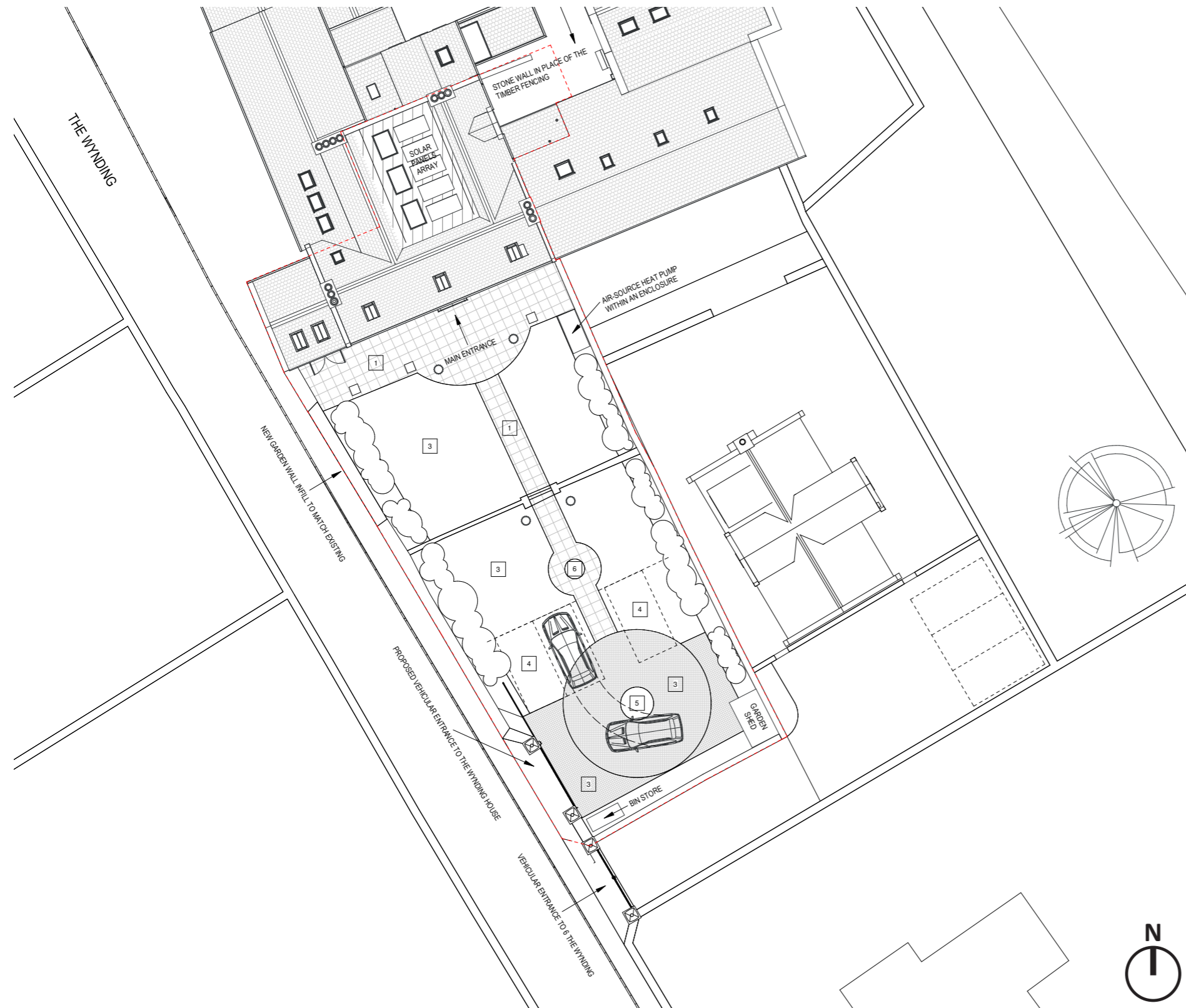
Existing Front Garden and Access



Figure 70. Existing Site Plan

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Proposed Front Garden and Access



3.8 Access to the House

The existing main access to the Wynding House is through vehicular access gates situated by the main elevation of the House. The vehicular access to the property is tight to enter, meaning that cars require adjusting when entering and exiting the property. There is an additional pedestrian-only rear access to the property.

In principle, the access strategy to the house is not proposed to change. It is proposed for the two access points to be maintained with a main vehicular/pedestrian access off The Wynding and a rear pedestrian-only access.

The proposal is for the main vehicular/pedestrian access point to be moved to the southern end of the garden to restore the original formal approach to the House. The current access point is proposed to be restored as a stone wall by reusing the stones to match the existing.

The benefits of the change to access would include:

- Creating a wider entrance with greater visibility splays.
- Improved safety of entrance and exist
- Restoring the historic landscape arrangement of the garden with a central pathway to the main door.

Figure 71. Proposed Site Plan

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Existing Front Garden and Access - Aerial View



Figure 72. Existing Garden - Aerial View

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Proposed Front Garden and Access - Aerial View



Figure 73. Proposed Garden - Aerial View

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Existing and Proposed Key Views



Figure 74. Existing approach to the Wynding House detached from the large front garden.



Figure 75. Proposed central approach to the Wynding House framed by the large front garden.



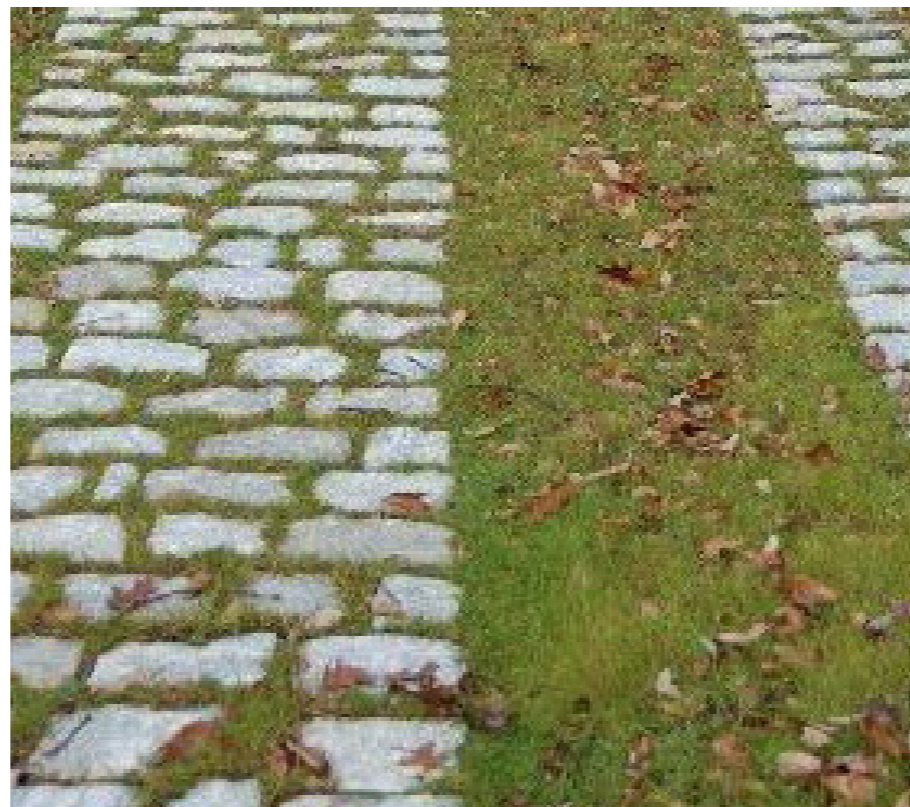
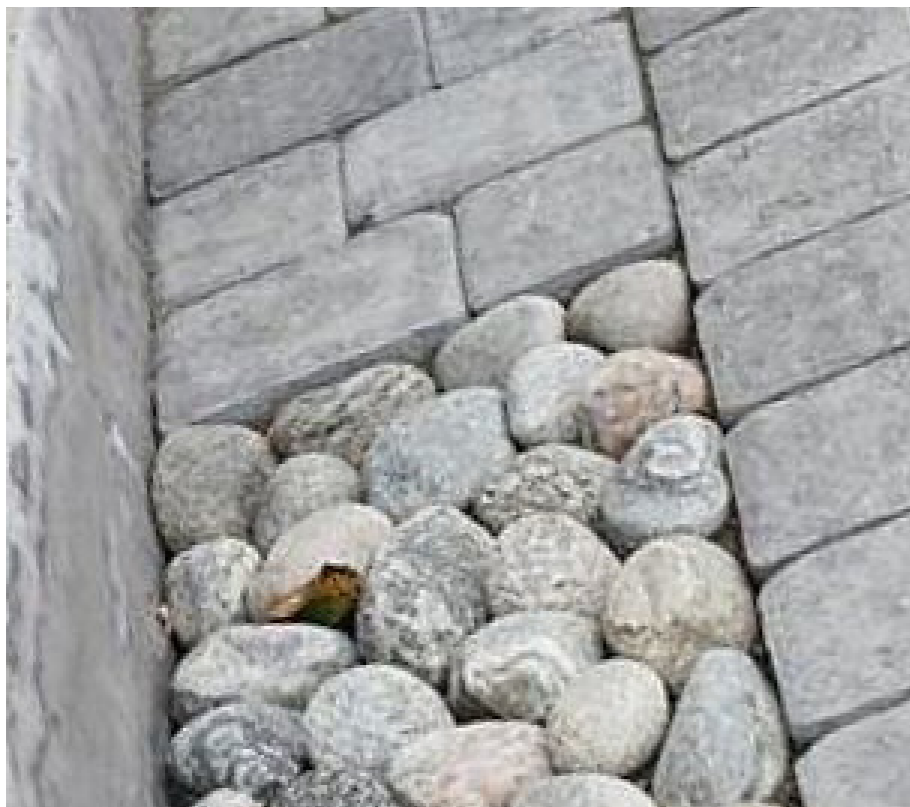
Figure 76. The original gates to the Wynding House, now entrance to the newly developed house in the garden of 6 The Wynding. The access to the Wynding House was moved towards the House.



Figure 77. Proposed access to the Wynding House, restoring the historic approach to the House from the southern end of the garden.

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Landscape Softworks and Hardworks - Precedents



4. Sustainability and Fabric Improvements

Sustainability Strategy

The Wynding House is typical of its period, constructed with solid walls, single glazing, and draughty cold roof construction. Primary heating was intended to be supplied through open fires.

The proposal is to improve the environmental performance and carbon footprint of the building, whilst working within the constraints of the listed building setting.

The whole-house approach to energy generation and use was applied to the proposal, which prioritises reduction in energy consumption, fabric improvements, greater comfort levels and future-proofing the heritage building.

The proposed environmental alterations include:

- Change in the primary heating source from oil to electric.
- Introduction of south-facing solar electricity panels to the proposed flat roof.
- Introduction of an Air Source Heating Pump.
- Upgrades to the fabric insulation (e.g. roof, ground floor).
- Introduction of a new extension constructed to the modern regulations and standards, therefore improving the environmental performance of the existing building.
- Window replacement with improved double-glazed window units.
- Repairs to the stonework which reduces air leakage.

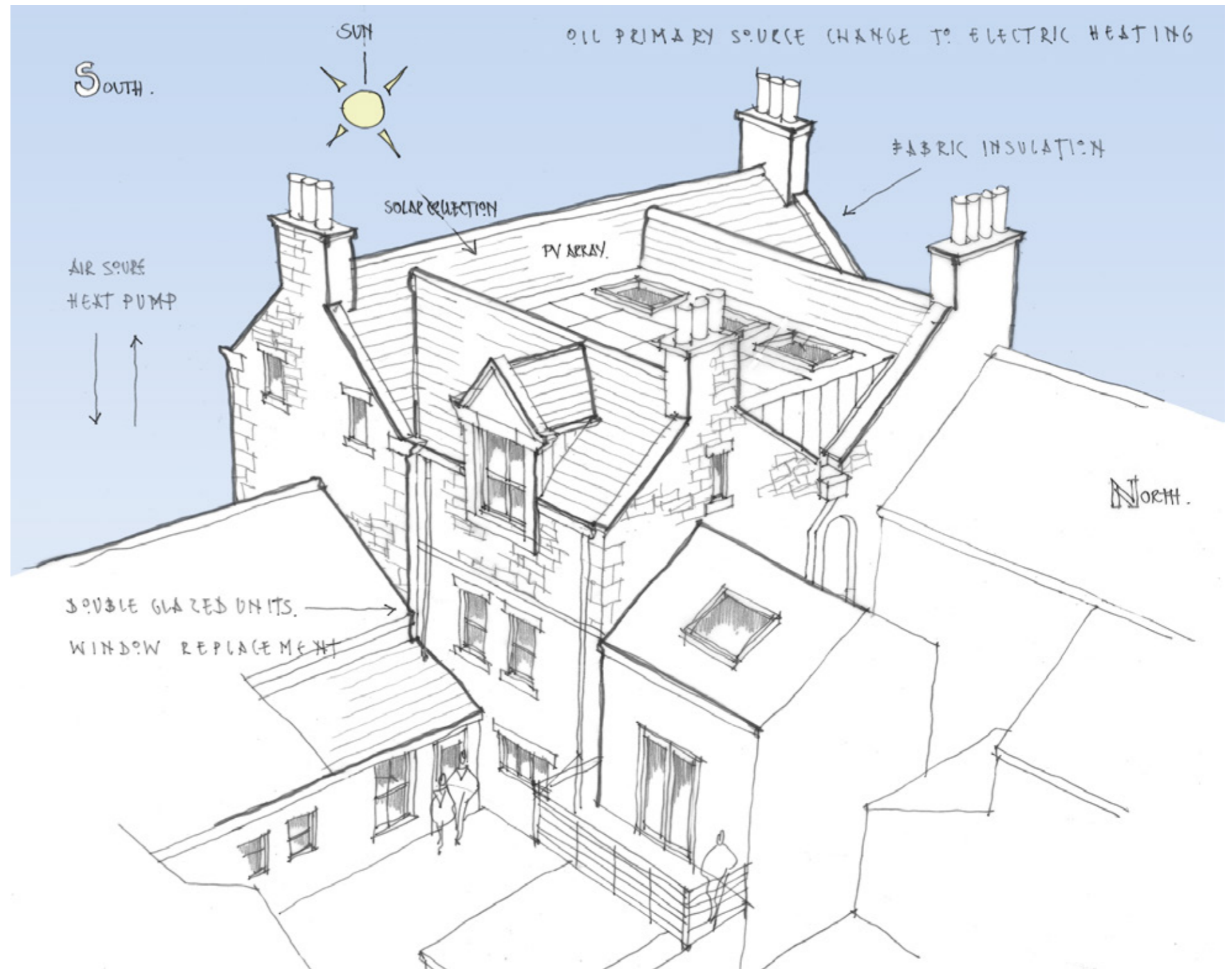


Figure 78. Whole-house approach adopted to the sustainability and fabric improvements.

5. Conclusion and Planning Policy Compliance

Conclusion



The proposal for the repairs, restorations, and internal and external alterations to the Wynding House offers a significant enhancement to the deteriorating fabric of the existing Grade II listed house and its setting.

Additionally, as emphasised in the National Planning Policy Framework (NPPF 2021), sustainability lies at the heart of this proposal with a whole-house approach, that includes fabric improvements, change to a sustainable primary energy source and the introduction of sustainable systems.

Through the sensitive restoration and repairs to the stonework and slates, replacement of inappropriate uPVC windows and rainwater goods, context-sensitive internal alterations and second-floor extension, the proposal complies with relevant National and Local (including Emerging) Policies, including:

- NPPF (2021) Chapter 12 Achieving well-design places
- NPPF (2021) Chapter 14 Meeting challenge of climate change
- NPPF (2021) Chapter 16 Conserving and enhancing the historic environment
- Northumberland Draft Local Plan (2019) Policy HOU 9 Residential development management
- Northumberland Draft Local Plan (2019) Policy QOP 2 - Good design and amenity
- Northumberland Draft Local Plan (2019) Policy ENV 4 - Area of Outstanding Natural Beauty
- Northumberland Draft Local Plan (2019) Policy ENV 7 - Historic Environment and Heritage Assets

The detailed analysis of relevant historic environment and heritage assets in relation to the scheme is included in the Heritage Statement.

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