

WYNDING HOUSE, BAMBURGH

DESIGN AND ACCESS STATEMENT

21100-HL-00-XX-RP-A-0003-S4-P02



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BY	CHK	SCALE	SIZE	DATE					
AW	NT	NTS	A3	05/08/2022					
PRO. NO	ORIG	VOLUME	LEVEL	TYPE	ROLE	NUMBER	STATUS	REV	
21100	HL	00	XX	RP	A	0003	S4	P02	



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1. Introduction



Figure 1. Wynding House - Bamburgh, Northumberland

Design and Access Statement

Executive summary

This Design and Access statement is to accompany the application for the proposed alterations to the Grade II listed Wynding House, 4 The Wynding, Bamburgh.

This document lists and reviews the proposals for the repairs, restorations, and internal and external alterations to the property.

The application builds upon the pre-planning application advice and further investigations of the existing building and is accompanied by a Heritage Statement and Setting Assessment, in which the existing building is reviewed and assessed in the context of the settings within the Bamburgh village and Bamburgh Castle. Both the Heritage Statement and the Settings Assessment have been used as the basis for all the design decisions in the application.

Prior to the submission of the planning application, pre-application advice was sought. Pre-application advice feedback (21/00954/PREAPP) and further on-site meeting with the case officer and conservation officer enabled further dialogue and discussion of the proposal.

2. Context Analysis

Site Location

2.1 Site Location

The Wynding House (4 The Wynding) is located in Bamburgh, approximately 200 m to the west of Bamburgh Castle and approx. 500 m to the southwest of the coastline. The site is located within the Bamburgh Conservation Area and Northumberland Coast Area of Outstanding Natural Beauty.



Figure 2. Wider location plan - Bamburgh, Northumberland

2.2 History of the Bamburgh village

Bamburgh is a village and a civil parish on the coast of Northumberland, most notable for the Bamburgh Castle. The castle, set 180 feet high on a volcanic outcrop of the Great Whin Sill was a stronghold for the Kings of Northumbria and of England, until its military significance ended after a siege in the Wars of the Roses. It came into private ownership in the early seventeenth century, undergoing restoration. In 1894 the Castle was bought by the Lord Armstrong of Cragside and is still owned by the Armstrong family who plays an active part in its operation and maintenance.

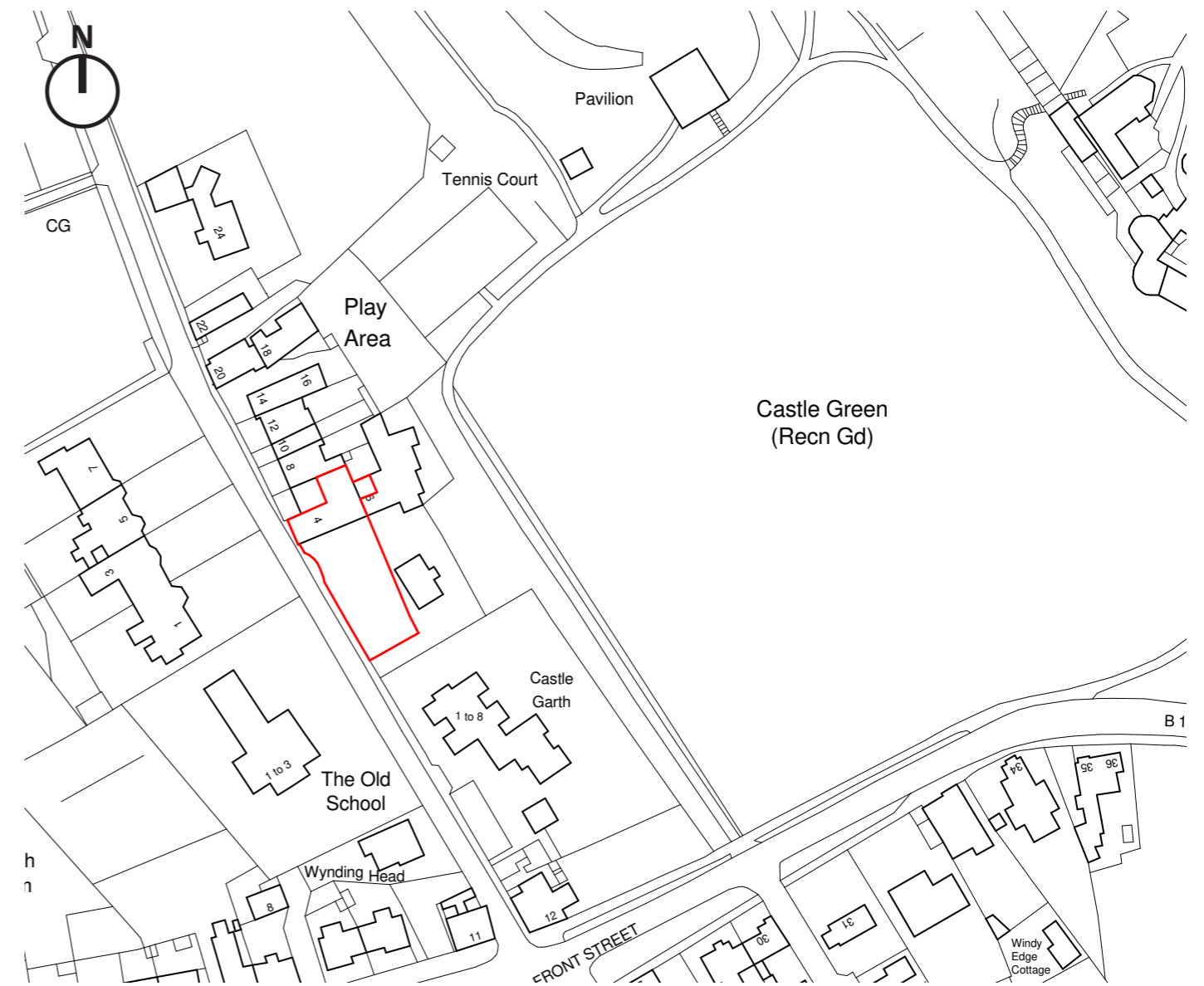


Figure 3. Site location plan - Wynding House

2. Context Analysis

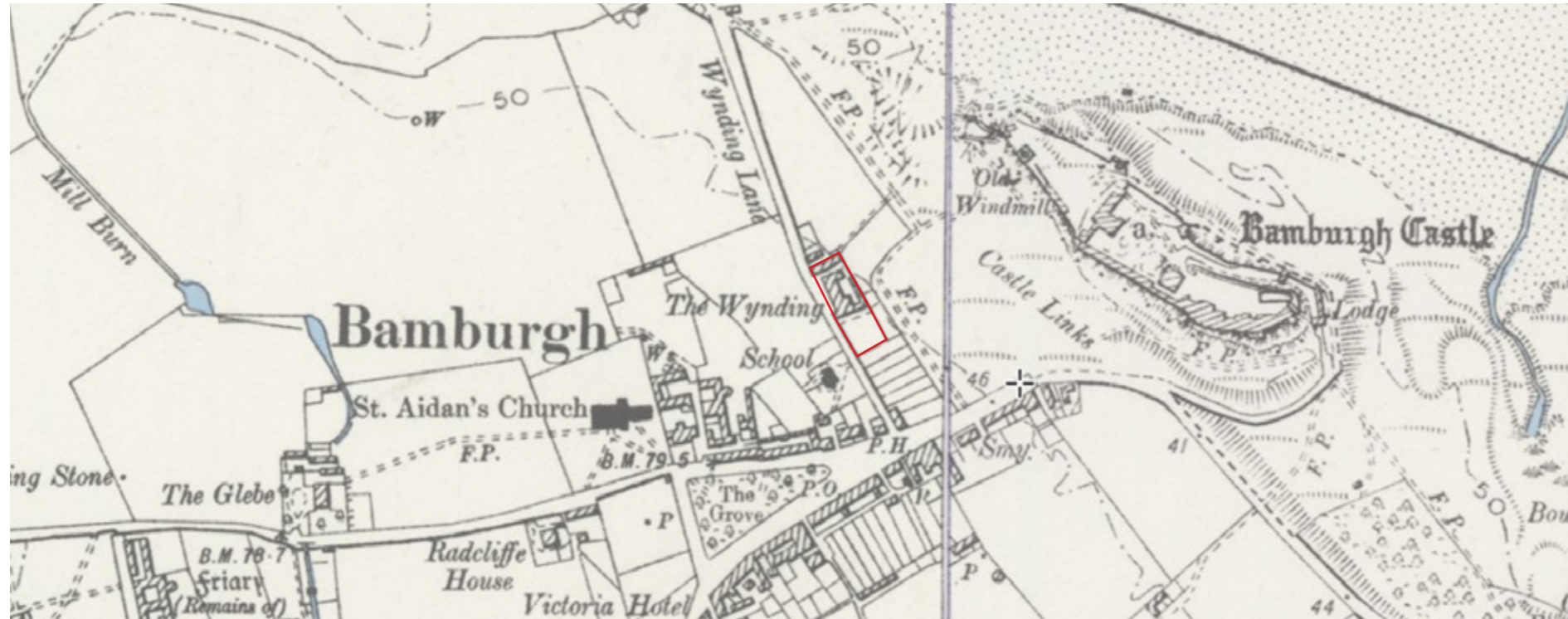


Figure 4. The 1st edition Ordnance Survey (OS) map, dated 1865, showing the form of the village well established with the Wynding Lane branching off northwards.



Figure 5. The 3rd edition OS map, dated 1925, shows development along the Wynding and construction of the Arts & Crafts 1-7 The Wynding.

Historical and Site Analysis

2.3 History of the Wynding House

The Wynding House is a Georgian farmhouse, built around 1760 along the Wynding Lane.

The 1st edition Ordnance Survey (OS) map, dated 1865, shows the Wynding House being the principal property with the name of the house and the adjacent lane matching. It is, however, unclear whether the lane or the farmhouse were built first. The house has 3 storeys, including the roof space, and is orientated due south, sitting prominently over The Wynding. As the first house in that part of the village, the house was positioned for aspect and garden.

As shown on the 1st edition Ordnance Survey (OS) map, dated 1865, the contemporary Wynding House (4 The Wynding) and adjacent houses (4A, 8, 10, 12, 14 and 16 The Wynding) were historically part of one farmhouse, which was later subdivided. The purpose of the house was likely agricultural with parts adjacent to the main house serving as farm storage. 18, 20 and 22 The Wynding were built as separate to the main house, most likely for storage to the house and the farm. While the 1st edition Ordnance Survey (OS) map, dated 1865, indicates single ownership of the cluster of buildings, little historical narrative is available beyond the ground interpretation.

The single-storey garage to the east was potentially an agricultural house for animals as evidenced by the arrow slits in the gable for ventilation (currently blocked up with cement mortar) and open roof space with a timber truss roof. It remained part of the house and is currently utilised as a garage/storage space.

The house was lived in by the family of Grace Darling and her sister Thomasin operated a boarding house.

Please refer to the Heritage Statement and the Setting Assessment for further information.

2. Context Analysis

Listing Description

2.4 Listing Description

The Wynding House is a Grade II listed building.

Official list entry description from the Historic England website, as per July 2022:

Heritage Category: Listed Building
Grade: II
List Entry Number: 1233046
Date first listed: 03-Dec-1986

Statutory Address: Wynding House, The Wynding
District: Northumberland (Unitary Authority)
Parish: Bamburgh
National Grid Reference: NU 18044 35059

Details
BAMBURGH THE WYNDING NU 13 NE (East side) 4/63
Wynding House 3.12.86 GV II House. Early-mid C18. Ashlar with Welsh slate roof. 2 storeys, 5 windows. On ground floor C20 door in open-pedimented stone surround. Flanking, renewed 12-pane sashes. On 1st floor 5 renewed 12-pane sashes. Steeply-pitched gabled roof with kneelers and banded end stacks.

Listing NGR: NU1804735060



Figure 6 . Wynding House. Similar photograph to the one included with the Official Listing Entry.

2. Context Analysis



Figure 7. The main elevation of the Wynding House with the new, potentially Victorian, windows arrangement framed by a large front garden.



Figure 8. A historic postcard showing the historic windows arrangement and central pathway leading to the front door of the Wynding House. Precise date unknown, 1900s. Elevations compared side by side.

Historic Alterations to the House

2.5 Historic Alterations to the House

The building assessment reviews the significant alterations that have been undertaken to the internal and external elements of the building.

- The front façade has been completely replaced, most likely in the early 20th century, as evidenced by a photograph from 1900 which shows the original Georgian façade (Figure 8).
- Windows and rainwater goods to the rear and gable elevations have been replaced with uPVC substitutes.
- uPVC roof lights were introduced to provide daylight to the rooms within the roof space
- While the rear elevations of the property are stone, the adjacent buildings have been rendered, reducing the historical significance of the setting.
- The house has been subdivided over the years so that properties to the North are separated and part of the original house is now no 8.
- The adjacent single-storey to the East is separate and has been extended further east onto the Castle green with a stone Gabled Dormer.
- The single-storey to the west, originally a farm building is now a garage, in poor condition with deteriorating stonework and evidence of arrow list windows for ventilation.

2. Context Analysis

Historic Alterations to the House

Historic alterations to the South Elevation

- The front façade has been completely replaced, most likely in the early 20th century, as evidenced by a photograph in Figure 8 from the 1900s which shows the original Georgian façade.
- Three uPVC roof lights were introduced to provide daylight to the rooms within the roof space.
- The adjacent single-storey to the East is separate and has been extended further east onto the Castle green with a stone Gabled Dormer.

KEY:

- 1 COURSED RUBBLE STONE MASONRY
- 2 COURSED RANDOM RUBBLE STONE MASONRY
- 3 UNCOURSED RUBBLE STONE MASONRY
- 4 WELSH SLATE ROOF
- 5 STONE WATER TABLE AND STONE COPING KNEELER
- 6 OPEN-PEDIMENT STONE PORCH
- 7 VICTORIAN 6 OVER 6 PANES SASH TIMBER WINDOW
- 8 8 PANES FIXED uPVC WINDOW
- 9 6 OVER 6 PANES SASH uPVC WINDOW
- 10 FEATURE FIXED ARCHED uPVC WINDOW
- 11 TOP HUNG 6 OVER 6 PANES CASEMENT uPVC WINDOW
- 12 TRIPLE CASEMENT uPVC WINDOW
- 13 CENTRE PIVOT uPVC ROOF WINDOWS
- 14 2 PANEL 12 PANE GLAZED TIMBER DOOR
- 15 UP AND OVER uPVC GARAGE DOOR
- 16 2 PANEL GLAZED ARCHED uPVC DOOR
- 17 BLACK uPVC RAINWATER GOODS
- 18 WHITE uPVC LOUVRE VENT
- 19 CREAM CHIMNEY POTS



Figure 9. Existing South Elevation

2. Context Analysis

Historic Alterations to the House

Historic alterations to the West Elevation

- The single-storey to the west, originally a farm building is now a garage, in poor condition with deteriorating stonework and evidence of arrow list windows for ventilation.



Figure 10. Existing West Elevation



Figure 11. Existing North Elevation 1

KEY:

- | | |
|----|--|
| 1 | COURSED RUBBLE STONE MASONRY |
| 2 | COURSED RANDOM RUBBLE STONE MASONRY |
| 3 | UNCOURSED RUBBLE STONE MASONRY |
| 4 | WELSH SLATE ROOF |
| 5 | STONE WATER TABLE AND STONE COPING KNEELER |
| 6 | OPEN-PEDIMENT STONE PORCH |
| 7 | VICTORIAN 6 OVER 6 PANES SASH TIMBER WINDOW |
| 8 | 8 PANES FIXED uPVC WINDOW |
| 9 | 6 OVER 6 PANES SASH uPVC WINDOW |
| 10 | FEATURE FIXED ARCHED uPVC WINDOW |
| 11 | TOP HUNG 6 OVER 6 PANES CASEMENT uPVC WINDOW |
| 12 | TRIPLE CASEMENT uPVC WINDOW |
| 13 | CENTRE PIVOT uPVC ROOF WINDOWS |
| 14 | 2 PANEL 12 PANE GLAZED TIMBER DOOR |
| 15 | UP AND OVER uPVC GARAGE DOOR |
| 16 | 2 PANEL GLAZED ARCHED uPVC DOOR |
| 17 | BLACK uPVC RAINWATER GOODS |
| 18 | WHITE uPVC LOUVRE VENT |
| 19 | CREAM CHIMNEY POTS |

2. Context Analysis

Historic Alterations to the House

Historic alterations to the North Elevation

- Two uPVC roof lights were introduced to provide daylight to the rooms within the roof space.

KEY:

- 1 COURSED RUBBLE STONE MASONRY
- 2 COURSED RANDOM RUBBLE STONE MASONRY
- 3 UNCOURSED RUBBLE STONE MASONRY
- 4 WELSH SLATE ROOF
- 5 STONE WATER TABLE AND STONE COPING KNEELER
- 6 OPEN-PEDIMENT STONE PORCH
- 7 VICTORIAN 6 OVER 6 PANES SASH TIMBER WINDOW
- 8 8 PANES FIXED uPVC WINDOW
- 9 6 OVER 6 PANES SASH uPVC WINDOW
- 10 FEATURE FIXED ARCHED uPVC WINDOW
- 11 TOP HUNG 6 OVER 6 PANES CASEMENT uPVC WINDOW
- 12 TRIPLE CASEMENT uPVC WINDOW
- 13 CENTRE PIVOT uPVC ROOF WINDOWS
- 14 2 PANEL 12 PANE GLAZED TIMBER DOOR
- 15 UP AND OVER uPVC GARAGE DOOR
- 16 2 PANEL GLAZED ARCHED uPVC DOOR
- 17 BLACK uPVC RAINWATER GOODS
- 18 WHITE uPVC LOUVRE VENT
- 19 CREAM CHIMNEY POTS



Figure 12. Existing North Elevation 2

2. Context Analysis

Historic Alterations to the House

Historic alterations to the East Elevation

- Windows and rainwater goods to the rear and gable elevations have been replaced with uPVC substitutes.
- While the rear elevations of the property are stone, the adjacent buildings have been rendered, reducing the historical significance of the setting.
- The house has been subdivided over the years so that properties to the North are separated and part of the original house is now no 8.



KEY:

- | | |
|----|--|
| 1 | COURSED RUBBLE STONE MASONRY |
| 2 | COURSED RANDOM RUBBLE STONE MASONRY |
| 3 | UNCOURSED RUBBLE STONE MASONRY |
| 4 | WELSH SLATE ROOF |
| 5 | STONE WATER TABLE AND STONE COPING KNEELER |
| 6 | OPEN-PEDIMENT STONE PORCH |
| 7 | VICTORIAN 6 OVER 6 PANES SASH TIMBER WINDOW |
| 8 | 8 PANES FIXED uPVC WINDOW |
| 9 | 6 OVER 6 PANES SASH uPVC WINDOW |
| 10 | FEATURE FIXED ARCHED uPVC WINDOW |
| 11 | TOP HUNG 6 OVER 6 PANES CASEMENT uPVC WINDOW |
| 12 | TRIPLE CASEMENT uPVC WINDOW |
| 13 | CENTRE PIVOT uPVC ROOF WINDOWS |
| 14 | 2 PANEL 12 PANE GLAZED TIMBER DOOR |
| 15 | UP AND OVER uPVC GARAGE DOOR |
| 16 | 2 PANEL GLAZED ARCHED uPVC DOOR |
| 17 | BLACK uPVC RAINWATER GOODS |
| 18 | WHITE uPVC LOUVRE VENT |
| 19 | CREAM CHIMNEY POTS |

Figure 13. Existing East Elevation

2. Context Analysis

2.5 Site Constraints

The Wynding House lies within:

- Northumberland Coast Area of Outstanding Natural Beauty
- Archaeological Areas
- Bamburgh Conservation Area
- Coastal Mitigation Zone
- Heritage Coast

Additional site constraints include:

- Heritage Significance as a Grade II Listed Building
- Flooding - The development is in Flood Zone 1 with a low probability of flooding from rivers and the sea.



Figure 14. Flood risk information for the Wynding House - Environment Agency

Site Analysis



Figure 15. Site Context and Access Analysis

2. Context Analysis



Figure 16. The Wynding House can be seen from the Front Street, the main road to the village. While the house is visible the views are dominated by the Arts and Crafts terrace. The clear complexity of different roof forms, gables and dormer windows, shows the variety of residential properties along The Wynding.



Figure 17. View along the Wynding northward, showing the stone wall to the boundary being a dominant feature of the streetscape. The gate to the house can be seen.

Existing Key Views

2.6 Site Context and Access

An important aspect of the Wynding House is its setting within the plot. The large front garden frames the House and emphasises the simple symmetry of the front elevation. The garden is bound by a tall stone wall to the south and west, offering inhabitants of the house a secluded and private outdoor space.

The setting of the site has been assessed in the Heritage Statement and the building is seen as a prominent building on the approach road and from Castle Green.

The garden to the south of the main house is one of the primary attributes. The Heritage Statement explains its history, characteristics and the subdivision of the garden to the east.

The newly built house on the grounds of 6 The Wynding has considerable impact in its own right and on the spatial openness of the garden.

The house can be accessed through a vehicular gate near the main elevation of the House, which was not the original approach to the House. The house was originally approached through the gates to the now newly built house on the grounds of 6 The Wynding (now 2A The Wynding). There is additional pedestrian access to the rear of the building.

2. Context Analysis

Existing Key Views



Figure 18. The main elevation of the Wynding House framed by the large front garden.



Figure 19. The original gates to the Wynding House, now entrance to the newly developed house in the garden of 6 The Wynding.



Figure 20. A recently built two-storey house overlooking the garden of the Wynding House and significantly impacting its setting and views to the Castle.



Figure 21. The southern part of the garden with the Castle Garth house visible in the background.

3. Design Proposal

Design Brief



Repairs to the stonework and slate



Replacement of inappropriate later additions



Internal alterations



Second-floor extension



Front garden restoration

3.1 Design Brief

The proposed alterations to the Wynding House include repairs, restorations, and internal and external alterations to the property. The design brief was fivefold and include:

1. Repairs to the stonework and slate
2. Replacement of inappropriate uPVC windows and goods
3. Internal alterations
4. Second-floor extension
5. Front garden restoration

Additionally, it was of uttermost importance to improve the environmental performance of the building while minimising the harm to the listed house. A whole-house approach was utilised that included improvements to the existing fabric and the introduction of sustainable solutions.

3. Design Proposal

Restoration, repairs and enhancement to the Grade II listed Wynding House are at the forefront of the proposal. It is proposed to substitute the inappropriate additions, which include poor-quality timber windows, uPVC windows, uPVC rainwater goods and garage doors.

3.2 Repairs to the Stonework and Slate

The house has localised stone degradation and a specialist survey will be conducted prior to any repairs and restoration works.

Elevations - Stonework

Following a specialist survey, the stonework on the elevations will undergo lime mortar repairs and removal of any cement mortar.

Garage - Stonework

The random rubble stone external walls of the garage, especially the western gable, have significantly deteriorated. Stone decay was most likely accelerated by the building's proximity to the coastline. The stone walls will need to be rebuilt with replacement stone and lime mortar.

Stone Portico

While the stone portico is not original (as evidenced in the photograph from the 1900s - Figure 8), its classical pediment on square rustic piers is of quality. It is likely that the portico has been painted and will require careful restoration.

Stone water tables

Following a specialist survey, stone water tables and stone kneelers are proposed to be repaired where required.

Slate roof

It is proposed for the Welsh slate roof to be removed and replaced with an aim to re-use 50% of the original slate and the remainder replaced with a second-hand slate. The replacement of the slate with the original slate is proposed to be prioritised on the southern

Proposed Repairs and Renovations



Fig 22. Proposed lime mortar repairs and removal of cement mortar.



Fig 23. Significant deterioration to the rubble wall of the garage.



Fig 24. Proposed repairs to the stone water tables and kneelers.



Fig 25. Proposed Welsh slate roof to be removed and replaced to match existing with aim to re-use the original slate.

3. Design Proposal

Proposed Repairs and Renovations



Fig 26. Unoriginal timber windows to be replaced with operational timber sash windows with double glazed conservation type units.



Fig 27. Unoriginal uPVC windows to be replaced with operational timber sash windows with double glazed conservation type units.



Fig 28. Infilled arrow slit windows to be reinstated - External view.



Fig 29. Infilled arrow slit windows to be reinstated - Internal view.

main elevation.

These works are proposed to coincide with improvements to the insulation and breather membrane to the underside of the slate.

3.3 Replacement of inappropriate uPVC Windows and Rainwater goods

Windows

The project seeks to remove all the uPVC windows to the rear of the building and end gables, in order to replace them with operational timber sash windows appropriate to the Georgian period.

The current sash windows to the front elevation are not original and were replaced in the 20th century. Similarly, the late 20th century uPVC windows are replacement ones, therefore a consistent approach across all facades is proposed to replace the windows with operational timber sash windows with double glazed conservation type units to improve the overall environmental properties of the building.

Infilled arrow slits to the garage

It is proposed for the infilled arrow slit windows to the western gable end of the garage to be reinstated, with new windows set back with internal shutters.

Rainwater goods

All uPVC rainwater goods, including rainwater pipes, soil stacks and drainage, are proposed to be replaced with black painted cast iron goods.

3. Design Proposal

Proposed Repairs and Renovations

3.4 Proposed Repairs and Renovations

Proposed Repairs and Renovations to the South Elevation

KEY:

- 1 REPAIRS AND MAKING GOOD TO THE EXISTING MASONRY INCLUDING LIME MORTAR REPAIRS AND REMOVAL OF ANY CEMENT MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 2 RECONSTRUCTION OF THE MASONRY WALLS WITH REPLACEMENT STONE AND LIME MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 3 REMOVAL AND REPLACEMENT OF THE EXISTING WELSH SLATE ROOF WITH AIM TO RE-USE 50% OF THE ORIGINAL SLATE AND THE REMAINDER BEING REPLACED WITH SECOND-HAND SLATE TO MATCH EXISTING. SUBJECT TO SPECIALIST SURVEY.
- 4 NEW WELSH SLATE ROOF TO MATCH EXISTING.
- 5 EXISTING STONE WATER TABLE AND STONE KNEELERS TO BE REPAIRED WHERE REQUIRED. SUBJECT TO SPECIALIST SURVEY.
- 6 STONE REPAIRS TO THE PORTICO. SUBJECT TO SPECIALIST SURVEY.
- 7 EXISTING TIMBER WINDOWS REPAIR OR REPLACEMENT WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS. SUBJECT TO SPECIALIST SURVEY.
- 8 EXISTING uPVC WINDOWS TO BE REPLACED WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS.
- 9 BLOCKED UP ARROW SLIT WINDOWS TO THE GARAGE GABLE END TO BE REINSTATED, WITH NEW WINDOWS SET BACK WITH INTERNAL SHUTTERS. EXACT WINDOW POSITION TO MATCH INFILLED OPENINGS, SUBJECT TO SITE SURVEY.
- 10 EXISTING LOUVRE VENTS TO BE FILLED IN WITH STONE MATCHING THE EXISTING.
- 11 uPVC RAINWATER GOODS TO BE REPLACED WITH BLACK PAINTED CAST IRON GOODS.
- 12 CHIMNEY POTS TO BE REPAIRED IF REQUIRED. SUBJECT TO SURVEY.
- 13 NEW CHIMNEY POTS TO MATCH EXISTING.
- 14 EXISTING uPVC ROOF LIGHTS TO THE FRONT ELEVATION TO BE REPLACED WITH CONSERVATION ROOF LIGHTS.
- 15 NEW CONSERVATION ROOF LIGHTS TO THE GARAGE.
- 16 NEW CONTEMPORARY ROOF LIGHTS TO THE STAIR WELL.
- 17 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING FRONT DOOR.
- 18 NEW TRADITIONAL DOUBLE DOOR TO MATCH THE PROPOSED FRONT DOOR IN PLACE OF THE EXISTING GARAGE DOOR.
- 19 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING uPVC REAR DOOR.
- 20 NEW DRESSED STONE DETAIL BAND
- 21 NEW SASH DORMER WINDOW TO PROVIDE LIGHT, VIEWS AND HEIGHT TO THE PROPOSED EXTENSION. DRESSED STONE WITH LEAD CHEEK WALLS.



Figure 30. Proposed South Elevation

3. Design Proposal

Proposed Repairs and Renovations

Proposed Repairs and Renovations to the West Elevation



Figure 31. Proposed West Elevation

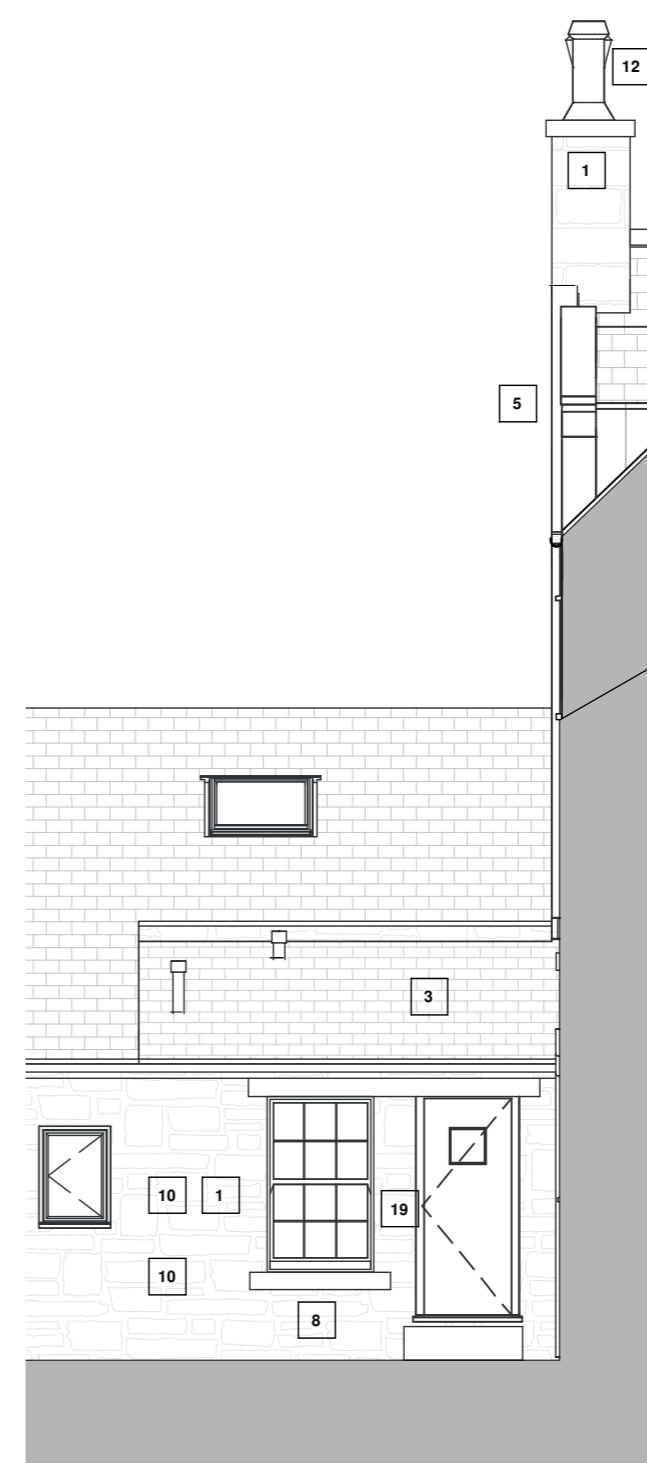


Figure 32. Proposed North Elevation 1

KEY:

- 1 REPAIRS AND MAKING GOOD TO THE EXISTING MASONRY INCLUDING LIME MORTAR REPAIRS AND REMOVAL OF ANY CEMENT MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 2 RECONSTRUCTION OF THE MASONRY WALLS WITH REPLACEMENT STONE AND LIME MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 3 REMOVAL AND REPLACEMENT OF THE EXISTING WELSH SLATE ROOF WITH AIM TO RE-USE 50% OF THE ORIGINAL SLATE AND THE REMAINDER BEING REPLACED WITH SECOND-HAND SLATE TO MATCH EXISTING. SUBJECT TO SPECIALIST SURVEY.
- 4 NEW WELSH SLATE ROOF TO MATCH EXISTING.
- 5 EXISTING STONE WATER TABLE AND STONE KNEELERS TO BE REPAIRED WHERE REQUIRED. SUBJECT TO SPECIALIST SURVEY.
- 6 STONE REPAIRS TO THE PORTICO. SUBJECT TO SPECIALIST SURVEY.
- 7 EXISTING TIMBER WINDOWS REPAIR OR REPLACEMENT WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS. SUBJECT TO SPECIALIST SURVEY.
- 8 EXISTING uPVC WINDOWS TO BE REPLACED WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS.
- 9 BLOCKED UP ARROW SLIT WINDOWS TO THE GARAGE GABLE END TO BE REINSTATED. WITH NEW WINDOWS SET BACK WITH INTERNAL SHUTTERS. EXACT WINDOW POSITION TO MATCH INFILLED OPENINGS, SUBJECT TO SITE SURVEY.
- 10 EXISTING LOUVRE VENTS TO BE FILLED IN WITH STONE MATCHING THE EXISTING.
- 11 uPVC RAINWATER GOODS TO BE REPLACED WITH BLACK PAINTED CAST IRON GOODS.
- 12 CHIMNEY POTS TO BE REPAIRED IF REQUIRED. SUBJECT TO SURVEY.
- 13 NEW CHIMNEY POTS TO MATCH EXISTING.
- 14 EXISTING uPVC ROOF LIGHTS TO THE FRONT ELEVATION TO BE REPLACED WITH CONSERVATION ROOF LIGHTS.
- 15 NEW CONSERVATION ROOF LIGHTS TO THE GARAGE.
- 16 NEW CONTEMPORARY ROOF LIGHTS TO THE STAIR WELL.
- 17 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING FRONT DOOR.
- 18 NEW TRADITIONAL DOUBLE DOOR TO MATCH THE PROPOSED FRONT DOOR IN PLACE OF THE EXISTING GARAGE DOOR.
- 19 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING uPVC REAR DOOR.
- 20 NEW DRESSED STONE DETAIL BAND
- 21 NEW SASH DORMER WINDOW TO PROVIDE LIGHT, VIEWS AND HEIGHT TO THE PROPOSED EXTENSION. DRESSED STONE WITH LEAD CHEEK WALLS.

3. Design Proposal

Proposed Repairs and Renovations

Proposed Repairs and Renovations to the North Elevation

KEY:

- 1 REPAIRS AND MAKING GOOD TO THE EXISTING MASONRY INCLUDING LIME MORTAR REPAIRS AND REMOVAL OF ANY CEMENT MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 2 RECONSTRUCTION OF THE MASONRY WALLS WITH REPLACEMENT STONE AND LIME MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 3 REMOVAL AND REPLACEMENT OF THE EXISTING WELSH SLATE ROOF WITH AIM TO RE-USE 50% OF THE ORIGINAL SLATE AND THE REMAINDER BEING REPLACED WITH SECOND-HAND SLATE TO MATCH EXISTING. SUBJECT TO SPECIALIST SURVEY.
- 4 NEW WELSH SLATE ROOF TO MATCH EXISTING.
- 5 EXISTING STONE WATER TABLE AND STONE KNEELERS TO BE REPAIRED WHERE REQUIRED. SUBJECT TO SPECIALIST SURVEY.
- 6 STONE REPAIRS TO THE PORTICO. SUBJECT TO SPECIALIST SURVEY.
- 7 EXISTING TIMBER WINDOWS REPAIR OR REPLACEMENT WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS. SUBJECT TO SPECIALIST SURVEY.
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- 12 CHIMNEY POTS TO BE REPAIRED IF REQUIRED. SUBJECT TO SURVEY.
- 13 NEW CHIMNEY POTS TO MATCH EXISTING.
- 14 EXISTING uPVC ROOF LIGHTS TO THE FRONT ELEVATION TO BE REPLACED WITH CONSERVATION ROOF LIGHTS.
- 15 NEW CONSERVATION ROOF LIGHTS TO THE GARAGE.
- 16 NEW CONTEMPORARY ROOF LIGHTS TO THE STAIR WELL.
- 17 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING FRONT DOOR.
- 18 NEW TRADITIONAL DOUBLE DOOR TO MATCH THE PROPOSED FRONT DOOR IN PLACE OF THE EXISTING GARAGE DOOR.
- 19 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING uPVC REAR DOOR.
- 20 NEW DRESSED STONE DETAIL BAND
- 21 NEW SASH DORMER WINDOW TO PROVIDE LIGHT, VIEWS AND HEIGHT TO THE PROPOSED EXTENSION. DRESSED STONE WITH LEAD CHEEK WALLS.



Figure 33. Proposed North Elevation 2

3. Design Proposal

Proposed Repairs and Renovations

Proposed Repairs and Renovations to the East Elevation



KEY:

- 1 REPAIRS AND MAKING GOOD TO THE EXISTING MASONRY INCLUDING LIME MORTAR REPAIRS AND REMOVAL OF ANY CEMENT MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 2 RECONSTRUCTION OF THE MASONRY WALLS WITH REPLACEMENT STONE AND LIME MORTAR. SUBJECT TO SPECIALIST SURVEY.
- 3 REMOVAL AND REPLACEMENT OF THE EXISTING WELSH SLATE ROOF WITH AIM TO RE-USE 50% OF THE ORIGINAL SLATE AND THE REMAINDER BEING REPLACED WITH SECOND-HAND SLATE TO MATCH EXISTING. SUBJECT TO SPECIALIST SURVEY.
- 4 NEW WELSH SLATE ROOF TO MATCH EXISTING.
- 5 EXISTING STONE WATER TABLE AND STONE KNEELERS TO BE REPAIRED WHERE REQUIRED. SUBJECT TO SPECIALIST SURVEY.
- 6 STONE REPAIRS TO THE PORTICO. SUBJECT TO SPECIALIST SURVEY.
- 7 EXISTING TIMBER WINDOWS REPAIR OR REPLACEMENT WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS. SUBJECT TO SPECIALIST SURVEY.
- 8 EXISTING uPVC WINDOWS TO BE REPLACED WITH OPERATIONAL TIMBER SASH WINDOWS WITH DOUBLE GLAZED CONSERVATION TYPE UNITS.
- 9 BLOCKED UP ARROW SLIT WINDOWS TO THE GARAGE GABLE END TO BE REINSTATED. WITH NEW WINDOWS SET BACK WITH INTERNAL SHUTTERS. EXACT WINDOW POSITION TO MATCH INFILLED OPENINGS, SUBJECT TO SITE SURVEY.
- 10 EXISTING LOUVRE VENTS TO BE FILLED IN WITH STONE MATCHING THE EXISTING.
- 11 uPVC RAINWATER GOODS TO BE REPLACED WITH BLACK PAINTED CAST IRON GOODS.
- 12 CHIMNEY POTS TO BE REPAIRED IF REQUIRED. SUBJECT TO SURVEY.
- 13 NEW CHIMNEY POTS TO MATCH EXISTING.
- 14 EXISTING uPVC ROOF LIGHTS TO THE FRONT ELEVATION TO BE REPLACED WITH CONSERVATION ROOF LIGHTS.
- 15 NEW CONSERVATION ROOF LIGHTS TO THE GARAGE.
- 16 NEW CONTEMPORARY ROOF LIGHTS TO THE STAIR WELL.
- 17 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING FRONT DOOR.
- 18 NEW TRADITIONAL DOUBLE DOOR TO MATCH THE PROPOSED FRONT DOOR IN PLACE OF THE EXISTING GARAGE DOOR.
- 19 NEW TRADITIONAL DOOR IN PLACE OF THE EXISTING uPVC REAR DOOR.
- 20 NEW DRESSED STONE DETAIL BAND
- 21 NEW SASH DORMER WINDOW TO PROVIDE LIGHT, VIEWS AND HEIGHT TO THE PROPOSED EXTENSION. DRESSED STONE WITH LEAD CHEEK WALLS.

Figure 34. Proposed East Elevation

3. Design Proposal

3.5 Internal Alterations

The internal partitions on the ground floor are not original, as evidenced by the historic photograph in Figure 8 showing the positions of the original windows. The exact period where the changes occurred is unknown, however, it can be assumed that the interiors are either late Victorian or Edwardian.

The proposal aims to retain the arrangement of the internal plan as it has a clear hierarchy of the spaces.

Alterations to the ground floor

It is proposed to incorporate the garage into the main house. This will allow for the relocation of the kitchen from the rear of the house to the front to enable direct access between the existing dining room and the relocated kitchen.

The incorporation of the garage into the main house will require the removal of the existing chimney breast. The chimney breast has previously been altered and a new fireplace was added. The loss of the chimney breast is compensated by the new room arrangement and renovation of the existing garage. The original volume of the garage will be exposed with rafters clearly visible which will create a juxtaposition with the existing flat ceiling in the existing dining room. The contrast between the two spaces will be further emphasised by the retention of wall nibs and ceiling details.

New traditional double Georgian doors to match the main entrance door are proposed in place of the garage door, which will provide a significant improvement to the aesthetic treatment of the main elevation of the house and wider enhancement to the setting of the house within its garden.

Alterations to the first floor

There are no alterations proposed to the first floor.

Internal Alterations



Fig 35. The blocked off opening between the dining room of the Wynding House and the living room of 4A The Wynding.



Fig 36. The chimney in the living room is unaltered with Victorian cabinets built-in to the sides.



Fig 37. The existing exposed roof trusses in the garage



Fig 38. The existing garage utilised as storage space..

3. Design Proposal

Internal Alterations



Fig 39. The chimney in the living room is unaltered with Victorian cabinets built-in to the sides.



Fig 40. The existing kitchen to the rear of the house.

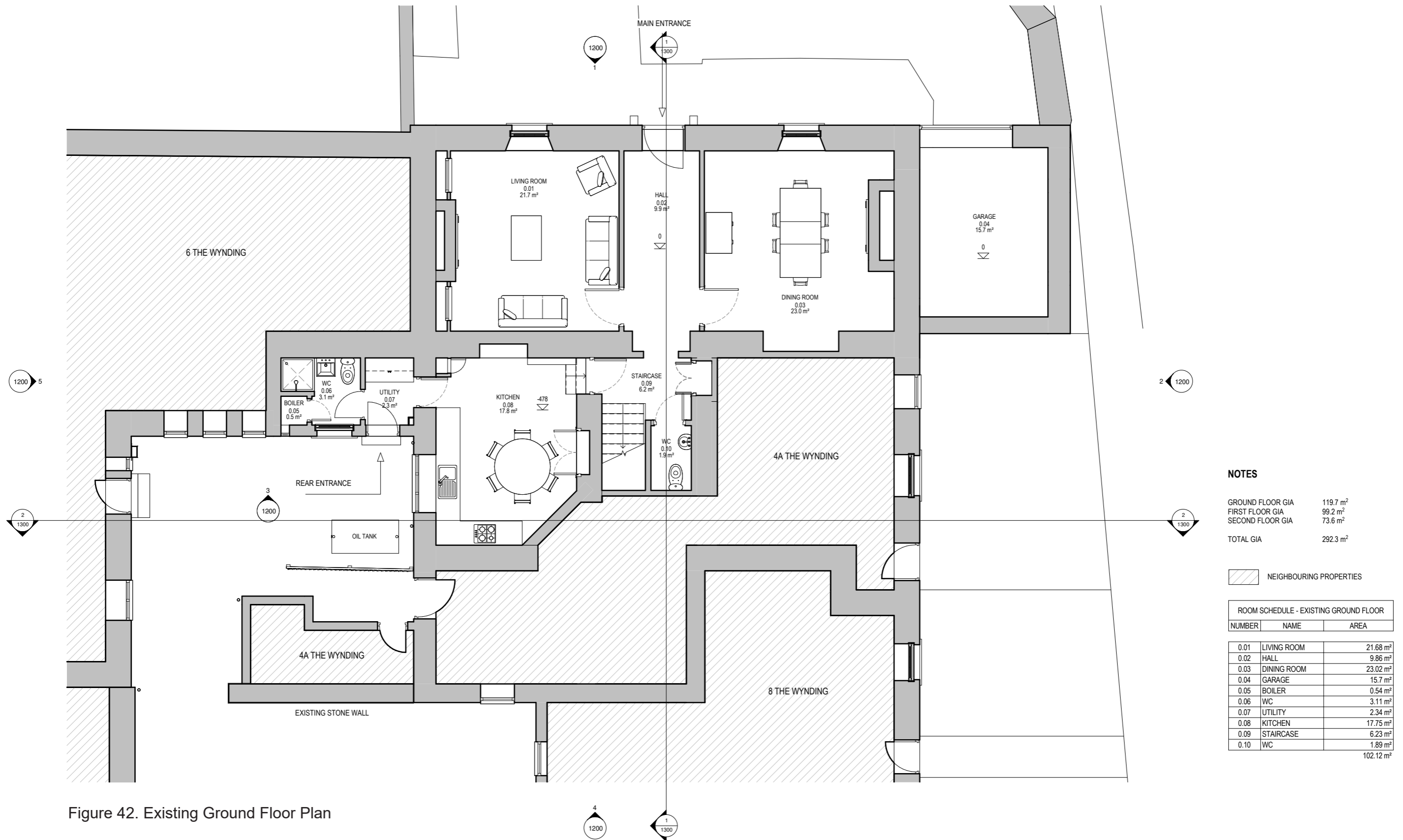


Fig 41. The staircase between the first floor and the roof space (now second floor) was introduced with uncomfortable low risers and long goings, likely due to the height constraints with heights of the beams being very low.



3. Design Proposal

Existing Ground Floor Plan



NOTES

GROUND FLOOR GIA	119.7 m ²
FIRST FLOOR GIA	99.2 m ²
SECOND FLOOR GIA	73.6 m ²
TOTAL GIA	292.3 m²

NEIGHBOURING PROPERTIES

ROOM SCHEDULE - EXISTING GROUND FLOOR

NUMBER	NAME	AREA
0.01	LIVING ROOM	21.68 m ²
0.02	HALL	9.86 m ²
0.03	DINING ROOM	23.02 m ²
0.04	GARAGE	15.7 m ²
0.05	BOILER	0.54 m ²
0.06	WC	3.11 m ²
0.07	UTILITY	2.34 m ²
0.08	KITCHEN	17.75 m ²
0.09	STAIRCASE	6.23 m ²
0.10	WC	1.89 m ²
	TOTAL	102.12 m²

Figure 42. Existing Ground Floor Plan

3. Design Proposal

Proposed Internal Alterations to the Ground Floor Plan

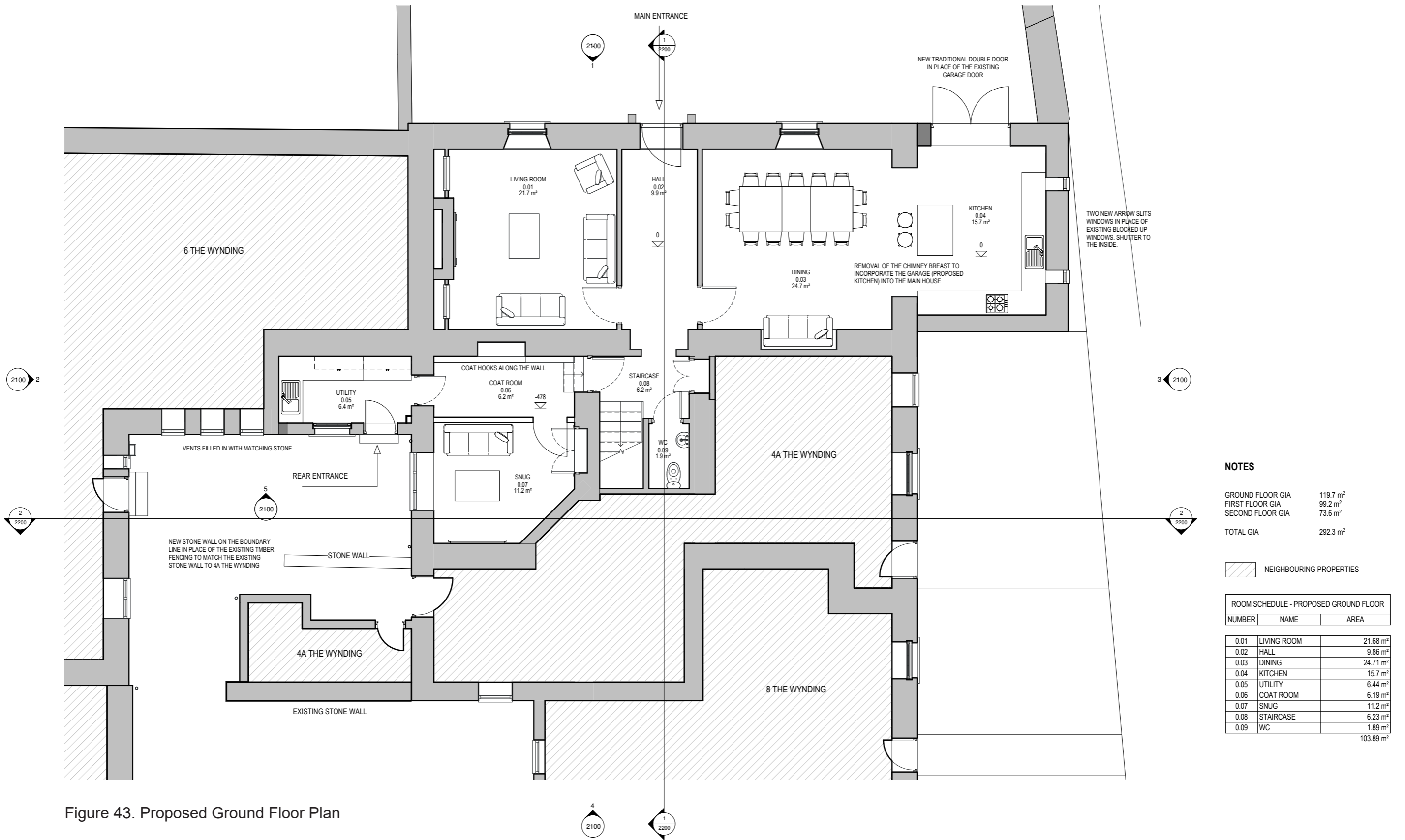
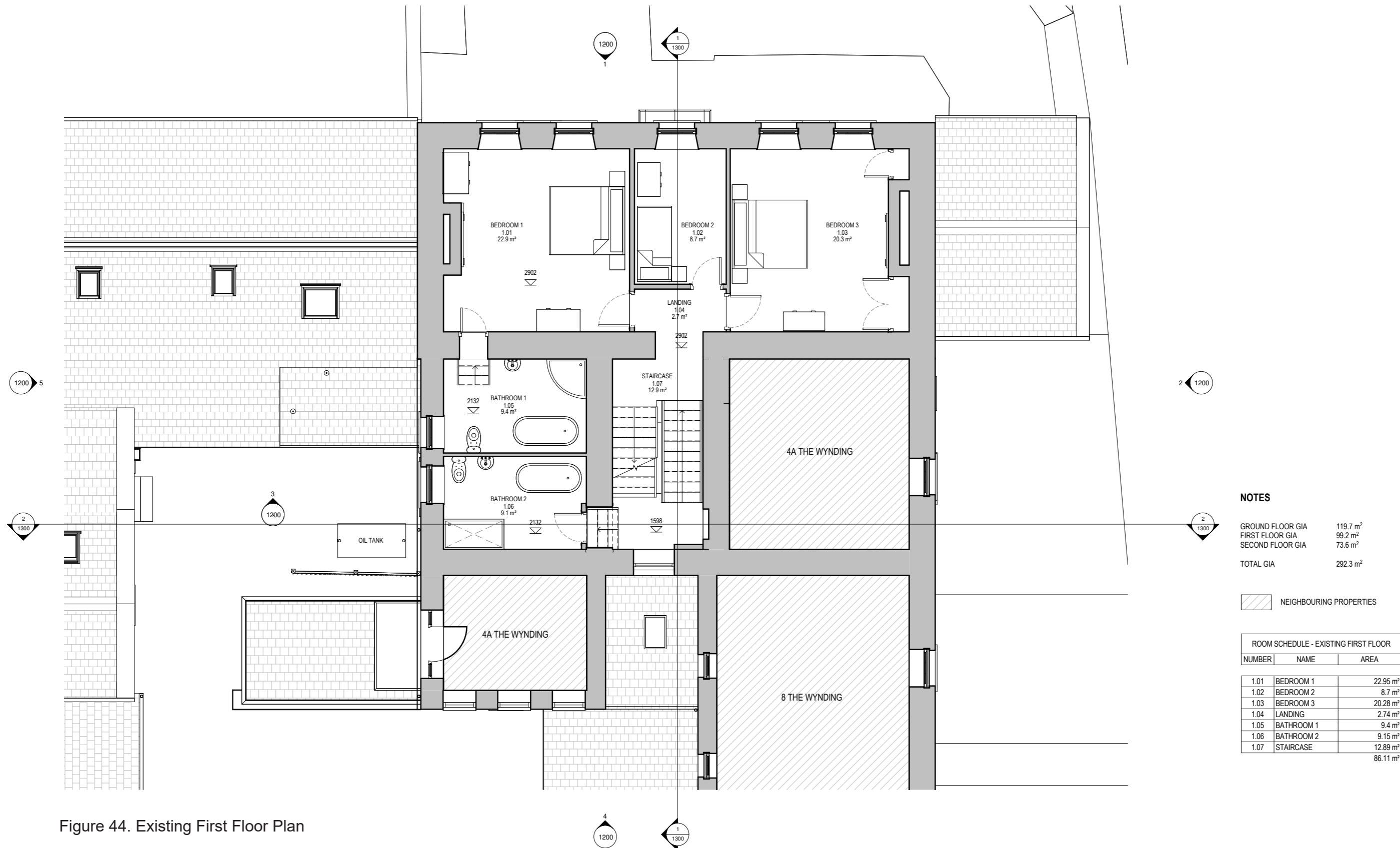


Figure 43. Proposed Ground Floor Plan

3. Design Proposal

Existing First Floor Plan



NOTES

GROUND FLOOR GIA	119.7 m ²
FIRST FLOOR GIA	99.2 m ²
SECOND FLOOR GIA	73.6 m ²
TOTAL GIA	292.3 m²

NEIGHBOURING PROPERTIES

ROOM SCHEDULE - EXISTING FIRST FLOOR		
NUMBER	NAME	AREA
1.01	BEDROOM 1	22.95 m ²
1.02	BEDROOM 2	8.7 m ²
1.03	BEDROOM 3	20.28 m ²
1.04	LANDING	2.74 m ²
1.05	BATHROOM 1	9.4 m ²
1.06	BATHROOM 2	9.15 m ²
1.07	STAIRCASE	12.89 m ²
		86.11 m ²

Figure 44. Existing First Floor Plan

3. Design Proposal

Proposed Internal Alterations to the First Floor Plan

No alterations are proposed to the first floor

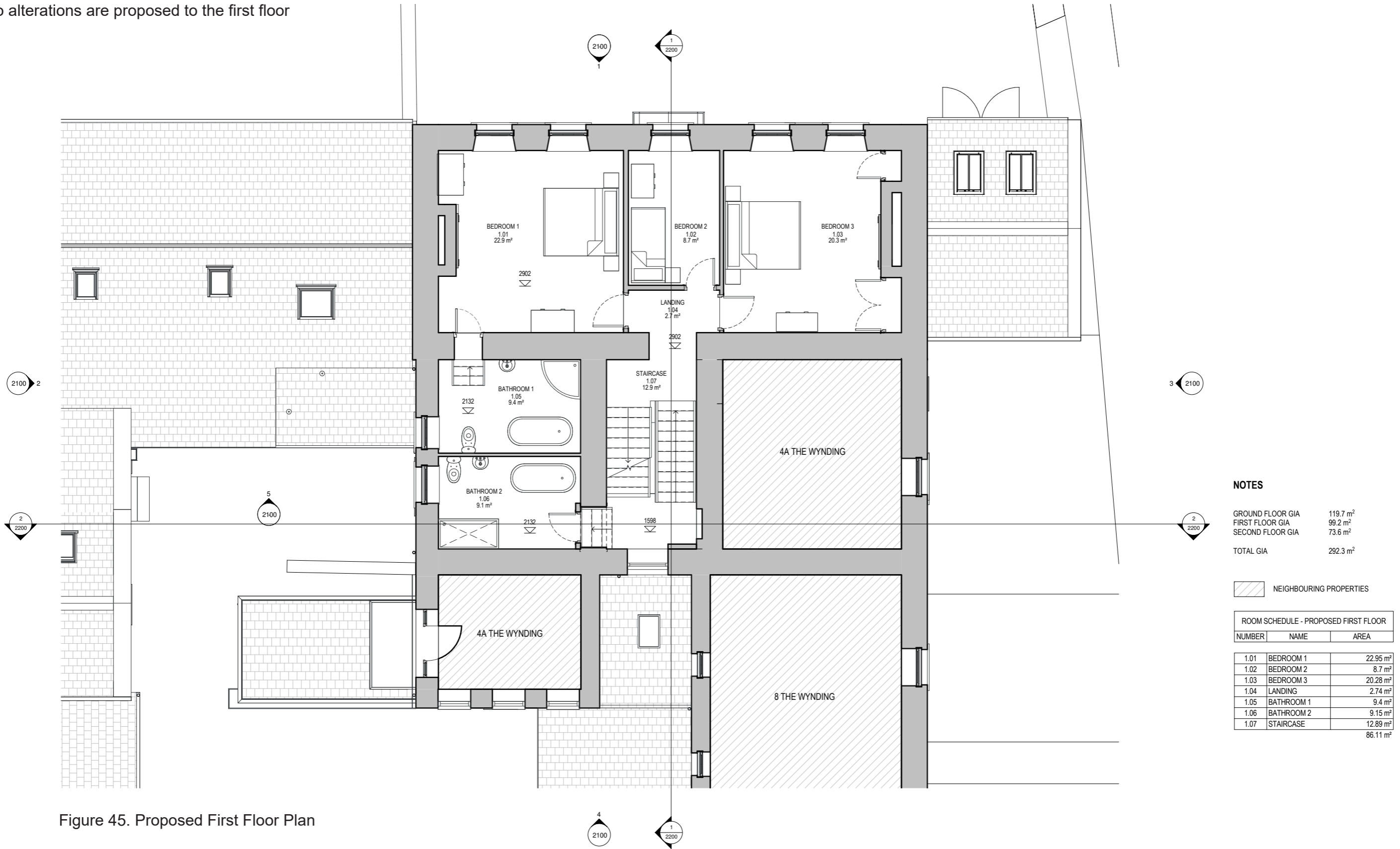


Figure 45. Proposed First Floor Plan

3. Design Proposal

3.6 Second-floor Extension

Project Brief

The brief for the second-floor extension was to design a living space to allow enjoyment of the views of the Castle and Castle Green.

The proposed second-floor extension was to be developed on the east rear side of the building, facing the Bamburgh Castle and the nearby Village Green. Due to the sensitive context of the Grade I listed Castle, a detailed historic and context analysis was conducted, included in the Heritage Statement and Setting Assessment, to ensure that the appropriate form is introduced to minimise the harm and enhance the present setting,

Early Concept Stage - Extension Options A, B, C and D

In the early design stages, four options for the second-floor extension were explored (Figure 46):

- Option A - A traditional form with a gable facing northwest that corresponds with and balances the existing north-facing gable.
- Option B - A traditional form with a gable facing the northeast that corresponds with and balances the existing east-facing gable.
- Option C - A contemporary fully-glazed form that maximises the views.
- Option D - A contemporary extension over the existing stairwell with a terrace facing northeast towards the Bamburgh Castle.

Option A was chosen as the preference with traditional extension form respecting the existing roofscape and massing, significant in the sensitive context of the Bamburgh Castle and Village.

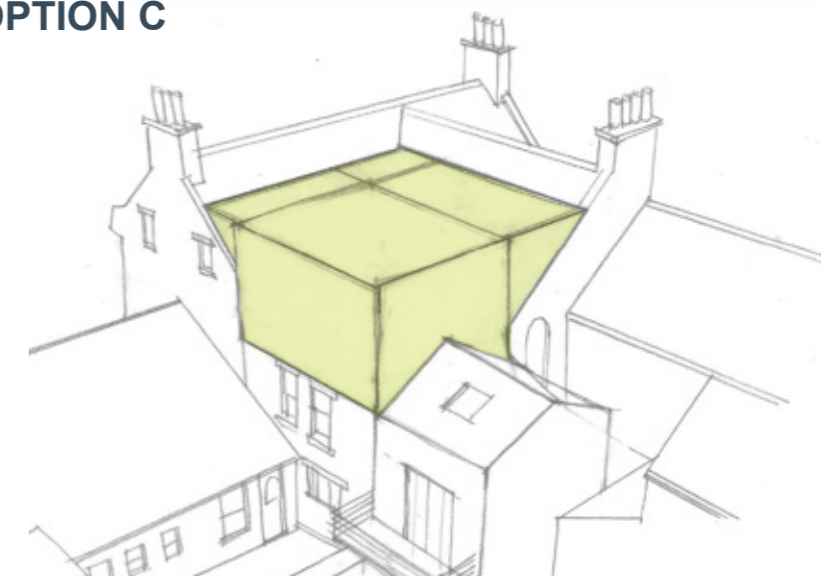
Second-floor Extension - Massing

OPTION A



Option A proposes an extension with a gable facing north-west towards Bamburgh Beach and roof infill above the existing staircase that provides adequate height to access the existing loft.

OPTION C



Option C proposes a fully glazed extension that provides maximum views to Bamburgh Castle and the Beach. However, high amounts of glazing increase the risk of overheating and provides very little privacy to the space

OPTION B



Option B proposes an extension with a gable facing north-east towards Bamburgh Castle and roof infill above the existing stairwell that provides adequate height to access the existing loft.

OPTION D



Option D proposes an extension over the existing staircase to provide adequate height to access the existing loft with an outdoor terrace facing north-west towards Bamburgh Castle. An outdoor space so close to the adjacent neighbouring properties will provide little privacy to the house and the neighbours.

Figure 46. Early Concept Stage Massing Sketches